

October 27, 2023

Ms. Carley Belfield, Sr. Project Coordinator  
Ms. Christina Forde, Senior Project Manager  
Massachusetts School Building Authority  
40 Broad Street; Suite 500  
Boston, MA 02109

RE: Canton Public Schools; William H. Galvin Middle School Feasibility Study  
Preliminary Design Program Submission

Dear Ms. Belfield and Ms. Forde,

I, Jennifer Carlson, have reviewed the enclosed information and certify to the best of my knowledge and belief that the information is accurate and complete apart from the following:

PDP Clarifications:

- 1- A certified copy of the October 24, 2023, School Building Committee Meeting Minutes will be forwarded separately as an addendum to this PDP, once approved by the Building Committee at their November meeting.
- 2- Under separate cover, an original, fully executed Local Action Letter has been mailed to the attention of Carley Belfield at the MSBA.
- 3- A printed, bound copy of the PDP will be delivered to your attention next week.

Please feel free to contact me with any questions you may have regarding the enclosed information. On behalf of the Canton Public Schools District, Canton School Committee, the Galvin Middle School Building Committee, and the project team, we look forward to discussing any questions you may have.

Sincerely,  
**Leftfield, LLC**



Jennifer Carlson  
Project Director

Attachments: Preliminary Design Submission  
Excel file of the PDP space summaries, under separate cover [email]

cc: Superintendent Derek Folan – Canton Public Schools, SBC Chair



# Galvin Middle School

## Module 3: Preliminary Design Report

October 27, 2023

Canton Public School District

Derek Folan  
960 Washington St  
Canton, MA 02021





W. W. CALVIN  
MIDDLE SCHOOL  
55

W. W. CALVIN  
MIDDLE SCHOOL

BUDDER  
17



# Galvin Middle School

## Module 3: Preliminary Design Report

October 27, 2023

**Ai3 Architects, LLC**  
111 Speen Street  
Framingham, MA 01701



# ACKNOWLEDGMENTS

## **School Committee**

Kendall O'Halloran *Chair*  
Maureen Moran *Vice Chair*  
Laura Arboleda *Clerk*  
Kristian Merenda  
Kimberley McCourt

## **Town Select Board**

Thomas W. Theodore *Chair*  
John J. Connolly *Vice Chair*  
Michael C. Loughran *Clerk*  
Christopher M. Albert  
John R. McCourt

## **School Building Committee**

Derek Folan *Chair*  
Bob Benedetti  
John Connolly  
Charles Doody  
Tom Keleher  
Mike Loughran  
Brian Lynch  
Stephen Marshall  
Bob McCarthy  
Kristian Merenda  
Jonathan Mulhern  
Tina Perez  
Randy Scollins  
Sarah Shannon  
Andrea Stuart  
Lou Tarmy  
Amy Tom

## **District Administration**

Derek Folan *Superintendent of Schools*  
Sarah Shannon *Assistant Superintendent of Schools*

# EVALUATION TEAM

## **Architect**

Ai3 Architects, LLC  
111 Speen Street  
Framingham, MA 01701

## **Owner's Project Manager**

Leftfield Project Management  
101 Federal Street  
Boston, MA 02110

## **MEP/FP Engineer**

Griffith & Vary, Inc.  
12 Kendrick Road  
Wareham, MA 02571

## **Educational Planning Consultant**

MLP Integrated Design, Inc  
3 Dawes St  
Newburyport, MA 01950

## **Geotechnical Engineer**

Lahlaf Geotechnical Consulting, Inc.  
100 Chelmsford Road, Suite 2  
Billerica, MA 01862

## **Civil Engineer**

The Vertex Companies, Inc.  
400 Libbey Parkway  
Weymouth, MA 02189

## **Traffic Consultant**

Pare Corporation  
10 Lincoln Road, Suite 210  
Foxboro, MA 02035

## **Landscape Architect**

Traverse Landscape Architects  
150 Chestnut Street, 4th Floor  
Providence, RI 02903

## **Environmental Consultant**

Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## **Structural Engineer**

Engineers Design Group, Inc.  
350 Main Street #29  
Malden, MA 02148

## **Surveyor**

Welch Associates Land Surveyors, Inc.  
218 North Main Street  
West Bridgewater, MA 02379

*Evaluations were conducted July of 2023.*

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*End of Report*



*This report was prepared for:*

**Canton Public Schools**

Derek Folan, Superintendent  
960 Washington Street  
Canton, MA 02021



## 3.1.1 INTRODUCTION

### **P**roject Overview

#### **Statement of Interest**

On June 10, 2021 Canton Public Schools submitted a Statement of Interest (SOI) to the Massachusetts School Building Authority (MSBA) describing the deficiencies of Galvin Middle School. Please refer to Appendix A of this report for a complete copy of the SOI. On October 26, 2022, the MSBA invited the Town of Canton to conduct a Feasibility Study for the middle school to identify and study possible solutions and, through a collaborative process with the MSBA, to reach a mutually-agreed-upon solution.

The SOI identified the following priorities that the Town of Canton would like to address in the Feasibility Study:

- 2. Elimination of existing severe overcrowding.**
- 5. Replacement, renovation, or modernization of school facility systems, such as roofs, windows, boilers, heating and ventilation systems, to increase energy conservation and decrease energy related costs in a school facility.**
- 7. Replacement of or addition to obsolete buildings in order to provide a full range of programs consistent with state and approved local requirements.**

The SOI identifies crucial Programs and Operations that cannot be implemented due to the facility constraints and issues, including:

Teaming of teachers and students is foundational in middle school education, however, the teams in the Galvin Middle School can not be fully co-located due to the limitations of the current facility.

The lack of instructional space has required spaces to be shared by programs like health and engineering technology.

Collaboration space was considered unconventional in educational design when the Galvin Middle School was constructed. As student-centered design has evolved, collaboration and break-out spaces are crucial to student development. The cafeteria and media center are the only spaces within the existing facility that could provide space for collaboration; however, because they are highly utilized throughout the day, student teaming and group work are forced to occur in locker-lined hallways and classrooms not conducive for this type of engagement.

The media center has been subdivided into three zones to accommodate the classroom shortage. The zones include a world language instructional area, a health instructional area, and a library/media center instructional area. These zones are partitioned off with movable temporary partitions that do not block sound and barely provide a visual barrier.

## INTRODUCTION

### **Feasibility Study Goals**

The specific goals of this study include a review and investigation of the problems and challenges identified in the SOI, including exploration of the facility deficiencies and the development of the desired educational program. The strategic goals of the Canton School District and the educational program should be analyzed in conjunction with existing and available resources to determine which options are best further studied as potential long-term solutions.

To address the Town of Canton's needs, Ai3 Architects, LLC proceeded with the following process and tasks:

- Document detailed existing conditions at the Galvin Middle School building.
- Conduct a series of Educational Visioning sessions, which included our educational consultant, Mike Pirollo.
- Document available capacity versus enrollment at existing elementary school buildings across grades K through grade 5.
- Summarize educational and facility challenges.
- Assist the Owner with the development of an educational

### **Notable Past Dates from MSBA Modules 1& 2:**

<b>JUN 10, 2021</b>	CPS Superintendent submits SOI to MSBA
<b>OCT 26, 2022</b>	MSBA invites Town of Canton to conduct Feasibility Study for Galvin Middle School
<b>MAR 6, 2023</b>	MSBA approves Town of Canton's selection of Leftfield Project Management as Owners Project Manager
<b>APR 5, 2023</b>	Town of Canton Requests Designer Services
<b>MAY 11, 2023</b>	Proposals Due
<b>APR 19, 2022</b>	Three firms selected to Interview with the MSBA Designer Selection Panel
<b>JUN 20, 2023</b>	Interviews conducted; Ai3 Architects selected as Designer
<b>JUN 28, 2023</b>	Contract executed initiating MSBA Module 3

## INTRODUCTION

program that describes grade and school configuration policies, class size policies, the use of grade level "teams", school policies, lunch programs, technology instruction policies and programs, creative arts, music and performing arts, physical education, special education, transportation policies, functional and spatial relationships and adjacencies, security and visual access requirements, all while ensuring that the educational program is fully incorporated into the process.

- Generate an initial space summary for each grade level configuration to determine the spaces necessary to deliver the planned educational program.
- Generate options for resolving educational, site, and facility challenges.

- Develop costs for each of the options.

The entire team, including the School Building Committee, School Committee, School District, the OPM, and the Design Team, understands that transparency and communication is critical in a large building project, so all efforts are being made to be accessible to the community. This includes both in-person and virtual modes, utilizing social media, websites, and local access television to keep the greater community as informed as possible.

At the October 18th School Building Committee meeting, this PDP submittal was unanimously voted to submit to the MSBA.

At the October 19th School Committee meeting, this PDP submittal was unanimously voted to submit to the MSBA.

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# Design Enrollment

## Galvin Middle School

The MSBA and the Town of Canton have agreed to study a grade 6-8 middle school configuration with an enrollment of **760 students** and a grade 5-8 middle school configuration with an enrollment of **1,020 students**.

The professional team and District administration conducted an initial capacity review of the existing three elementary school buildings. The analysis considered the current student enrollment and size of the current core classrooms and specialized spaces as compared with the MSBA recommended elementary school space guidelines. The preliminary conclusion is that all three schools in their current grade configuration are either at capacity or overcrowded and do not provide the District with the appropriate space for specialized programs, testing, evaluation, and collaboration spaces.

An overview of the capacity analysis of each elementary school follows.

*For existing plans of Galvin Middle School, refer to section 3.1.3.*

### Galvin Middle School (Current)

<b>ADDRESS</b>	55 Pecunit Street, Canton, MA 02021
<b>GRADES</b>	6-8
<b>ENROLLMENT</b>	740 students
<b>AREA</b>	131,903 GSF
<b>FLOORS</b>	3
<b>FEATURES</b>	Gymnasium, athletic fields

## INTRODUCTION

### Lieutenant Peter M Hansen Elementary School

The Lt. Peter M. Hansen Elementary School, named for a former Canton resident, is the northernmost elementary school in Canton, serving 533 students within 69,471 gsf. Built in 1968, the original two-story school is organized in a "T" shape with the classrooms stacked along one leg of the building while the administration, cafetorium, gymnasium, and other support spaces are within the single story, perpendicular leg of the building. In 2016, there was a two-story addition constructed connecting to the existing academic wing which added eight classrooms.

Educationally, there are four sections per grade-level, kindergarten through fifth grade. According to Hansen School Principal Paul McKight, removal of the fifth grade would be beneficial to the school academically and social-emotionally. With four available classrooms, there would be greater opportunity to add specialized spaces including a dedicated music room, a health classroom, an additional special education and reading room, and an additional general classroom to accommodate grade level enrollment bubbles.

Refer to the adjacent floor plan for the current distribution of spaces by category.

### Lt. PM Hansen Elementary School

**ADDRESS:** 25 Pecunit Street,  
Canton, MA 02021

**GRADES:** K-5

**ENROLLMENT:** 533 students

**AREA:** 69,471 GSF

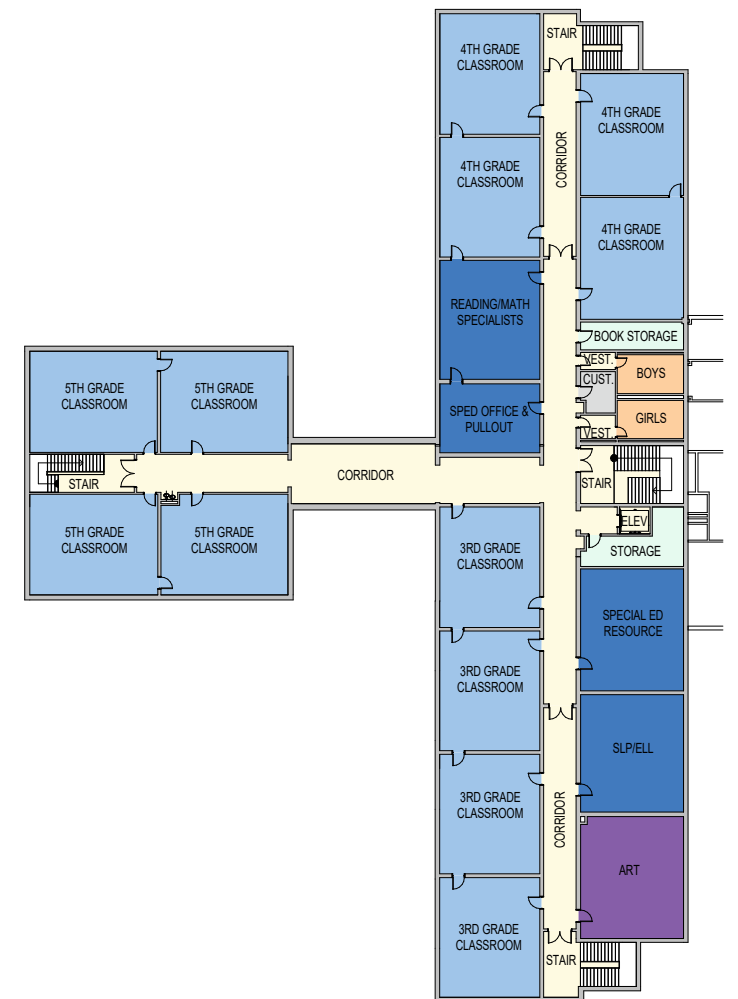
**FLOORS:** 2

**FEATURES:** Cafetorium & gymnasium

# Existing Floor Plans By Space Category

## Lt. Peter M. Hansen Elementary School

PROGRAM LEGEND	
<span style="color: #ADD8E6;">■</span>	Core Academic Spaces
<span style="color: #0000FF;">■</span>	Special Education
<span style="color: #800080;">■</span>	Art & Music
<span style="color: #32CD32;">■</span>	Vocations & Technology
<span style="color: #FF69B4;">■</span>	Media Center
<span style="color: #FF8C00;">■</span>	Health & Physical Education
<span style="color: #FF0000;">■</span>	Medical
<span style="color: #800000;">■</span>	Administration & Guidance
<span style="color: #FFD700;">■</span>	Dining & Food Service
<span style="color: #FFFF00;">■</span>	Circulation
<span style="color: #A9A9A9;">■</span>	Custodial / Service
<span style="color: #FFDAB9;">■</span>	Toilet Rooms
<span style="color: #90EE90;">■</span>	Storage



Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

FLOOR 1 SCALE 1/50" = 1'-0"

FLOOR 2 SCALE 1/50" = 1'-0"



## INTRODUCTION

### John F. Kennedy Elementary School

The John F. Kennedy Elementary School, is the smallest of the three elementary schools in Canton, serving 456 students within 68,884 gsf. Built in 1964, the original two-story school is organized in a "C" shape with the classrooms organized along either single or double loaded corridors. The gymnasium caps one end of the building circulation while the cafetorium terminates the other end. In 2011, four general and special education classrooms were added to the interior zone of the C and in 2019, four kindergarten classrooms were added via modulars connected to the main building by a corridor, providing needed space to address increasing enrollments.

Educationally, there are four sections per grade-level, kindergarten through fifth grade. According to JFK Principal Saundra Watson, removal of the fifth grade would be beneficial to the school academically and social-emotionally. With four available classrooms, there would be greater opportunity to add specialized spaces including a computer and technology room, office space for a team chair and counselor, a testing space, and a calming space.

Refer to the adjacent floor plan for the current distribution of spaces by category.

#### John F. Kennedy Elementary School

<b>ADDRESS</b>	100 Dedham Street Canton, MA 02021
<b>GRADES</b>	K-5
<b>ENROLLMENT</b>	456 students
<b>AREA</b>	68,884 GSF
<b>FLOORS</b>	2
<b>FEATURES</b>	Cafetorium & gymnasium

# Existing Floor Plans By Space Category

## John F. Kennedy Elementary School

PROGRAM LEGEND	
<span style="background-color: #ADD8E6; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Core Academic Spaces
<span style="background-color: #4169E1; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Special Education
<span style="background-color: #800080; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Art & Music
<span style="background-color: #32CD32; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Vocations & Technology
<span style="background-color: #FF69B4; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Media Center
<span style="background-color: #FF8C00; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Health & Physical Education
<span style="background-color: #FF0000; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Medical
<span style="background-color: #FF4500; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Administration & Guidance
<span style="background-color: #FFD700; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Dining & Food Service
<span style="background-color: #FFFACD; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Circulation
<span style="background-color: #D3D3D3; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Custodial / Service
<span style="background-color: #FFDAB9; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Toilet Rooms
<span style="background-color: #90EE90; border: 1px solid black; display: inline-block; width: 15px; height: 10px;"></span>	Storage



FLOOR 1 SCALE 1/50" = 1'-0"



FLOOR 2 SCALE 1/50" = 1'-0"

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

## INTRODUCTION

### Dean S. Luce Elementary School

The Dean S. Luce Elementary School, is the southernmost elementary schools in Canton, serving 469 students within 69,983 gsf. Built in 1954, the original single-story school is organized in an “L” shape with the classrooms organized along both legs of the double loaded corridor. The cafetorium is located at the intersection of the two legs of the L configuration. In 2000, there was a major addition completed including additional classrooms and a gymnasium.

Educationally, there are four sections per grade-level, kindergarten through fifth grade. According to Luce Principal Yeshi Gaskin Lamour, removal of the fifth grade would be beneficial to the school academically and social-emotionally. With four available classrooms, there would be greater opportunity to add specialized spaces including a computer and technology room, conference room, testing / breakout room / small group collaboration space, office space for support staff, and a SEL and sensory room.

Refer to the adjacent floor plan for the current distribution of spaces by category.

### Dean S. Luce Elementary School

<b>ADDRESS</b>	45 Independence Street Canton, MA 02021
<b>GRADES</b>	K-5
<b>ENROLLMENT</b>	469 students
<b>AREA</b>	69,983 GSF
<b>FLOORS</b>	1
<b>FEATURES</b>	Cafetorium & gymnasium

# Existing Floor Plans By Space Category

## Dean S. Luce Elementary School

PROGRAM LEGEND	
<span style="color: lightblue;">■</span>	Core Academic Spaces
<span style="color: blue;">■</span>	Special Education
<span style="color: purple;">■</span>	Art & Music
<span style="color: green;">■</span>	Vocations & Technology
<span style="color: pink;">■</span>	Media Center
<span style="color: orange;">■</span>	Health & Physical Education
<span style="color: magenta;">■</span>	Medical
<span style="color: red;">■</span>	Administration & Guidance
<span style="color: yellow;">■</span>	Dining & Food Service
<span style="color: lightyellow;">■</span>	Circulation
<span style="color: lightgrey;">■</span>	Custodial / Service
<span style="color: peachpuff;">■</span>	Toilet Rooms
<span style="color: lightgreen;">■</span>	Storage



FLOOR 1 SCALE 1/50" = 1'-0"

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

### Lt. Peter M. Hansen Elementary School - Enrollment Capacity Analysis

\*per MA DESE (17.7-21.4)  
# of Students/Classroom

**Method 1:** MSBA Space  
Summary Template

**Method 2:** GSF/Students

**Method 3:**  
Students/Classroom  
Capacity

		Grades K-5 (Current)				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
(A)	Existing	69,472	533	130.3	25	21
	MSBA Space Summary					
(B)	MSBA Space Summary	73,571	533	138.0		
(C)	Difference (A-B)	(4,099)				
(D)	180 sf/student	95,940	533	180.0		
(E)	Difference (A-D)	(26,468)				
(F)	Students/CR*		500	138.9	25	20
(G)	Difference (A-F)		-33			
<b>Comments</b>		Currently overcrowded for K-5 in all three methods.				

		Grades K-4				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
	Existing	69,472	447	155.4	25	18
	MSBA Space Summary					
	MSBA Space Summary	63,181	447	141.3		
	Difference (A-B)	6,291				
	180 sf/student	80,460	447	180.0		
	Difference (A-D)	(10,988)				
	Students/CR*		500	138.9	25	20
	Difference (A-F)		53			
<b>Comments</b>		Removal of grade 5 frees up space to reduce number of students per room but still overcrowded utilizing method 2				

### John F. Kennedy Elementary School - Enrollment Capacity Analysis

\*per MA DESE (17.7-21.4)  
# of Students/Classroom

**Method 1:** MSBA Space  
Summary Template

**Method 2:** GSF/Students

**Method 3:**  
Students/Classroom  
Capacity

		Grades K-5 (Current)				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
(A)	Existing	68,884	456	151.1	25	18
	MSBA Space Summary					
(B)	MSBA Space Summary	62,001	456	136.0		
(C)	Difference (A-B)	6,883				
(D)	180 sf/student	82,080	456	180.0		
(E)	Difference (A-D)	(13,196)				
(F)	Students/CR*		500	137.8	25	20
(G)	Difference (A-F)		44			
<b>Comments</b>		Currently overcrowded for K-5 in terms of sf/student (method 2)				

		Grades K-4				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
	Existing	68,884	384	179.4	25	15
	MSBA Space Summary					
	MSBA Space Summary	57,269	384	149.1		
	Difference (A-B)	11,615				
	180 sf/student	69,120	384	180.0		
	Difference (A-D)	(236)				
	Students/CR*		500	137.8	25	20
	Difference (A-F)		116			
<b>Comments</b>		Removal of grade 5 frees up space for specialized programs				

### Dean S. Luce Elementary School - Enrollment Capacity Analysis

\*per MA DESE (17.7-21.4)  
# of Students/Classroom

**Method 1:** MSBA Space  
Summary Template

**Method 2:** GSF/Students

**Method 3:**  
Students/Classroom  
Capacity

		Grades K-5 (Current)				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
(A)	Existing	69,983	469	149.2	25	19
	MSBA Space Summary					
(B)	MSBA Space Summary	88,734	469	189.2		
(C)	Difference (A-B)	(18,751)				
(D)	180 sf/student	84,420	469	180.0		
(E)	Difference (A-D)	(14,437)				
(F)	Students/CR*		500	140.0	25	20
(G)	Difference (A-F)		31			
<b>Comments</b>		Currently overcrowded for K-5 in terms of MSBA space summary (method 1) and sf/student (method 2)				

		Grades K-4				
		GSF	Students	GSF/Stu.	# of CRs	Stu./CRs
	Existing	69,983	397	176.3	25	16
	MSBA Space Summary					
	MSBA Space Summary	79,078	397	199.2		
	Difference (A-B)	(9,095)				
	180 sf/student	71,460	397	180.0		
	Difference (A-D)	(1,477)				
	Students/CR*		500	140.0	25	20
	Difference (A-F)		103			
<b>Comments</b>		Removal of grade 5 frees up space but remains overcrowded in both method 1 and method 2				

## INTRODUCTION

**Elementary Schools Capacity Analysis**

Further analysis of enrollment capacity for both K-5 and K-4 grade configurations per elementary school has been studied using three methods.

**Method 1:** The first method plugs the existing enrollment into the MSBA Space Summary template and compares the recommended gross square footage to that of the existing school.

**Method 2:** The second method looks at gross square footage per student and compares it to the MSBA's benchmark value of 180.

**Method 3:** The third method reviews the number of physical classrooms and the average number of students per classroom as compared to DESE's recommended range of 17.7-21.4.

**Hansen:** The existing Hansen Elementary School is undersized in all three capacity methods in its current K-5 grade configuration. If grade 5 moves up to the Galvin Middle School, method 1 and method 3 illustrate some additional capacity in the facility, while method 2 still shows significant overcrowding.

**JFK:** The existing JFK Elementary School is undersized in capacity method 2 in its current K-5 grade configuration. If grade 5 moves up to the Galvin Middle School, method 2 aligns with the existing size of the facility.

**Luce:** The existing Luce Elementary School is undersized in capacity method 1 and method 2 in its current K-5 grade configuration. If grade 5 moves up to the Galvin Middle School, method 1 and method 2 become more in alignment but are still illustrate overcrowding, particularly utilizing method 1.

Additional factors that are not quantifiable utilizing capacity formulas relate to the special education and student services offered within the District. There is a robust support network of staff throughout the entire Canton Public School District, which are not directly apparent in these capacity calculations. Even though these analysis methods may indicate additional capacity, each facility is in need of space for special education and student services. These types of services are noted in the previous section where it is indicated what the vacated 5th grade classrooms would be utilized for. The programs identified currently exist but do not have a space to properly function.

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## Capital Budget Statement

Please find the Town of Canton Municipal Budget and Capital Information for FY 2023-2027 attached in Appendix G. This 321-page document details and recommends a capital improvement budget for the next fiscal year, a capital improvement program, and capital improvements for the following four years. In addition, the capital improvement plan details the Town's existing debt schedule, available free cash, revolving funds, enterprise funds, and other funds available for capital purchases. Upon successful passage of the project through Town Meeting and a subsequent debt override vote, the project will be bonded accordingly. The Town has ample bonding capacity to follow through on all existing bond events listed in the capital plan in addition to the William H. Galvin Middle School project pending successful passage at Town Meeting and a debt override vote.

### **Target Budget**

At this time, the target budget is considered as a target range due to the fact that the District has not selected the preferred option, refined the gross square footage of the program/design, or finalized the project site location or limits of the project on the campus. However, based on PM&C's cost estimates and a comparable-probable cost analysis, the project budget range is between \$163 million to \$254 million depending on the final preferred option, total gross square footage of the program, and extents of the site and site improvements, and whether the project pursues a CM at Risk or Design Bid Build construction method. Please note that these values are subject to change as the project moves forward into the preferred schematic report phase.



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# Project Directory

ORGANIZATION	NAME	TITLE	PHONE	EMAIL
<b>GALVIN MIDDLE SCHOOL BUILDING COMMITTEE</b>				
School Building Committee	Derek Folan	Canton Public Schools Superintendent, SBC Chair		foland@cantonma.org
School Building Committee	Bob Benedetti	Building Renovations Committee Member		bobbenedetti@verizon.net
School Building Committee	John Connolly	Town of Canton Select Board		jconnolly@town.canton.ma.us
School Building Committee	Charles Doody	Town of Canton - Town Manager		cdoody@town.canton.ma.us
School Building Committee	Tom Keleher	Canton Police Department - Deputy Chief		tkeleher@town.canton.ma.us
School Building Committee	Mike Loughran	Town of Canton Select Board		mloughran@town.canton.ma.us
School Building Committee	Brian Lynch	Canton Public Schools - Director of Facilities		lynchb@cantonma.org
School Building Committee	Stephen Marshall	Canton Public Schools - Director of Finance and Operations		marshalls@cantonma.org
School Building Committee	Bob McCarthy	Building Renovations Committee Chair		bobmccarthy2@verizon.net
School Building Committee	Kristian Merenda	School Committee		merendak@cantonma.org
School Building Committee	Jonathan Mulhern	Galvin Middle School Principal		mulhernj@cantonma.org
School Building Committee	Tina Perez	Community Member		tina.perez11@gmail.com
School Building Committee	Randy Scollins	Town of Canton - Finance Director		rscollins@town.canton.ma.us
School Building Committee	Sarah Shannon	Canton Public Schools - Assistant Superintendent		shannons@cantonma.org
School Building Committee	Andrea Stuart	Canton Public Schools - Teacher		stuarta@cantonma.org

# INTRODUCTION

ORGANIZATION	NAME	TITLE	PHONE	EMAIL
School Building Committee	Lou Tarmy	Community Member		ltarmy@chacompanies.com
School Building Committee	Amy Tom	Community Member		amy.tom109@gmail.com
<b>CANTON SCHOOL COMMITTEE</b>				
School Committee	Kendall O'Halloran	Chair		ohallorank@cantonma.org
School Committee	Maureen Moran	Vice Chair		moranm@cantonma.org
School Committee	Laura Arboleda	Clerk		arboledal@cantonma.org
School Committee	Kristian Merenda	Member		merendak@cantonma.org
School Committee	Kimberly McCourt	Member		mccourt_k@cantonma.org
<b>CANTON SELECT BOARD</b>				
Town of Canton	Thomas W. Theodore	Chair		ttheodore@town.canton.ma.us
Town of Canton	John J. Connolly	Vice Chair		jconnolly@town.canton.ma.us
Town of Canton	Michael C. Loughran	Clerk		mloughran@town.canton.ma.us
Town of Canton	Christopher M. Albert	Member		calbert@town.canton.ma.us
Town of Canton	John R. McCourt	Member		jmccourt@town.canton.ma.us
<b>MASSACHUSETTS SCHOOL BUILDING AUTHORITY</b>				
MSBA	Christina Ford	Project Manager FS/SD	617-720-4466	Christina.Forde@massschool-buildings.org
MSBA	Carley Belfield	Sr. Project Coordinator	617-720-4466	Carley.Belfield@massschool-buildings.org
<b>OWNER'S PROJECT MANAGER</b>				
LeftField Project Management, LLC	Jim Rogers	Principal-In-Charge	617-593-0661	jrogers@leftfieldpm.com
LeftField Project Management, LLC	Jen Carlson	Project Director	774-262-9448	jcarlson@leftfieldpm.com
LeftField Project Management, LLC	Linda Liporto	Sr. Project Manager	617-224-8684	lliporto@leftfieldpm.com
LeftField Project Management, LLC	Adele Sands	Educational Liaison	774-301-1352	asands@leftfieldpm.com
LeftField Project Management, LLC	Jay Faxon	Mechanical Systems Specialist	978-891-7280	jfaxon@leftfieldpm.com
<b>ARCHITECT</b>				
Ai3 Architects, LLC	Troy Randall	Partner-in-Charge	508-358-0790	randall@ai3architects.com
Ai3 Architects, LLC	Justin P. Thibeault	Principal-in-Charge	508-358-0790	thibeault@ai3architects.com

## INTRODUCTION

ORGANIZATION	NAME	TITLE	PHONE	EMAIL
<b>EDUCATIONAL PLANNING</b>				
My Learning Place Integrated Design	Mike Pirolo	Principal		mike@mlpid.com
<b>SITE SURVEY</b>				
Welch Associates Land Surveyors, Inc.	Pamela Welch, PLS	President	(508) 580-4696	pwelch@welchinc.com
<b>LANDSCAPE ARCHITECT</b>				
Traverse Landscape Architects	Ashley Iannucci Cullion	Principal	(401) 383-4950	aiannucci@traversela.com
<b>DATA/COMMUNICATIONS/TECHNOLOGY/AUDIO VISUAL</b>				
Ai3 Architects, LLC	John Jordan	Principal	508-358-0790	john@ai3architects.com
<b>MEP-FP ENGINEER</b>				
Griffith & Vary, Inc.	Wayne Mattson, PE	Mechanical Engineer	(508) 295-0050	wmattson@griffithandvary.com
Griffith & Vary, Inc.	Robert Bravo, PE	Electrical Engineer	(508) 295-0050	rbravo@griffithandvary.com
Griffith & Vary, Inc.	Adrian Delima, PE	Plumbing/Fire Protection Engineer	(508) 295-0050	adelima@griffithandvary.com
<b>GEOENVIRONMENTAL ENGINEER</b>				
FS Engineers, Inc.	Farooq Siddique, PE, LSP	Principal	(978) 274-2830	fsiddique@fsengrs.com
<b>SUSTAINABILITY / GREEN DESIGN / RENEWABLE ENERGY CONSULTING</b>				
Andelman & Lelek Engineering, Inc.	Magda Lelek, PE	Principal	(781) 769-8773	magda@andelmanlelek.com
<b>ACOUSTICAL ENGINEER</b>				
Acentech, Inc.	Kristen Murphey	Principal	(617) 499-8000	kmurphy@acentech.com
<b>COST ESTIMATING</b>				
PM&C	Peter Bradley	President	(781) 740-8007	peterbradley@pmc-ma.com
<b>SPECIFICATIONS</b>				
Wil-Spec, LLC	Robert Wilkinson	Principal	(781) 598-6789	robbw@wil-spec.com
<b>LIBRARY/MEDIA / LABORATORY / FF&amp;E CONSULTANT</b>				
Integrated Contract Design, Inc.	Nancy Lohrer, IIDA	Principal	(978) 609-4220	nlohrer@icdinc.com
<b>KITCHEN / FOOD SERVICE CONSULTANT</b>				
Crabtree McGrath Associates	John Sousa	President	(987) 352-8500	jsousa@crabtree-mcgrath.com
<b>CIVIL ENGINEER / ENVIRONMENTAL PERMITTING</b>				
The Vertex Companies	Andrew Chagnon, PE	Vice President, Civil Engineering	(781) 952-6022	achagnon@vertexeng.com

## INTRODUCTION

ORGANIZATION	NAME	TITLE	PHONE	EMAIL
<b>GEOTECHNICAL ENGINEER</b>				
Lahlaf Geotechnical Consulting, Inc.	Abdelmadjid Lahlaf, Ph.D., PE	Principal Engineer	(781) 771-1933	madjid.lahlaf@lgcinc.net
<b>ACCESSIBILITY CONSULTANT</b>				
KMA, LLC	Josh Safdie, RA, AIA	Principal	(617) 641-2802	jsafdie@kmaccess.com
<b>TRAFFIC CONSULTANT</b>				
Pare Corporation	Amy Archer, PE	Traffic Engineer	(401) 334-4100	aarcher@parecorp.com
<b>STRUCTURAL ENGINEER</b>				
Engineers Design Group, Inc.	Mehul Dhruv, PE	Principal	(781) 396-9007	mdhruv@edginc.com
<b>SECURITY CONSULTANT</b>				
Introba				
<b>CODE CONSULTANT</b>				
Cosentini Associates, Inc.	Rockwood Edwards, PE	Vice President	(617) 748-7800	redwards@cosentini.com
<b>THEATRICAL CONSULTANT</b>				
Act One Theater Consulting	Scott Stipetic	Principal	(561) 307-0618	scott@actoneconsulting.co
<b>HAZARDOUS MATERIALS CONSULTANT</b>				
Universal Environmental Consultants	Ammar Dieb	President	(508) 628-5486	adieb@uec-env.com

## Project Schedule

The following proposed project schedule was assembled by the OPM, Leftfield Project Management, with input from the Designer, Ai3 Architects, and School Building Committee. The proposed schedule aligns with the targeted dates established in the RFS.

The Project Team, District, and the Town have been working closely to ensure that sufficient time is being taken to review the data and options effectively and sufficiently. Throughout the process, the Project Team will notify the MSBA promptly if additional time is needed for any phase, and the Project Schedule will be modified as necessary.

### Notable Proposed Dates for MSBA Modules 3 - 8:

<b>OCT 27, 2023</b>	Module 3, Preliminary Design Program Submission
<b>NOV 20, 2023</b>	MSBA Review of PDP
<b>JAN 25, 2024</b>	Module 3, Preferred Schematic Report Submission
<b>FEB 16, 2024</b>	MSBA Review of PSR
<b>JUN 27, 2024</b>	Module 4, Schematic Design Submission
<b>MAR 13, 2024</b>	MSBA Facilities Assessment Subcommittee
<b>AUG 28, 2024</b>	MSBA Board of Directors Review of SD
<b>DEC 2024 - JAN 2025</b>	Module 5, Vote to Fund Project
<b>JUN 8, 2026</b>	Module 6, Construction Documents development
<b>JUL 8, 2026</b>	Module 7, Anticipated start of construction
<b>DEC 24, 2029</b>	Module 8, Anticipated construction closeout

# PROJECT SCHEDULE

Task Name	Duration (days)	Start	Finish
<b>Procure OPM [MOD 2]</b>	<b>36</b>	<b>Monday, January 30, 2023</b>	<b>Monday, March 6, 2023</b>
OPM interviews	1	Monday, January 30, 2023	Monday, January 30, 2023
OPM fee review & approval	36	Tuesday, January 31, 2023	Tuesday, March 7, 2023
MSBA OPM meeting approval	1	Tuesday, March 7, 2023	Tuesday, March 7, 2023
MSBA OPM letter issued	1	Thursday, February 2, 2023	Thursday, February 2, 2023
OPM contract executed	1	Monday, March 6, 2023	Monday, March 6, 2023
<b>Procure Architect [MOD 2]</b>	<b>107</b>	<b>Wednesday, March 15, 2023</b>	<b>Thursday, June 29, 2023</b>
Committee reviews & approves issuance RFS to the MSBA	1	Wednesday, March 15, 2023	Wednesday, March 15, 2023
LF issues RFS to the MSBA	1	Thursday, March 16, 2023	Thursday, March 16, 2023
MSBA-RFS review period	15	Thursday, March 16, 2023	Thursday, March 30, 2023
Finalize RFS with MSBA/BC	1	Monday, April 3, 2023	Monday, April 3, 2023
Ad submitted in Central Register & local newspaper	1	Thursday, March 30, 2023	Thursday, March 30, 2023
Select 3 members for DSP team / Assign DSP subcommittee	1	Wednesday, March 15, 2023	Wednesday, March 15, 2023
Ad appears in Central Register	1	Wednesday, April 5, 2023	Wednesday, April 5, 2023
On-Site RFS briefing	1	Thursday, April 13, 2023	Thursday, April 13, 2023
Receive RFS designer submissions	1	Thursday, May 11, 2023	Thursday, May 11, 2023
Review RFS & check references	1	Wednesday, May 24, 2023	Wednesday, May 24, 2023
Submit initial RFS packets to the MSBA DSP	1	Wednesday, May 24, 2023	Wednesday, May 24, 2023
Submit reference check data to the MSBA DSP [MSBA deadline]	1	Tuesday, May 30, 2023	Tuesday, May 30, 2023
Designer Selection Panel Dry Run	1	Monday, June 5, 2023	Monday, June 5, 2023
Attend MSBA 1st DSP Meeting [assume rank and interview option is selected]	1	Tuesday, June 6, 2023	Tuesday, June 6, 2023
Attend MSBA 2nd DSP Meeting for Interviews	1	Tuesday, June 20, 2023	Tuesday, June 20, 2023
MSBA DSP issues official ranking and letter Re: Top Ranked Design Firm	1	Tuesday, June 20, 2023	Tuesday, June 20, 2023
Negotiate Designer Fee	9	Tuesday, June 20, 2023	Wednesday, June 28, 2023
Designer contract - approval by BC	1	Wednesday, June 28, 2023	Wednesday, June 28, 2023
Execute Designer contact	1	Thursday, June 29, 2023	Thursday, June 29, 2023
Develop schedule/work plan	15	Thursday, June 29, 2023	Thursday, July 13, 2023
BC approves work plan	1	Thursday, August 3, 2023	Thursday, August 3, 2023
MSBA/District kick off meeting	1	Tuesday, August 1, 2023	Tuesday, August 1, 2023
<b>FEASIBILITY STUDY [MOD 3]</b>	<b>285</b>	<b>Friday, July 14, 2023</b>	<b>Wednesday, April 24, 2024</b>
<b>Preliminary Design Program (PDP)</b>	<b>120</b>	<b>Thursday, June 29, 2023</b>	<b>Friday, October 27, 2023</b>
Educational Programming	78	Friday, July 14, 2023	Friday, September 29, 2023
Ed. Visioning kick off meeting	1	Friday, July 14, 2023	Friday, July 14, 2023
Educational Visioning Galvin Walkthrough	1	Friday, July 21, 2023	Friday, July 21, 2023
Educational Visioning Group Workshop #1	1	Thursday, July 27, 2023	Thursday, July 27, 2023
Educational Visioning School Tours	2	Wednesday, August 2, 2023	Thursday, August 3, 2023
Educational Visioning Group Workshop #2 & #3	1	Wednesday, August 16, 2023	Wednesday, August 16, 2023
Educational Visioning Workshop #4 - Community Meeting	1	Sunday, August 20, 2023	Sunday, August 20, 2023
Educational Programming Verification Session #1	1	Friday, August 18, 2023	Friday, August 18, 2023
Educational Programming Verification Session #2	1	Thursday, September 14, 2023	Thursday, September 14, 2023

## PROJECT SCHEDULE

Task Name	Duration (days)	Start	Finish
EDUCATIONAL PLAN; Ed plan statement of teaching philosophy, methods and goals.	78	Thursday, June 29, 2023	Thursday, September 14, 2023
Initial space summary ("ISS")	1	Thursday, September 14, 2023	Thursday, September 14, 2023
Evaluation of existing conditions	121	Thursday, June 29, 2023	Friday, October 27, 2023
Meetings	254	Tuesday, March 7, 2023	Wednesday, November 15, 2023
SBC #1 OPM Kickoff	1	Tuesday, March 7, 2023	Tuesday, March 7, 2023
SBC #2 Designer Selection Process	1	Wednesday, March 15, 2023	Wednesday, March 15, 2023
SBC #3	1	Wednesday, June 14, 2023	Wednesday, June 14, 2023
SBC #4	1	Wednesday, June 28, 2023	Wednesday, June 28, 2023
SBC #5	1	Wednesday, September 20, 2023	Wednesday, September 20, 2023
SBC #6	1	Wednesday, October 18, 2023	Wednesday, October 18, 2023
SBC #7	1	Wednesday, November 15, 2023	Wednesday, November 15, 2023
<b>** Submit PDP to the MSBA **</b>	1	Friday, October 27, 2023	Friday, October 27, 2023
MSBA PDP Review	22	Monday, October 30, 2023	Monday, November 20, 2023
Receive MSBA PDP comments	1	Monday, November 20, 2023	Monday, November 20, 2023
District returns responses to MSBD PDP comments	15	Monday, November 20, 2023	Monday, December 4, 2023
<b>Preferred Schematic Report (PSR)</b>	178	Monday, October 30, 2023	Wednesday, April 24, 2024
Prepare and Submit Project Notification to Mass Historical Commission and Receive MHC Response	36	Friday, December 1, 2023	Friday, January 5, 2024
SBC Vote to Submit PSR	1	Thursday, January 18, 2024	Thursday, January 18, 2024
<b>*** Submit PSR to the MSBA ***</b>	1	Thursday, January 25, 2024	Thursday, January 25, 2024
MSBA Review Period	22	Friday, January 26, 2024	Friday, February 16, 2024
Respond to MSBA PSR review comments	15	Friday, February 16, 2024	Friday, March 1, 2024
MSBA Facilities Assessment Committee (FAS) review (3/13 or 3/27)	15	Wednesday, March 13, 2024	Wednesday, March 27, 2024
Respond to MSBA FAS Comments	29	Wednesday, March 13, 2024	Wednesday, April 10, 2024
<b>★★MSBA BOD Mtg - PSR - Proceed to Schematic★★</b>	1	Wednesday, April 24, 2024	Wednesday, April 24, 2024
<b>Schematic Design [MOD 4]</b>	<b>372</b>	<b>Friday, January 26, 2024</b>	<b>Friday, January 31, 2025</b>
<b>DESE submittal</b>	22	Thursday, June 6, 2024	Thursday, June 27, 2024
MSBA Review of DESE Submittal	22	Friday, June 28, 2024	Friday, July 19, 2024
DESE Review and Approval	22	Saturday, July 20, 2024	Saturday, August 10, 2024
<b>Schematic Design Submittal</b>	65	Wednesday, April 24, 2024	Thursday, June 27, 2024
SD Cost Estimates and Reconciliation	29	Friday, May 10, 2024	Friday, June 7, 2024
MSBA and Bond Counsel to Review Vote Language	15	Thursday, June 27, 2024	Thursday, July 11, 2024
SBC Vote to Approve SD Submission to MSBA	1	Wednesday, June 26, 2024	Wednesday, June 26, 2024
MSBA Schematic Design Notification	1	Thursday, June 13, 2024	Thursday, June 13, 2024
<b>** Schematic Submitted to the MSBA **</b>	1	Thursday, June 27, 2024	Thursday, June 27, 2024
MSBA Project Scope and Budget meeting	15	Wednesday, July 17, 2024	Wednesday, July 31, 2024
MSBA Review Comments Issued	22	Thursday, June 27, 2024	Thursday, July 18, 2024
Respond to MSBA Comments	15	Friday, July 19, 2024	Friday, August 2, 2024
<b>★★MSBA BOD Meeting - SD Approval★★ (TBD - 2024 dates not released)</b>	1	Wednesday, August 28, 2024	Wednesday, August 28, 2024
120-day duration to secure funding authorization	121	Wednesday, August 28, 2024	Thursday, December 26, 2024
District executes PSBA	8	Saturday, August 3, 2024	Saturday, August 10, 2024



# PROJECT SCHEDULE

Task Name	Duration (days)	Start	Finish
★★Town Approvals★★ (exact dates TBD)	62	Sunday, December 1, 2024	Friday, January 31, 2025
★★Execute PFA★★	62	Sunday, December 1, 2024	Friday, January 31, 2025
<b>CM PROCUREMENT [applicable if committee decides to utilize CM-R methodology]</b>	<b>122</b>	<b>Friday, December 15, 2023</b>	<b>Monday, April 15, 2024</b>
SBC Approves Use of CM at Risk Delivery & Selection Committee	1	Friday, December 15, 2023	Friday, December 15, 2023
CM at Risk Award / Notice to Proceed	1	Monday, April 15, 2024	Monday, April 15, 2024
SD Preconstruction	784	Monday, April 15, 2024	Monday, June 8, 2026
<b>Design Development</b>	<b>177</b>	<b>Thursday, January 2, 2025</b>	<b>Friday, June 27, 2025</b>
Design Development Documents	106	Thursday, January 2, 2025	Friday, April 18, 2025
DD Cost Estimate	21	Friday, April 18, 2025	Friday, May 9, 2025
DD Value Engineering and Reconciliation	14	Saturday, May 10, 2025	Friday, May 23, 2025
<b>** Submit DD package to MSBA **</b>	<b>1</b>	<b>Friday, May 23, 2025</b>	<b>Friday, May 23, 2025</b>
MSBA Issues Comments	22	Friday, May 23, 2025	Friday, June 13, 2025
Response to MSBA Comments	14	Friday, June 13, 2025	Friday, June 27, 2025
<b>CD 60% Phase_MSBA Submission</b>	<b>160</b>	<b>Friday, June 27, 2025</b>	<b>Thursday, December 4, 2025</b>
Develop CD 60% Documents	91	Friday, June 27, 2025	Thursday, September 25, 2025
CD 60% Cost Estimate	21	Thursday, September 25, 2025	Thursday, October 16, 2025
CD 60% VE and Reconciliation	14	Thursday, October 16, 2025	Thursday, October 30, 2025
<b>** Submit 60% CD MSBA submission **</b>	<b>1</b>	<b>Thursday, October 30, 2025</b>	<b>Thursday, October 30, 2025</b>
MSBA Issues Comments	21	Thursday, October 30, 2025	Thursday, November 20, 2025
Response to MSBA Comments	14	Thursday, November 20, 2025	Thursday, December 4, 2025
<b>CD 90% Phase_MSBA Submission</b>	<b>133</b>	<b>Thursday, December 4, 2025</b>	<b>Thursday, April 16, 2026</b>
Develop CD 90% Documents	63	Thursday, December 4, 2025	Thursday, February 5, 2026
CD 90% Cost Estimate	21	Thursday, February 5, 2026	Thursday, February 26, 2026
CD 90% VE and Reconciliation	14	Thursday, February 26, 2026	Thursday, March 12, 2026
<b>** Submit 90% CD MSBA submission **</b>	<b>1</b>	<b>Thursday, March 12, 2026</b>	<b>Thursday, March 12, 2026</b>
MSBA Issues Comments	21	Thursday, March 12, 2026	Thursday, April 2, 2026
Response to MSBA Comments	14	Thursday, April 2, 2026	Thursday, April 16, 2026
<b>Final 100% CD MSBA submission - for record only</b>	<b>41 days</b>		
100% CD drawings developed	45	Thursday, April 16, 2026	Sunday, May 31, 2026
Prepare 100% CDs for Final Bidding	8	Sunday, May 31, 2026	Monday, June 8, 2026
<b>** Submit 100% CD (Bid) drawings/specs/GMP to MSBA ** FOR RECORD</b>	<b>1</b>	<b>Monday, June 8, 2026</b>	<b>Monday, June 8, 2026</b>
<b>PERMITTING - STATE and LOCAL JURISDICTIONAL APPROVALS</b>	<b>459</b>	<b>Thursday, October 30, 2025</b>	<b>Monday, February 1, 2027</b>
Zoning Board of Appeals	98	Thursday, December 4, 2025	Thursday, March 12, 2026
Notice of Intent to Conservation Commission (Review based on Preliminary Site Design w/ Final Site Design due at 60% CDs)	1	Thursday, October 30, 2025	Thursday, October 30, 2025
NPDS Construction General Permit	45	Thursday, April 16, 2026	Sunday, May 31, 2026
EPA-NPDES / SWPPP	25	Sunday, May 31, 2026	Thursday, June 25, 2026
Permits from Town Engineering Dept.	45	Thursday, April 16, 2026	Sunday, May 31, 2026
Special Permit to Planning Dept.	35	Thursday, September 25, 2025	Thursday, October 30, 2025
Building Permit	246	Sunday, May 31, 2026	Monday, February 1, 2027

## PROJECT SCHEDULE

Task Name	Duration (days)	Start	Finish
<b>Bidding</b>			
Early Site Work Bid Period (after 60% CDs, if possible)	28	Thursday, November 20, 2025	Thursday, December 18, 2025
Award Early Package Contract	1	Thursday, December 18, 2025	Thursday, December 25, 2025
Main Bid Period	30	Monday, June 8, 2026	Wednesday, July 8, 2026
Final GMP	28	Wednesday, July 8, 2026	Wednesday, August 5, 2026
<b>Construction</b>			
Early Mobilization	28	Thursday, December 25, 2025	Thursday, January 22, 2026
Early Site Work Construction (if possible)	167	Thursday, January 22, 2026	Wednesday, July 8, 2026
Main Construction	730	Wednesday, July 8, 2026	Friday, July 7, 2028
<b>Building Substantial Completion</b>	1	Friday, July 7, 2028	Friday, July 7, 2028
FFE Installation	31	Friday, July 7, 2028	Monday, August 7, 2028
Punchlist	31	Friday, July 7, 2028	Monday, August 7, 2028
Final Completion of New School	1	Monday, August 7, 2028	Monday, August 7, 2028
Teacher Move-In	21	Monday, August 7, 2028	Monday, August 28, 2028
<b>School Opening</b>	1	Monday, August 28, 2028	Monday, August 28, 2028
Building Demo and Field Construction (if applicable)	365	Monday, August 28, 2028	Tuesday, August 28, 2029
<b>Project Closeout Phase</b>			
Prepare and Submit Closeout Documents	90	Tuesday, August 28, 2029	Monday, November 26, 2029
Final Application for Payment	1	Monday, November 26, 2029	Monday, November 26, 2029
Submit 100% DCAMM Contractor Evaluations	7	Monday, November 26, 2029	Monday, December 3, 2029
Final Reimbursement Request	1	Monday, December 3, 2029	Monday, December 3, 2029
MSBA Closeout Documents Submitted	21	Monday, December 3, 2029	Monday, December 24, 2029
<b>LEED</b>			
LEED Registration	21	Thursday, January 2, 2025	Thursday, January 23, 2025
LEED Kick-Off Meeting	1	Thursday, January 30, 2025	Thursday, January 30, 2025
Submit Design Submittal to USGBC	1	Monday, June 8, 2026	Monday, June 8, 2026
Final LEED 10-Month Cx Report	300	Friday, July 7, 2028	Thursday, May 3, 2029
Final Cx Report, Cx Completion Certificate	7	Friday, May 4, 2029	Friday, May 11, 2029
Construction Submittal to USGBC	14	Friday, May 11, 2029	Friday, May 25, 2029
Targeted Date of LEED Certification Letter	1	Friday, May 25, 2029	Friday, May 25, 2029
<b>DCAMM Documentation</b>			
Designer evaluation for Design Phase	21	Monday, June 8, 2026	Monday, June 29, 2026
Designer evaluation for CA Phase	21	Friday, July 7, 2028	Friday, July 28, 2028
Contractor 50% evaluation	21	Thursday, September 2, 2027	Thursday, September 23, 2027
Contractor 100% evaluation	21	Monday, August 28, 2028	Monday, September 18, 2028

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## 3.1.2 EDUCATIONAL PROGRAM

# 2

### **Educational Profile Questionnaire**

The following MSBA School District Educational Profile Questionnaire was completed during the Eligibility Period on August 1, 2022 by Assistant Superintendent Sarah Shannon, and Galvin Middle School Principal Jonathan Mulhern.

The questionnaire includes the following sections:

**Section 1**

District-wide Facilities

**Section 2**

Current Priority Statement of  
Interest School: William H. Galvin  
Middle School

**Section 3**

Proposed Priority Statement of  
Interest School: William H. Galvin  
Middle School

**Section 4**

Community Engagement

**Section 5**

Attachments

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**Massachusetts School Building Authority  
School District Educational Profile Questionnaire (the “Questionnaire”)**

**Date : August 1, 2022**

**Name of School District (the “District”): Town of Canton**

**Name of Priority Statement of Interest School: William H. Galvin Middle School**

**Author(s) of the Educational Profile Questionnaire (Name, Title): Sarah Shannon, Assistant Superintendent & Jonathan Mulhern, GMS Principal**

As part of the District’s invitation into the Eligibility Period, the MSBA is seeking the following information as a way to confirm what the District provided in its 2021 Statement of Interest and discussions during the Senior Study, and to further inform our understanding of the School District’s facilities, teaching methodology, and program offerings.

**SECTION ONE: District-wide Facilities**

**A. Please confirm the following pre-populated MSBA 2016 School Survey information for all public schools in the District using a “Y” for accurate and “N” for not accurate. Additionally, please complete any non pre-populated information.**

School Name	Grades originally intended to be served in the school facility	Grades currently served in the school facility	Year Founded	Last Add or Reno Year	Total GSF	Y/N
Rodman Early Childhood Center	PK	PK	1949		52,118	Y
Dean S. Luce	k-5	K-5	1954	2000	67,225	Y
John F. Kennedy	K-5	K-5	1965	2011	60,000	Y
Lt. Peter M. Hansen	K-5	K-5	1968	2016	70,000	Y
<b>William H. Galvin Middle School</b>	6-8	6-8	1971	2013	133,151	Y
Canton High School	9-12	9-12	1957	2006	247,803	Y

**B. Using the space below, please describe how students progress from grades K to 12 (e.g. students from North Elementary School attend East Middle School, students from South Elementary School attend West Middle School, and students from both middle schools attend ABC High School). Additionally, please update any inaccurate School Survey data that was pre-populated.**

In Canton, students attend one of three elementary schools - JFK Elementary, Luce Elementary or Hansen Elementary. Each of these schools enroll students in grades K-5. Some Canton families choose to enroll their students in our integrated pre-school at the Rodman Building. As students progress from grade five to six, they come together at the Galvin Middle School which

is a 6-8 school. Students who complete middle school at GMS transition to Canton High School for grades 9-12. This is the progression for all students unless a family chooses to attend a private or vocational school. Canton is a member of the Blue Hills Regional Technical Vocational School so several of our students choose to apply to and enroll for grade 9.

<b>SECTION TWO: Current Priority Statement of Interest School, William H. Galvin Middle School</b>
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A. Please complete the chart below indicating the number of each room type currently in the William H. Galvin Middle School. Please use the Comments column to further describe a program, if applicable.

<b>ROOM TYPE</b>	<b>No. of Rooms</b> (e.g. N/A, 1, 2, etc.)	<b>Comments</b>
<b><u>CORE ACADEMIC SPACES</u></b>		
<i>Pre-Kindergarten (indicate full/ half day in the Comments column)</i>	<u>0</u>	
<i>Kindergarten (indicate full/ half day in the Comments column)</i>	<u>0</u>	
<i>Grade 1</i>	<u>0</u>	
<i>Grade 2</i>	<u>0</u>	
<i>Grade 3</i>	<u>0</u>	
<i>Grade 4</i>	<u>0</u>	
<i>Grade 5</i>	<u>0</u>	
<i>Grade 6</i>	<u>12</u>	
<i>Grade 7</i>	<u>12</u>	<i>does not include world language teachers or teachers who share rooms</i>
<i>Grade 8</i>	<u>14</u>	<i>does not include world language teachers</i>
<i>Math (Grades 9-12)</i>	<u>0</u>	
<i>Science/ General Classroom (Grades 9-12)</i>	<u>0</u>	
<i>Science Lab/ Demonstration (Grades 9-12)</i>	<u>0</u>	
<i>Social Studies (Grades 9-12)</i>	<u>0</u>	
<i>English (Grades 9-12)</i>	<u>0</u>	
<i>World Language (Grades 9-12)</i>	<u>0</u>	
<i>Other (indicate program in the Comments column)</i>		
<b><u>SPECIAL EDUCATION</u></b>	<u>6</u>	<i>Does not include teachers who share gen ed rooms, does include two rooms that support our sub separate programming</i>
<b><u>ART</u></b>	<u>2</u>	<i>1 teacher on cart</i>
<b><u>MUSIC</u></b>	<u>3</u>	
<i>Practice Rooms</i>	<u>0</u>	
<b><u>HEALTH &amp; PHYSICAL EDUCATION</u></b>	<u>1 (health)</u>	<i>additional health teacher(s) on a cart</i>
<i>Adaptive PE Spaces</i>	<u>0</u>	
<i>Gymnasium</i>	<u>1</u>	<i>We have an additional fitness room</i>
<b><u>MEDIA CENTER</u></b>	<u>1</u>	
<b><u>DINING &amp; FOOD SERVICE</u></b>	<u>1</u>	<i>Our cafeteria is inadequate for a class of 280+ students</i>



<b><u>ROOM TYPE</u></b>	<b>No. of Rooms</b> (e.g. N/A, 1, 2, etc.)	<b>Comments</b>
		This space is a cafetorium and is where Drama is scheduled
<b><u>MEDICAL SUITE</u></b>		
<i>Nurses' Office</i>	3	This space has two offices and a room with beds. The bathroom in the nurse's suite does not have an included sink
<b><u>ADMINISTRATION &amp; GUIDANCE</u></b>	9	Our Dean of Students has an office but it is not situated within the main office. Two of our counselors share a space. Guidance assistant shares an entry area with our SRO. Two main office assistants share the open office space.
<b><u>OUTDOOR LEARNING</u></b>	1	
<b><u>AUDITORIUM</u></b>	0	
<b><u>NATATORIUM</u></b>	0	
<b><u>DESE APPROVED CHPT 74 SPACES</u></b>	0	Indicate which programs are currently offered
<b><u>NON-CHPT 74 ENRICHMENT PROGRAM SPACES</u></b>	0	Indicate which programs are currently offered
<b><u>NON-SCHOOL District SPACES</u></b>	0	e.g. Public Works
<b><u>OTHER</u></b> ( <i>indicate type of program in the Comments column</i> )	9	2 Technology & Engineering classrooms, 4 World Language Classrooms (multi-grade), Drama on stage in cafetorium, 1 Homebase room, 1 MLL small group room

**B. Describe how 1) core spaces, 2) specialty spaces, and 3) non-traditional spaces described above are *currently* used (e.g. multiple schools operating in a single building, the library also serves as Special Education pull out space, the cafeteria doubles as a gymnasium, etc.).**

Currently, curriculum is delivered in every classroom at the Galvin Middle School. In some cases, this happens 5 out of 7 periods per day for an average of 71% utilization rate, while other classrooms are occupied 7 out of 7 periods per day for a 100% utilization rate. Currently, we have teachers who move rooms based on available space during the day. For some of these teachers -- art, health, and world language -- this configuration and structure limits what can be done with students with regard to their content and the classroom environment that can be created. As we add staff, teams, and programs, the need for classrooms to be used 6 and 7 periods per day continues to increase. In addition, our library is the home for not only our library research course but will also (in the 2022 - 23 school year) be used for 6th grade world

language classes, which are being introduced as part of our 6th grade programming this year. Our cafeteria will be used for breakfast and lunch during those designated times and will host a new drama course being offered to all students in grades seven and eight as an additional “special” this year during the other periods of the day. When the drama course happens during the lunch period (due to our rotating schedule), the class will be held in our solarium (hallway) space on the second floor. Our gymnasium often hosts three separate physical education class sections at the same time. At times, there could be 80-85 students in this space during the same time. This limits movement and the activities the three teachers can plan for and execute. Finally, rooms that were originally designed for small group/meeting spaces or offices have had to be repurposed. Many now hold programs like our Homebase (a general education social emotional program) and our Multi-Language Learner services. Offices are, in some cases, shared between two people which limits privacy, confidentiality and productivity.

**C. Using the space below, provide information about the William H. Galvin Middle School’s *current* teaching methodology (e.g. technology integration, self-contained classroom, team teaching, project based, departmental, or cluster). Include class size policies and, if applicable, scheduling particulars.**

GMS is committed to becoming a deeper learning school that prioritizes equity, social emotional learning and a purposeful culture of belonging so that each student can live up to their personal and academic potential. To do this, we have been actively shifting what teaching and learning looks like by providing engaging and relevant instruction and transformational experience for all students since 2018. To do this, we have partnered with i2 Learning and PBLWorks to develop and implement project based units in all three grades. We have also been awarded a grant to implement Project Lead the Way (PLTW) in our Technology & Engineering courses. Both our PBLWorks and our PLTW grants are funded through the One8 Foundation.

The curriculum at GMS is driven by the MA State Curriculum Frameworks. All students meet daily for core courses in math, ELA, science, social studies and either reading (grade 6) or a world language (grades 7 & 8). Students take exploratory courses and “specials” in art, health, physical education, music, technology & engineering, and library. For the 2022 - 2023 school year we are adding World Languages as a 6th grade special and drama as a 7th & 8th grade special. Students may also access special education resources as their learning needs require. Though the MA Frameworks guide what we teach, we are committed to shifting how we teach those standards. Since 2018 we have shifted some of our curriculum to be project based. Last year, every student at GMS experienced at least two project based learning opportunities, with students in grade six experiencing five, four of which were interdisciplinary. In grades seven and eight, one interdisciplinary unit was implemented with others being single subject PBL opportunities.

To further support these shifts, we implemented a schedule change in 2021 - 2022 to facilitate learning that capitalizes on student agency, voice and ownership of learning. The new schedule provides additional time for teacher teams to collaborate and longer blocks to support student-centered learning. As teachers facilitate more student collaboration, classroom square footage limits the number of students in a room and the type of learning that can occur. In addition, we have very few common spaces to be used for this purpose or for presentations of work. Our hallways are lined with lockers, have limited wall space and there are no alcoves for

quiet work. The only places we have for these purposes are the library and the cafeteria, both of which are (or will be this year) used a majority of the day as teaching spaces.

With regard to our priority of equity, special education is a focus. To be inclusive, we have a strong life-skills program that services our severe special needs population. The GMS facility does not adequately provide what is needed for these students. Ideally, this classroom will include a kitchen, a handicap accessible bathroom with age-appropriate changing spaces, laundry facilities, movement break stations, and dedicated OT and PT spaced.

Another priority is developing our capacity to meet students' social, emotional and wellness needs. We currently have 7.0 FTE in our counseling department to handle the increased need of students. Due to space limitations, two counselors share an office and one does not have an office. Given the sensitivity of their conversations, we need a more appropriate space for counseling staff.

The Galvin is a grade 6-8 middle school will serve 749 students during the 2022 - 2023 school year. Teaming of teachers and students is a foundational structure to our work in changing what middle school can be, however, our teams can't be fully co-located due to the limitations of our facility. Ideally, teams would be located in close proximity to each other to facilitate a stronger community culture and climate, interdisciplinary teams and a project based and STEAM approach to teaching and learning, all of which are priorities for us. Currently, we co-locate English, math, social studies, and language classes, but our seventh and eighth grade science classes are, unfortunately, located mostly on the third floor to capitalize on "science classrooms" and are, in some cases, away from their respective teams. In grade 6, our science classrooms are intentionally not in science rooms so we could keep our sixth grade students' core classes all on the second floor together. This is done in the best interest of our students' social emotional well-being and to promote interdisciplinary planning and teaching among teachers. We cannot co-locate our specials (art, computers, technology engineering and physical education) as they reside in specially designed rooms located away from the general population.

In addition to the above mentioned facility concerns with regard to our educational philosophy, we have square footage and location concerns that impact instructional methodologies. There are 41 general education classrooms which include 6 dedicated science classrooms. General education classrooms range in size from 780 – 1000 SF. The average classroom is 835 SF and the average science classroom is 850 SF. Six out of nine of our science classrooms have sinks with water running along 1 or 2 classroom walls. One science classroom has 1 makeshift sink in it and two of our science rooms have no running water. In addition, one of our technology and engineering classrooms is outfitted to meet some of the varied needs of this course (it was originally designed and outfitted when the building opened in 1973) and one is a former computer lab and does not have the necessary resources to meet the needs of the course. Our current science spaces are out-of-date and lack current technology and tools needed for a 21st century STEAM curriculum.

Nine of our classrooms and three small group/office spaces on the second and third floors are interior classrooms/spaces. They have no exposure to natural light or fresh air. This is not an

environment that promotes learning and creativity. Natural light has been proven to boost learning and student achievement. Natural light also has a positive impact on a person's general well-being so this is a concern for adults and students at GMS.

The GMS Library/Media center is also outdated, except for the new furniture we recently purchased. Many of our book stacks are original to the building. In recent years, the library furniture has been reorganized to create distinct learning spaces; however, the lack of sound barriers make it difficult for more than one class to utilize the space effectively. Our vision includes turning part of this space into a STEAM/maker space, requiring a renovation that includes infrastructure, furniture and equipment. In addition, our library is a library, it is not a true 21st century media center, which it should be to meet the needs of our 21st century students. The library/media center should be the hub of a school. Currently our library is only accessible to students from the second floor and only when classes are not being taught.

We are shifting teaching and learning in big ways. Making systemic and institutional changes is our work; unfortunately, our facility poses many challenges and places many limitations on what we hope to accomplish. We are getting creative, sharing spaces and putting band-aids in places; however, our programming and educational vision is suffering as a result.

<b>SECTION THREE: Proposed Priority Statement of Interest School, William H. Galvin Middle School</b>
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**A. Please complete the chart below indicating the number of each room type proposed, if known at this time. The District should modify the included grades in the 'Room Type' column to reflect any grade configuration(s) the District is interested in studying during Feasibility Study, as already presented to the MSBA in the 20XX Statement of Interest and as discussed during the District's Senior Study. In a case where the District is considering multiple grade configurations, the widest grade span should be included (i.e. if the District is interested in studying their current 1-4 configuration, a K-5 configuration, and a K-8 configuration, the 'Room Type' column should include all grades between Grade K and Grade 8).**

<b><u>ROOM TYPE</u></b>	<b>No. of Rooms</b> (e.g. N/A, 1, 2, etc.)	<b>Comments</b>
<b><u>CORE ACADEMIC SPACES</u></b>		
<i>Pre-Kindergarten (indicate full/ half day in the Comments column)</i>		
<i>Kindergarten (indicate full/ half day in the Comments column)</i>		
<i>Grade 1</i>		
<i>Grade 2</i>		
<i>Grade 3</i>		
<i>Grade 4</i>		
<i>Grade 5</i>	<u>15</u>	<i>w/5-8 configuration</i>
<i>Grade 6</i>	<u>15</u>	<i>Includes world languages</i>

<b><u>ROOM TYPE</u></b>	<b>No. of Rooms</b> (e.g. N/A, 1, 2, etc.)	<b>Comments</b>
<i>Grade 7</i>	<u>15</u>	<i>Includes world languages</i>
<i>Grade 8</i>	<u>15</u>	<i>Includes world languages</i>
<i>Math (Grades 9-12)</i>		
<i>Science Instructional Space (Grades 9-12)</i>		
<i>Social Studies (Grades 9-12)</i>		
<i>English (Grades 9-12)</i>		
<i>World Language (Grades 9-12)</i>		
<i>Other (indicate program in the Comments column)</i>		
<b><u>SPECIAL EDUCATION</u></b>	<u>12</u>	
<b><u>ART</u></b>	<u>4</u>	
<b><u>MUSIC</u></b>	<u>4</u>	
<i>Practice Rooms</i>	<u>4</u>	
<b><u>HEALTH &amp; PHYSICAL EDUCATION</u></b>	<u>3</u>	<i>Health</i>
<i>Adaptive PE Spaces</i>	<u>1</u>	
<i>Gymnasium</i>	<u>3</u>	<i>2 Gymnasiums + 1 Fitness Center</i>
<b><u>MEDIA CENTER</u></b>	<u>1</u>	
		Cafetorium for large performances and a smaller lunch
<b><u>DINING &amp; FOOD SERVICE</u></b>	<u>2</u>	
<b><u>MEDICAL SUITE</u></b>	<u>1</u>	
<i>Nurses' Office</i>	<u>3</u>	inclusive of a full bathroom
<b><u>ADMINISTRATION &amp; GUIDANCE</u></b>	<u>13</u>	one per person with an admin in each welcome area
<b><u>OUTDOOR LEARNING</u></b>	<u>2</u>	Science and presentation space
<b><u>AUDITORIUM</u></b>	<u>1</u>	Blackbox theater for drama course
<b><u>NATATORIUM</u></b>	<u>0</u>	
<b><u>DESE APPROVED CHPT 74 SPACES</u></b>	<u>0</u>	
<b><u>NON-CHPT 74 ENRICHMENT PROGRAM SPACES</u></b>	<u>0</u>	
<b><u>NON-SCHOOL District SPACES</u></b>	<u>0</u>	<u>0</u>
		Homebase 3 Tech & Engineering 1 STEAM Small group meeting spaces Student Collaboration Spaces (open and closed) Staff Collaboration spaces Presentation spaces
<b><u>OTHER</u></b> <i>(indicate type of program in the Comments column)</i>	<u>8</u>	

**B. Describe how 1) core spaces, 2) specialty spaces, and 3) non-traditional spaces described above are *proposed* to be used, if known at this time. Additionally, if there are proposed changes, indicate how they will impact space needs and what training to support teaching staff will/ may be provided.**

As we consider a proposed new Galvin Middle School, we are looking to design a facility that supports our students population, our educational philosophy, our commitment to high achievement and equity, and our current and future programming.

One aspect of our SOI and our work is to consider the appropriate grade configuration at the GMS given the space needs at our three elementary schools. We hope, through this process, to determine if the new GMS will house students in grades 5-8 or 6-8. Our current hypothesis is that by adding grade five to the middle school, we will reduce overcrowding issues at our elementary schools. If we are to go this route, this would mean we need additional core, speciality and non-traditional spaces. Given current numbers we would need an additional 15 core classrooms, 3 of which would be science rooms, in addition to a health classroom, an art studio, a music classroom, a technology and engineering lab and an additional physical education space. The addition of 5th grade would also require additional special education spaces, for our general special education services, our therapeutic program and our severe special education needs. The addition of a specific space for our severe special education needs would allow us to have a 5th and 6th grade program and 7th and 8th grade program, which would be appropriate given the age and maturity discrepancies of our students across four grade levels.

In addition to the building needs for a new GMS (involving the addition of 5th grade), we also propose the following given our current and intended space, programmatic and philosophical needs.

- Additional core classrooms for content teachers as well as health courses would allow teachers to have individual classrooms instead of sharing spaces. While sharing spaces is economical, it reduces a teacher's ability to build a culture in a classroom that supports the academic needs of students. An example of this is when a World Language teacher has to share a classroom and cannot create a classroom environment that is rich with the target language or cultural elements. In addition, based on student input we are adding a cooking component to our health curricula at each grade level. To accomplish this in our current facility, we have to use portable cooking equipment (ie. electric griddle, air fryer, etc). In a new GMS, we would want our health spaces to have small kitchens to accommodate the food units.
- Currently we have three art teachers and two art classrooms. Should we stay with the 6-8 grade configuration, we anticipate adding a third art classroom. If we go to a 5-8 model, we would add two art rooms. Art teachers who have to share spaces are limited by access to the tools and resources a static art room would offer. Additionally, by locating the art classrooms closer to the core academic areas, we can more easily build art into our Project Based Learning units.
- Similarly, we are looking to add an additional physical education space to better accommodate three, and possibly four, PE classes at the same time.
- As noted above, one of our Technology and Engineering labs is out of date and one is located in a retrofitted computer lab. In a new building, these spaces would be built out

to accommodate a 21st century Technology & Engineering curriculum. These classrooms would also be located near core academic classrooms to capitalize on the ability to create interdisciplinary learning opportunities. Given our schedule, we would need a third Technology & Engineering room to accommodate 5th grade students.

- In addition to our Technology & Engineering labs, we currently have an iDesign course that incorporates graphic design and other media arts. This course currently happens in multiple classrooms across the building. Our intention is to build a STEAM lab that would allow for this course as well as other STEAM courses to occur so we can provide as many authentic, innovative and personalized learning opportunities to our students as we can.
- As noted above, we added a drama course to our programming for our seventh and eighth grade students. This class happens on our stage and in our solarium. Ideally, we envision a theater classroom/black box theater that will be the home for our drama course and a place where student presentations and performances can take place.
- Finally, our special and general education programming continues to evolve and grow given the changing needs of our students. In the last four years we have added a Homebase and therapeutic program and grown our severe special education and life skills program. Homebase is a general education service that supports students transitioning from hospitalizations, who have social emotional needs that don't rise to the level of special education but need more support than what a general education classroom can provide, and more. Our therapeutic program is a specialized service based on a child's IEP and allows us to keep more Canton students in the District, attending their community school. Our severe special education and life skills program does the same and has allowed us the opportunity to offer so many children the ability to have their needs met and to be integrated with their community peers at the same time. Having appropriately sized and laid out spaces for each of these three classrooms will allow us to better service our students.

In addition to the above, other non-traditional spaces that we envision including in a new Galvin Middle School are:

- Small group meeting spaces: These spaces will be multi-purpose to allow for students to work in small groups together, for teachers to meet with groups of students, and for meetings to happen.
- Administrative and Guidance spaces: Ideally, we envision having an administrative and a guidance suite that are separate and co-located to facilitate easy and quick communication. Given the confidential nature of the work that occurs within both groups, each person will have their own office space and access to at least one, if not two, conference rooms per suite for meetings and small group sessions.
- Collaborative work spaces (students): As we shift to doing more deeper and project based learning at the Galvin Middle School, students need more space to spread out and work in groups. Having large, collaborative work spaces co-located near classroom teams will facilitate and allow for innovative thinking, leadership development and the enhancement of communication skills.
- Collaborative work spaces (staff): We have consistently been working to deprivatize the practice of teaching at GMS. To start this effort, grade-level interdisciplinary teams as well as grade-level department teams were created and meeting structures were put in place so each team had specific time to meet throughout the week. In doing this, teams are now engaging in more interdisciplinary conversations and grade-level curriculum is more consistent across teachers. Academic discourse is growing amongst the staff. To

encourage this, we envision collaborative teacher spaces being designed to facilitate and grow these practices.

- Presentation spaces: Again, as we continue to grow our project based learning approach to curriculum, our students are presenting their work in a variety of ways. Sometimes, this looks like single class presentations, sometimes whole team presentations are given, and sometimes students present to a large audience of parents and community members. To accommodate these varying needs, a new building should offer a variety of presentation spaces that can accommodate small, medium and large groups.
- Lunch Spaces: While we anticipate having a cafeteria space for our students, we would also like to provide some flexible seating options for students who require or prefer to eat in smaller, quieter spaces.

**C. Using the space below, provide information about the William H. Galvin Middle School’s *proposed* teaching methodology, if known at this time (e.g. technology integration, self-contained classroom, team teaching, project based, departmental, or cluster). Include any changes to class size policies, if applicable.**

The basis of our proposed philosophies on middle school teaching, learning and assessment as well as the experience for students is laid out throughout this document. Below are our central tenets:

- The Galvin Middle School’s vision is to be a deeper learning school that prioritizes equity, social emotional learning and creating a culture of purposeful belonging so our students can realize their academic and personal potential. To achieve this vision we have been and continue working on:
  - A true teaming model: A core philosophy of middle school education is teaming. We currently have 3 interdisciplinary teams at each grade level and do our best to co-locate them within the building to create small communities of learning. In a new building, we will be able to purposefully design our classroom layout to achieve this goal in full. This will allow students to learn in their “neighborhood” and to more easily access teachers and each other as they do project work and need intervention or extension. To fully realize this model, our “special” subject should be spread throughout the building so they, too, are incorporated into interdisciplinary opportunities.
  - Deeper and Project Based Learning: The research on deeper and project based learning supports this philosophy and method of teaching as being a key lever for meeting the needs of all learners. It is grounded in community, social emotional learning and equity, and it challenges students academically by providing personalized entry points and levels of rigor. Data from these research studies shows high levels of growth and student achievement in PBL classrooms as determined by state and national tests. For these reasons, this is the work we have been doing at GMS. We will continue to build the capacity of our staff to provide deeper and PBL learning experiences for our students through professional learning and our partnerships with outside organizations like PBLWorks and i2Learning. In addition, this year we are hiring an instructional coach for GMS to explicitly support staff in developing these skills.
  - As part of our commitment to deeper learning we are also working to return to a more lab-based approach to teaching science. Given our current classroom set up



and lack of physical resources, this has been difficult at times. We are continuing to revise our curriculum to incorporate more lab experiences for our middle school students and will incorporate professional development in this area for our science teachers so they can capitalize on the new classrooms as soon as they can access them.

- Flexibility is also a mindset we want to take into consideration as we plan for a new building. Currently, teachers are limited with how flexible they can be as our space is limited and static. In a new building, teachers will be able to move and utilize spaces (ie. presentation or collaboration spaces) based on need.
- This year our sixth grade students did a project in which they learned about and designed learning environments that best supported their needs. Our students shared with us the need to have spaces that supported their ability to collaborate and to grow as independent learners. In listening to them, this is also a key facet of design that we hope to take into consideration as we move forward and that we are building capacity for as we focus on structures that support relationship and trust building between adults and students in the building.

#### **SECTION FOUR: Community Engagement**

**A. Describe the community outreach that has occurred to this point, and any future plans and goals related to engaging the community on the William H. Galvin Middle School project. If considering grade reconfiguration, consolidation of facilities, and/or a change to the current teaching methodology, describe the outreach and discussions that have occurred to this point and any future plans to engage the community on the proposed changes. Additionally, indicate whether the District has determined whether or not an override or debt exclusion might be required for full project funding.**

In October of 2017, a town-wide committee under the facilitation of the architectural firm of Dore and Whittier produced a Canton Public Schools Comprehensive Facilities Assessment, followed by a Feasibility Study in December of 2018. This plan outlined many different options that were possible for the future of the Galvin Middle School. One of those options was to move forward with a new GMS facility that housed students in grades 5-8 to achieve two goals: 1. provide a new GMS facility to address the facility and educational needs of students and 2. to relieve the overcrowding issues at the three elementary schools. At the time, family and community feedback was included in the work.

Given the time that has passed since that Master Facilities Plan was produced and our current status as a District, we are planning to re-engage families in the conversation. First and concurrent to this process, we are entering into the process of designing a 5-year strategic plan for the Canton Public Schools and into the NEASC process which includes the design of a Vision of a Graduate. Each of these processes will engage families and community members in the work that will, ultimately, guide the design and development of a new middle school in Canton.

In addition, we anticipate having a grade configuration study group that will include CPS administrators, staff and parents to determine if a 5-8 or a 6-8 configuration is what we want to move forward with.

Our School Building Committee consists of town and school officials, parents and teachers.

Finally, as we move through the design process, we plan to engage families, staff and students to ensure that we are hearing all perspectives, needs and wants when it comes to a new facility. We expect to do this at various points in the process to gather input and feedback on our plans. In reaching out to the community throughout the process, when we have to seek an debt-exclusion override to fully fund the building, the community will already have been well-informed. This does not mean that we won't have work to do to secure that vote, however. When the time comes, we will have to do public information sessions and hold many meetings to ensure that information is shared, questions are answered and concerns are addressed. Our goal is to be transparent and purposeful in our communication throughout the process.

#### **SECTION FIVE: Attachments**

A. Please attach to this completed Questionnaire any **Executive Reports or Conclusions** of reports or studies related to: Coordinated Program Review, Master Plan/ Facilities Plan (if not already on file), and NESDEC/NEASC reports (if not already on file). Below, list all documents attached (as applicable).

Documents attached:

[CPS Master Plan](#) (Page 128 starts the language referring to the Canton Public Schools)  
[Canton Public Schools Feasibility Study](#) (2018)

Should you have any questions as you complete this document,  
please contact your Project Coordinator, Brittany Gomes, at:

Massachusetts School Building Authority  
617-720-4466  
Brittany.Gomes@massschoolbuildings.org



# Educational Process of Collaboration

## GALVIN MIDDLE SCHOOL VISIONING 1 INITIAL LISTENING SESSION July 27, 2023

### Attendees

NAME	POSITION	EMAIL
Derek Folan	Superintendent	foland@cantonma.org
Sarah Shannon	Assistant Superintendent	shannons@cantonma.org
Stephen Marshall	Finance	marshalls@cantonma.org
Jon Mulhern	GMS Principal	mulhernj@cantonma.org
Andrew Stuart	GMS Science Teacher	stuarta@cantonma.org
Catherine Stein Feeley	Instructional Coach	steinc@cantonma.org
Jim Jordan	Ai3 Architects – Partner	jordan@ai3architects.com
Troy Randall	Ai3 Architects – Partner	randall@ai3architects.com
Justin Thibeault	Ai3 Architects – Principal	thibeault@ai3architects.com
Mike Pirolo	MLP - Ed. Planner	mike@mlpid.com
Paul White	MLP – Ed. Consultant	paul@mlpid.com
Adele Sands	LeftField	asands@leftfieldpm.com
Jen Carlson	LeftField	jcarlson@leftfieldpm.com



## **GALVIN MIDDLE SCHOOL VISIONING 1** INITIAL LISTENING SESSION

### **Overview**

On July 27, 2023, members of Canton Public Schools attended a listening session with Ai3 Architects and Educational Planner Mike Pirolo (MLP Integrated Design) as part of the visioning effort for the Galvin Middle School building project. The meeting centered around the following goals:

- Identify educational, architectural, and community goals and priorities
- Identify existing strengths and challenges that either help or hinder the district from reaching its goals

Outcomes from the session are documented below.

### **Part I - Educational, Architectural, and Community Priorities**

In Part I, participants were given the following questions and were asked to identify educational, architectural, and community priorities on individual Post-It Notes:

- What is at the “heart” of this project?
- What educational, architectural, or community goals do you want to achieve?
- What programs, learning experiences, or aspects of middle school education matter most to you?



- What programs, learning experiences, or traditions are you looking to preserve? Improve? Create?
- What do you and your students want that you don't have?

After sharing their individual responses, participants grouped and categorized their individual responses to identify overarching project goals and considerations for the design of the Galvin Middle School (GMS) facility as documented below:

- Middle-schooler focused building
- Spaces, curriculum, and opportunities to support teaming and experiential, project-based learning
- Flexible learning environment
- Outdoor space for academic and social-emotional needs
- Calming spaces throughout

## **GALVIN MIDDLE SCHOOL VISIONING 1** INITIAL LISTENING SESSION

- Maximize inclusion and integration of all students and programs
- Building and site as a community resource, even beyond school hours
- Safety and security
- Structures, instructional practices, and design features to support collaboration
- Welcoming and inspiring facilities
- Visible learning beyond display cases
- Sustainability
- Maximize natural light

The individual responses that fall under each of these overarching project goals are documented in the pages that follow.



**GALVIN MIDDLE SCHOOL VISIONING 1**

INITIAL LISTENING SESSION



**GALVIN MIDDLE SCHOOL VISIONING 1**  
INITIAL LISTENING SESSION

Outdoor spaces  
and social

multiple  
outdoor  
learning  
spaces (tra  
classroom,  
etc)

opportunities  
project-based

project-based  
learning

explo  
move  
comf

auditorium

social  
education  
spaces

team  
spaces to  
maximize  
learning

high  
teach  
learn  
level  
inq



**GALVIN MIDDLE SCHOOL VISIONING 1**

INITIAL LISTENING SESSION

play cases

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(to  
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**community  
spaces to see  
learning and  
to use**

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**GALVIN MIDDLE SCHOOL VISIONING 1**  
INITIAL LISTENING SESSION

play cases

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## **GALVIN MIDDLE SCHOOL VISIONING 1** INITIAL LISTENING SESSION

### **Part I.A - Identification of Strengths & Challenges**

In Part I.A, participants identified existing academic and facility strengths and challenges that could either help or prohibit GMS from reaching the identified goals and priorities documented in Part I. Responses are documented below.

#### **Strengths**

- Civics project
- Wealth of clubs
- Faculty who wants to do the work and loves kids (people and willingness)
- MS staff feel like a family
- Variety of outdoor spaces (would be nice to have a pond)
- Teacher union helps support teacher voice
- Started PD with Project-Based Learning
- Created vision for high-level teaching and learning
- Teaming and collaboration time built in for teachers
- Wide variety of specials offerings
- Willingness to try
- Support experimentation
- Student voice is really valued
- Teachers want to be with MS kids
- Opportunity to create a stronger transition and continuum

#### **Challenges**

- Facility overall is an obstacle
- Schedule (especially with specials)
- Don't have space for full faculty to gather or all students to gather
- Limited secured entry features
- MS development isn't supported by building
- CHS uses middle school spaces
- Anxiety of going from elementary to MS and merging of schools
- Public perception – lack of rigor and social-emotional

**GALVIN MIDDLE SCHOOL VISIONING 2**

## DEFINING THE MIDDLE SCHOOL CHILD

August 21, 2023

**Attendees**

NAME	POSITION	EMAIL
Derek Folan	Superintendent	foland@cantonma.org
Sarah Shannon	Assistant Superintendent	shannons@cantonma.org
Meghan Byrne	Director of Student Services	byrneme@cantonma.org
Jon Mulhern	GMS Principal	mulhernj@cantonma.org
Camille Killian	GMS Special Education	killianc@cantonma.org
Nancy Durang	3 <sup>rd</sup> Grade Teacher	durangn@cantonma.org
Sara Donovan	7 <sup>th</sup> Grade Teacher	donovans@cantonma.org
Molly Grey	Luce Art Teacher	greym@cantonma.org
Sarah Joncas	Luce Music Teacher	joncass@cantonma.org
Betsy Pabone	GMS Music Teacher	pabone@cantonma.org
Kelly Fahey	Hansen Asst. Principal	faheyk@cantonma.org
Michael Maresca	Luce Asst. Principal	marescam@cantonma.org
Yeshi Lamour	Luce Principal	lamoury@cantonma.org
Saundra Watson	JFK Principal	watsons@cantonma.org
Paul McKnight	Hansen Principal	mcknightp@cantonma.org
Nicholas Fitzgerald	CHS Asst. Principal	fitzgeraldn@cantonma.org
Paul Fitzgerald	CHS Adjustment	fitzgeraldp@cantonma.org
Shelley Needle	Interim ECC	evanss@cantonma.org
Kristen Morgan	GMS ELA Dept. Head	morgank@cantonma.org
Matt Masciarelli	Science Dept. Coordinator	masciarellim@cantonma.org
Liz Lydon	5 <sup>th</sup> Grade Teacher	lydone@cantonma.org
Alexandra Gunning	6 <sup>th</sup> Grade ELA Teacher	gunninga@cantonma.org
Kathryn Cervelli	8 <sup>th</sup> Grade ELA Teacher	cervellik@cantonma.org
Brittany Hitchcock	6-8 Band/GM	hitchcockb@cantonma.org
Deb Chamberlain	6 <sup>th</sup> Grade SPED	chamberlaind@cantonma.org
David Place	GMS Teacher	placed@cantonma.org
Jen McAteer	Reading	mcateerj@cantonma.org
Emily Dymond	Science	dymonde@cantonma.org
Kimberly Seaver	Reading	seaverk@cantonma.org
Deb Rooney	Director of Curriculum	rooneyd@cantonma.org
Mike Pirollo	MLP - Ed. Planner	mike@mlpid.com
Paul White	MLP - Educational Consultant	paul@mlpid.com
Jim Jordan	Ai3 Architects – Partner	jordan@ai3architects.com
Justin Thibeault	Ai3 Architects – Principal	thibeault@ai3architects.com
Julie Rahilly	Ai3 Architects – Senior Associate	rahilly@ai3architects.com
Jonathan Quell	Ai3 Architects - Associate	quell@ai3architects.com
Kristen Kendall	Ai3 Architects – Associate	kendall@ai3architects.com
Alex Sieving	Ai3 Architects – Intern Architect	sieving@ai3architects.com
Adele Sands	LeftField	asands@leftfieldpm.com
Jen Carlson	LeftField	jcarlson@leftfieldpm.com



Galvin Middle School  
Priority Mapping  
August 21, 2023

## **GALVIN MIDDLE SCHOOL VISIONING 2** REVIEW OF PRIORITIES

### **Overview**

On August 21, 2023, members of Canton Public Schools attended a listening session with Ai3 Architects and Educational Planner Mike Pirollo (MLP Integrated Design) as part of the visioning effort for the Galvin Middle School building project. The meeting centered around the following goals:

- Add to mapped priorities and goals as defined in listening session
- Define middle school child, including academic and social-emotional development
- Identify logistical, academic, and social-emotional impacts of 5th grade moving to GMS

Outcomes from the session are documented below.

### **Part I – Review of Educational, Architectural, and Community Priorities**

During Visioning Session 2, stakeholders were given an opportunity to weigh in on the goals identified by Canton staff and administrators during Visioning Session 1. Based on the number of responses added regarding the inclusion and integration of students and programs, an additional goal was added to the original list from Visioning 1 and is highlighted below.

- Middle-schooler focused building (students as heart of the school)
- Spaces, curriculum, and opportunities to support teaming and experiential, project-based learning

- Spaces to support a wealth of specials programs
- Flexible learning environment
- Outdoor space for academic and social-emotional needs
- Calming spaces throughout
- Maximize inclusion and integration of all students and programs
- Building and site as a community resource, even beyond school hours
- Safety and security
- Structures, instructional practices, and design features to support collaboration
- Welcoming and inspiring facilities
- Visible learning beyond display cases
- Sustainability
- Maximize natural light

The individual responses that fall under each of these overarching project goals are documented in the pages that follow.



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

**more  
science  
inclusion**

**special education  
programs integrated  
within team/grade  
spaces**

**special  
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## GALVIN MIDDLE SCHOOL VISIONING 2 REVIEW OF PRIORITIES



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

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the classroom for  
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class to class space  
to collaborate

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pods, screen and  
projector, direct  
outdoor access,  
shelving, tables,  
sink, lockers  
surrounding pod  
area

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team clusters  
to reduce  
negative  
behaviors and  
reduce travel  
time

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hallways with  
banquets for  
collaboration

ity  
and

science needs  
small group  
breakout  
clusters

**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

cafeteria more  
 smaller options to  
 promote less chaos;  
 quieter spots for all  
 kids

calming  
restorative  
justice and  
discipline  
spaces

e

calm down  
corner  
designed with  
acoustics and  
sensory needs

Bring nature  
into the  
building and  
highlight it  
outside the  
building

safe  
and  
ceiling  
colors

noise  
cancelling or  
reducing wall  
and ceiling  
features

**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

ces, and  
laboration

**collaboration  
(staff and  
students)**

**the arts  
building  
(arts  
cluster)**

**common  
areas for  
instructional  
staff to  
collaborate on  
projects**

**Wing of  
science  
clusters vs  
grade level to  
share  
resources**

**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

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(staff and  
students)**

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staff to  
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projects**

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**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES

**Connections  
between  
sustainability  
curriculum**

**inwater  
use and  
green roof**

S

**play space  
art work  
throughout  
the school**

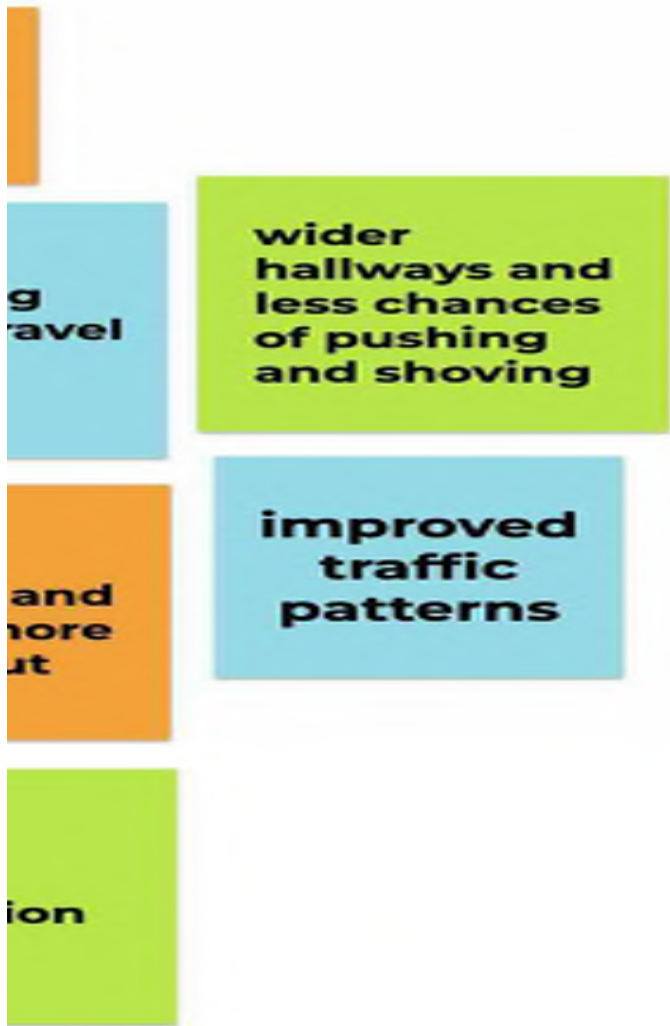
**se  
d**

**visible  
learnings  
showcases  
space**



**GALVIN MIDDLE SCHOOL VISIONING 2**  
REVIEW OF PRIORITIES







6th Grade

## **GALVIN MIDDLE SCHOOL VISIONING 2**

### CREATING THE LEARNER SNAPSHOT

#### **Part I.A – Creating the Learner Snapshot**

In Part I.A, participants reviewed research on the physical, academic, and social-emotional development of students from grades 5-8 using information from the book *Yardsticks* by Chip Wood. Each table focused on one age group and created a visual highlighting the key traits of that developmental stage. Outcomes from the activity are documented in the pages that follow.

Participants posted the visuals (documented in the pages that follow) and took a museum walk where they noted the similarities and differences among the four different age levels. MLP led the participants in a brief, whole-group discussion about their findings, which are documented below along with each group's visual creation:

#### **Whole-group report out:**

- The need for flexible space is a common throughline among all 4 grade levels
- Each grade has social-emotional “fighting worlds” (i.e. – need for independence but also want to be a part of a group; need for stimulation but also desire for quiet or down time)
- Need for acceptance and connections as a common throughline among grade levels
- Developmentally, 5th and 6th graders are more similar and 7th and 8th graders are more similar
- There is a progression of

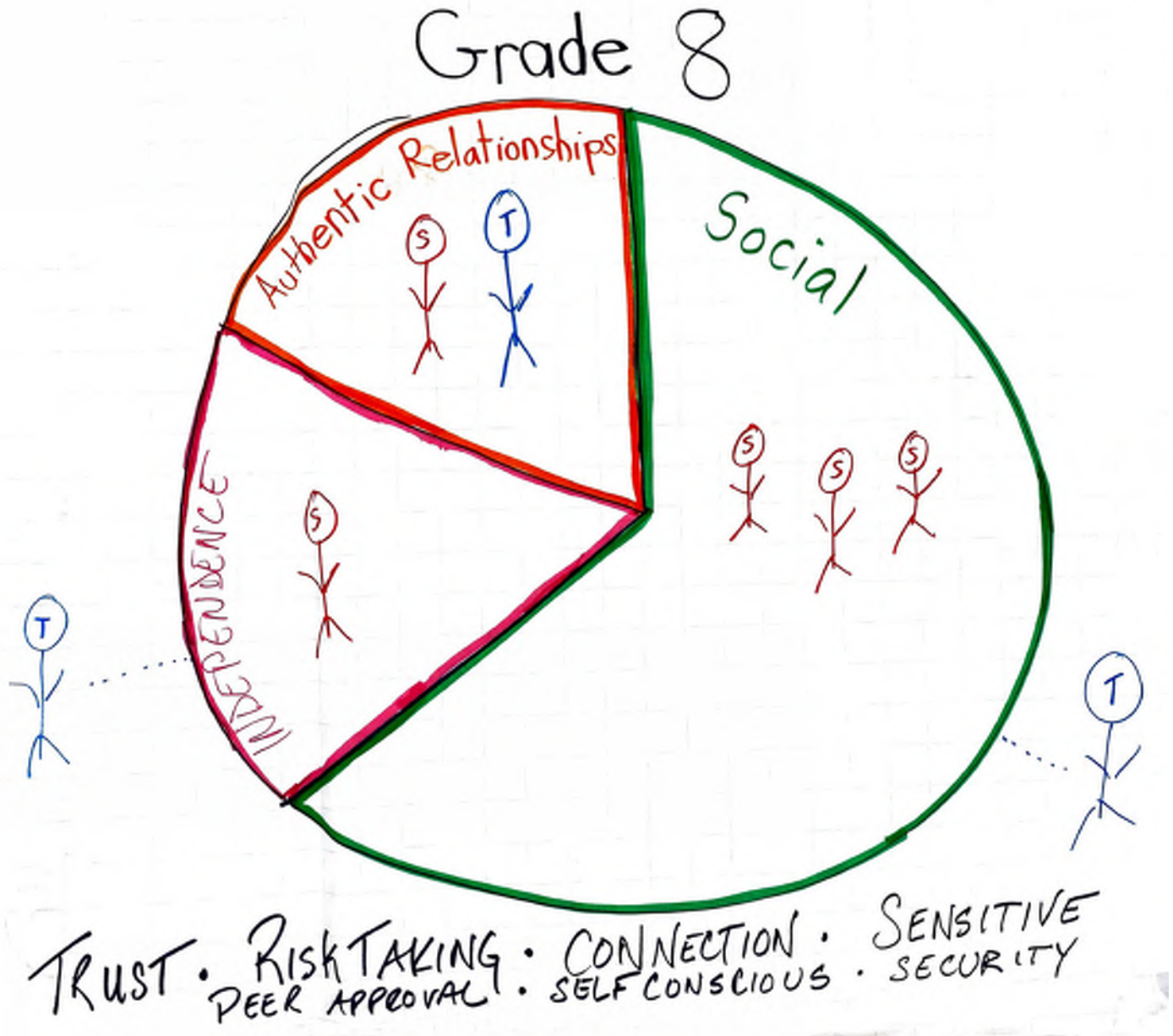
development where the desire for feedback changes; in younger graders, students seek teacher feedback and in older grades it's more about peer-to-peer

- There is a progression in the way students challenge rules – as students get older, they think about what's just
- There is a need for space to move, especially in the younger grades as students use the floor and like to spread out



**GALVIN MIDDLE SCHOOL VISIONING 2**

CREATING THE LEARNER SNAPSHOT



**GALVIN MIDDLE SCHOOL VISIONING 2**  
CREATING THE LEARNER SNAPSHOT

Physical

Grade 5

- Flexible Groupings
  - ~ work well with peers & adults
  - ~ enjoy debates + discussions
- Need for movement!
  - time of physical growth
  - ~ flexible furniture arrangements
  - ~ in + out of the classroom
  - ~ flexible classroom space
  - ~ need for outdoor space + time + views  
natural

importance of windows ☺

Social-Emotional

- Crave social interactions
- thrive off + need social interactions
  - academic + SEL benefits ☺
- developing conflict resolution skills
  - sensitive to fairness // right, wrong
  - atriums for debates/presentations

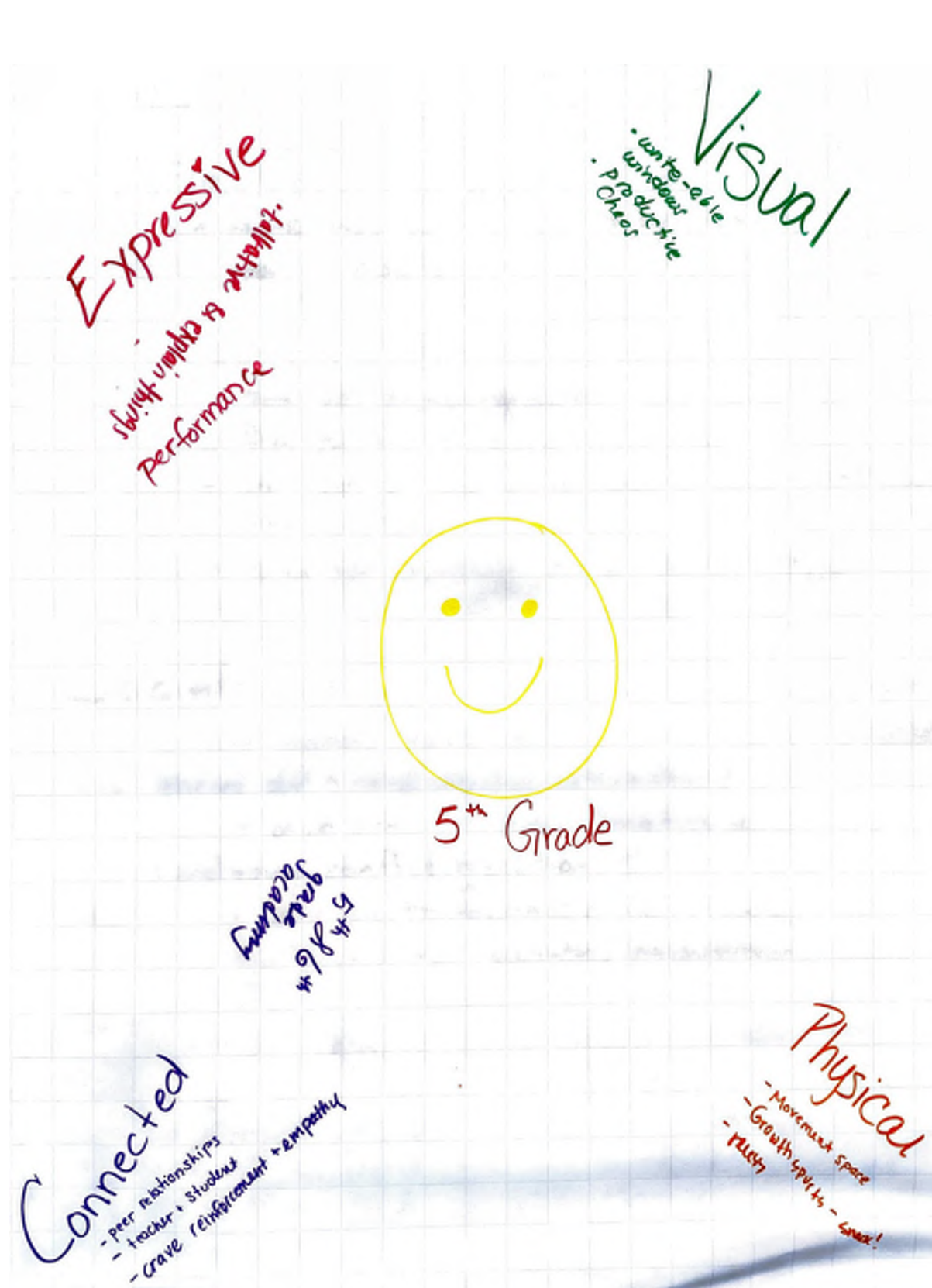
PODS

I need to move!

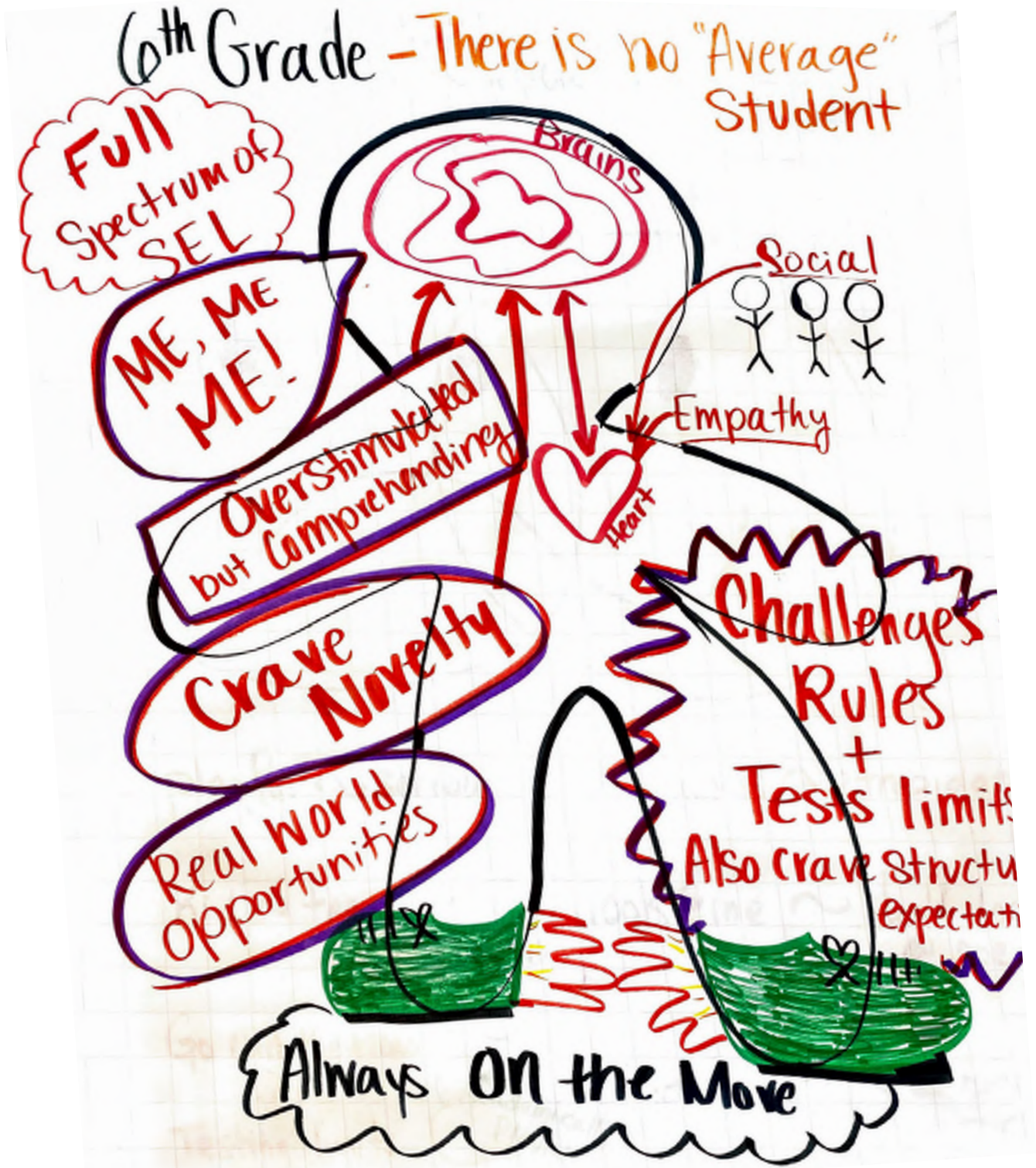


**GALVIN MIDDLE SCHOOL VISIONING 2**

CREATING THE LEARNER SNAPSHOT



**GALVIN MIDDLE SCHOOL VISIONING 2**  
CREATING THE LEARNER SNAPSHOT

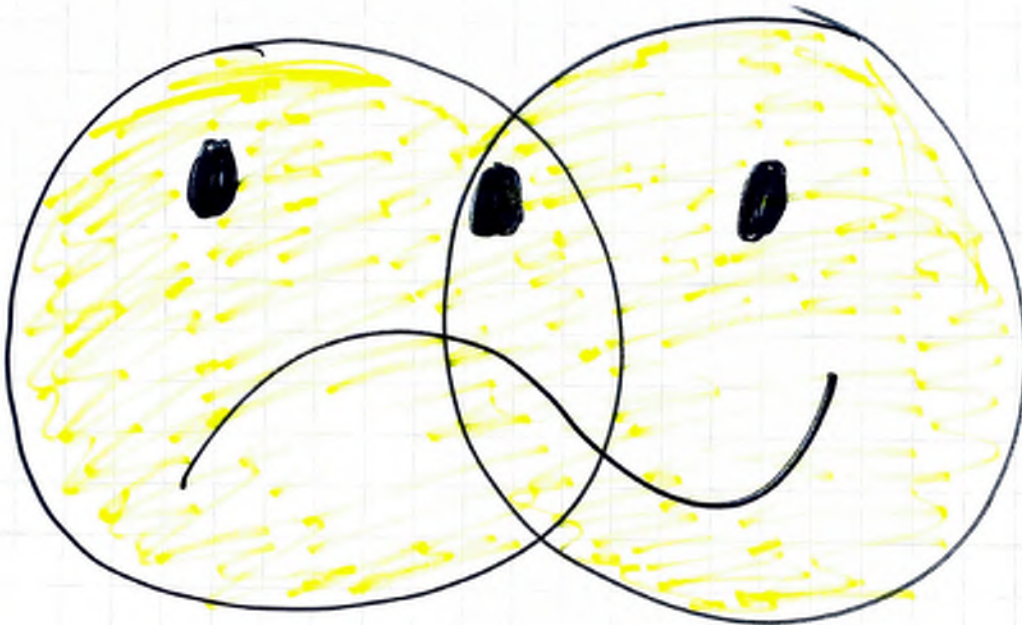




**GALVIN MIDDLE SCHOOL VISIONING 2**

CREATING THE LEARNER SNAPSHOT

6<sup>th</sup> Grade



playful ~ serious

boldness ~ trepidation

Kid ~ teen

look @ me ~ don't look @ me

Flexible Spaces

Go with the flow

Testing limits

Sensory Path

Academically Playful

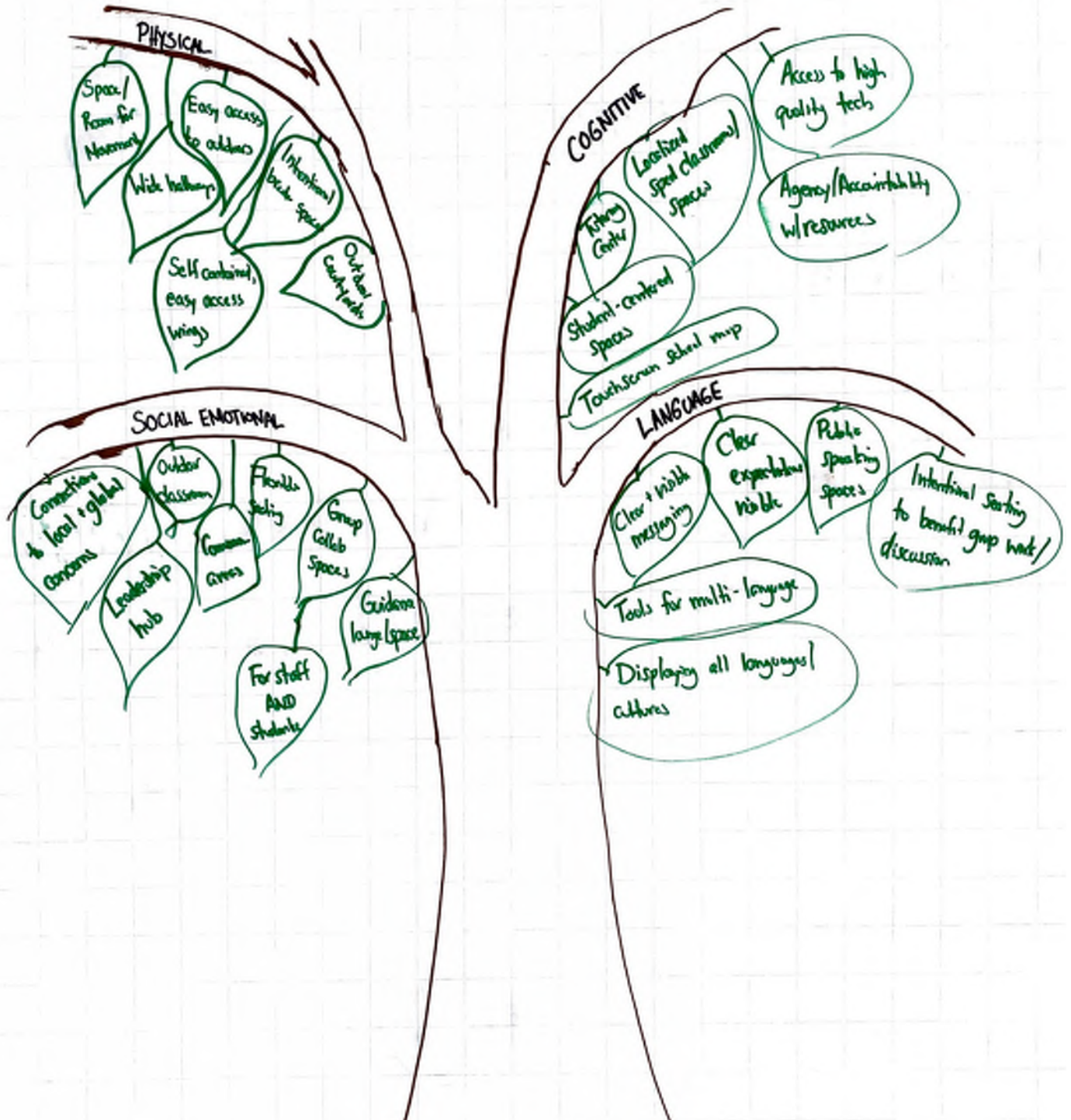
independent ~ I need help!

Who Am I?

moveable walls

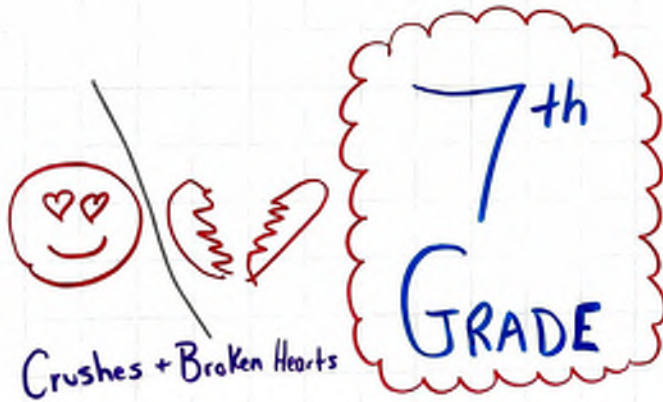
**GALVIN MIDDLE SCHOOL VISIONING 2**  
CREATING THE LEARNER SNAPSHOT

7<sup>th</sup> Grade

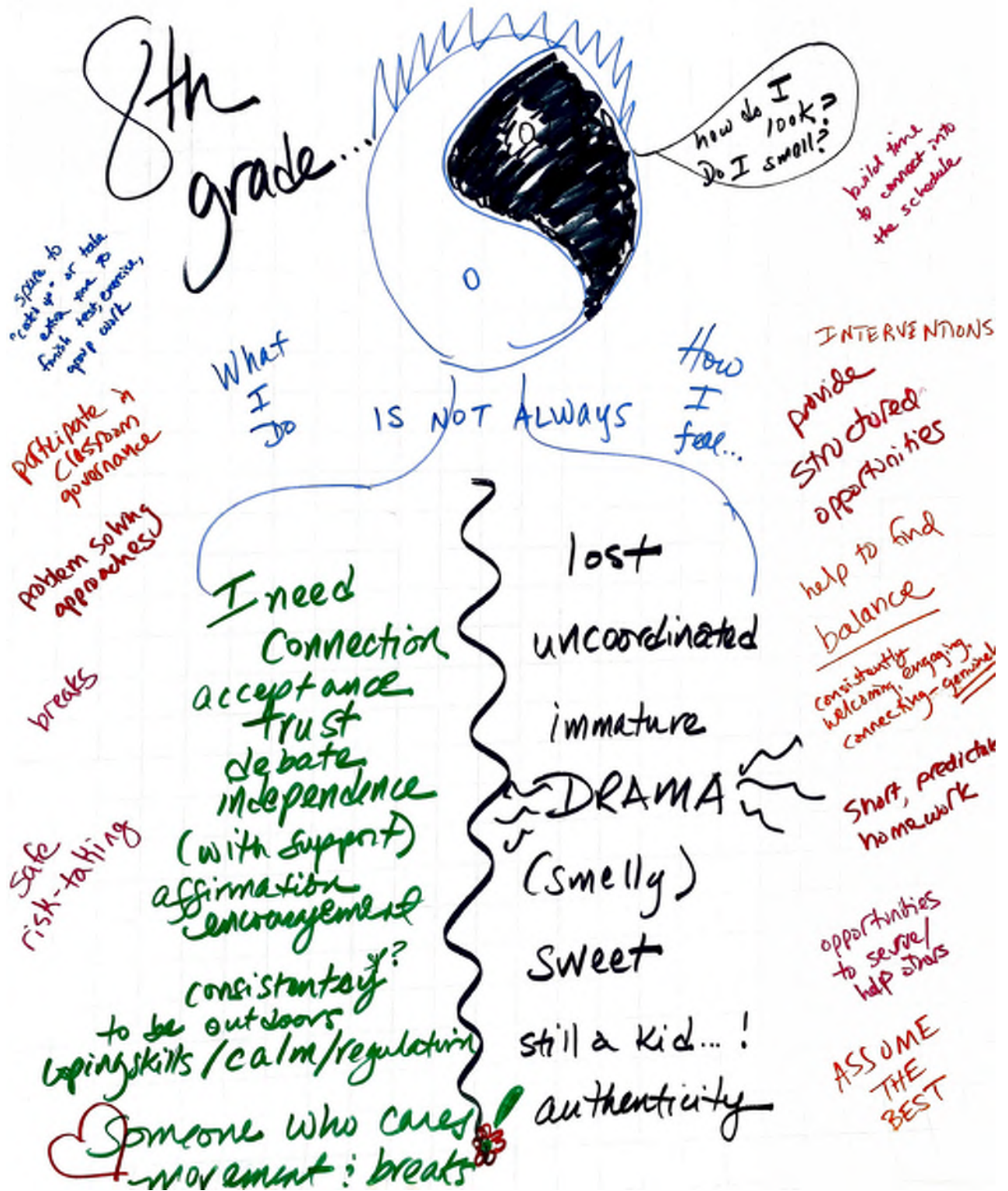


**GALVIN MIDDLE SCHOOL VISIONING 2**

CREATING THE LEARNER SNAPSHOT



## GALVIN MIDDLE SCHOOL VISIONING 2 CREATING THE LEARNER SNAPSHOT



## Students Entering MS



small  
lack maturity  
eager to please  
searching for a social group

heavily dependent  
on adults  
like followers

structure  
gradual release of responsibility  
on the adults dependence

## **GALVIN MIDDLE SCHOOL VISIONING 2**

### EXTENDING THE LEARNER SNAPSHOT

#### **Part I.B - Extending the Learner Snapshot**

Participants mixed into cross-grade jigsaw groups. Then, using the current 6-8 GMS model, participants created a three-column chart identifying characteristics of students entering, going through, and leaving middle school. The following questions prompted their discussion:

- What does it look like as students transition into middle school?
- What do we need to keep in mind developmentally? (Physical, cognitive, social-emotional)
- How might these developmental traits inform/shape the design of the building?

Half-way through the activity, participants were asked to consider the same three questions listed above but now using a 5-8 middle school model. Participants added their thoughts in a different colored marker. Outcomes from each group's chart have been consolidated in the table that follows.

Please note, numbers in parenthesis signify the number of additional times a similar point was made. Text in **orange** shows the added outcomes when considering grades 5-8.



**GALVIN MIDDLE SCHOOL VISIONING 2**

EXTENDING THE LEARNER SNAPSHOT

**Who are they physically, academically, socially-emotionally?**

Students Entering MS	Middle Year(s)	Students Leaving MS
<ul style="list-style-type: none"> <li>• Sixth graders are kids</li> <li>• Guided learning</li> <li>• High energy (2)</li> <li>• Rapidly growing</li> <li>• Developing self-consciousness</li> <li>• Small and immature (3)</li> <li>• Eager to please</li> <li>• Searching for a social group (4)</li> <li>• Nervous, anxious, fragile</li> <li>• Emerging executive functioning</li> <li>• Overwhelmed</li> <li>• Excited and sweet</li> <li>• Prepubescent and young</li> <li>• Elementary foundation skills</li> <li>• Seek teacher/adult interaction and approval (5)</li> <li>• Structured friendships</li> <li>• Structure in academics and expectations (2)</li> <li>• Memorizing facts/logic</li> <li>• Exploration and team activities</li> <li>• Physical growth and need for movement and outdoors</li> </ul>	<ul style="list-style-type: none"> <li>• Seventh graders display a size disparity &amp; development (some young, some mature) (4)</li> <li>• Lack of social awareness (3)</li> <li>• Starting to develop own thinking (2)</li> <li>• Increasing confidence (2)</li> <li>• Formative</li> <li>• Physical (hormones)</li> <li>• Constant changing social groups (3)</li> <li>• Finding their voice and identity (2)</li> <li>• Drama – fighting with social group</li> <li>• Sassy</li> <li>• High energy and fidgety (2)</li> <li>• Hungry and exhausted</li> <li>• Putting boundaries (2)</li> <li>• Interpersonal problems</li> <li>• Intellectual/interest driven</li> <li>• Testing rules and expectations (2)</li> <li>• Big reactions</li> <li>• Influx</li> <li>• Start pulling away from adult interaction (2)</li> </ul>	<ul style="list-style-type: none"> <li>• Eight graders are physically mature (tall, big) (2)</li> <li>• Less physical</li> <li>• DRAMA! (stress about coming year)</li> <li>• Academic independence (3)</li> <li>• 1:1 relationship (dating, friendships)</li> <li>• Social media concerns</li> <li>• Hormonal (2)</li> <li>• Awkward</li> <li>• Sensitive</li> <li>• Understanding of accountability (2)</li> <li>• Gaps widening</li> <li>• Deep dive into interests</li> <li>• Mini adult-ish</li> <li>• Seeking independence from adults but want interaction with them (3)</li> <li>• Peer and social interaction (and approval) is priority (8)</li> <li>• Separation academically (grouped for high school)</li> <li>• Fairness and justice focused</li> </ul>

**GALVIN MIDDLE SCHOOL VISIONING 2**  
EXTENDING THE LEARNER SNAPSHOT

**In an ideal setting, how might educators work with and support them?**

**What might it look like physically, academically, socially-emotionally?**

Students Entering MS	Middle Year(s)	Students Leaving MS
<ul style="list-style-type: none"> <li>• Heavily dependent on adults (3)</li> <li>• Rule followers</li> <li>• Structure</li> <li>• Gradual release of responsibility (2)</li> <li>• Staff-monitored (big enough for groups to work in room)</li> <li>• Building designed to meet the needs of a 21st century education</li> <li>• Smaller community</li> <li>• Slow fade into more dynamic thinking</li> <li>• More explicit teaching (norms, expectations, routines – how to do middle school)</li> <li>• More access to counselors – transition</li> <li>• More defined sensory options</li> <li>• Develop healthy communication skills</li> <li>• Crave novelty</li> <li>• Exploratory design, set up for inquiry and discussion (labs, amphitheaters)</li> <li>• Fewer teachers on team – increased adult connection/feedback</li> </ul>	<ul style="list-style-type: none"> <li>• Group work revolving around global issues (3)</li> <li>• More student voice/choice on topics</li> <li>• Passionate</li> <li>• Organized clubs</li> <li>• Fairness</li> <li>• Gradual release to independent group work over year</li> <li>• More responsibility and independence</li> <li>• Homework</li> <li>• Need executive functioning supports</li> <li>• Optional seating spaces</li> <li>• Room for science experiments/sinks/equipment</li> <li>• Increased technological access for learning and variety of presentation options</li> <li>• Develop healthy communication skills</li> <li>• Foster tools for healthy debate</li> <li>• Modeling independence/self-advocacy</li> <li>• Routine/predictability</li> </ul>	<ul style="list-style-type: none"> <li>• More independence (2)</li> <li>• Inquiry based learning</li> <li>• Small group collab/group work/projects (3)</li> <li>• Seating for independence: student-led work spaces, small/large group, breakouts (3)</li> <li>• Digital display board (interactive) in classrooms and hallways</li> <li>• Various dining space options</li> <li>• Less defined sensory options</li> <li>• Develop healthy communication skills</li> <li>• Healthy debates</li> <li>• Opportunities/desire for peer coaching and mentoring</li> </ul>



**GALVIN MIDDLE SCHOOL VISIONING 2**

EXTENDING THE LEARNER SNAPSHOT

**What might the building need to be like or have to support them?**

Students Entering MS	Middle Year(s)	Students Leaving MS
<ul style="list-style-type: none"> <li>• Wider hallways</li> <li>• Smaller class sizes but bigger rooms to foster movement and calming (2)</li> <li>• Flexible space/furniture/seating (3)</li> <li>• Seating for independent learning: small/large group instruction (2)</li> <li>• More space between lockers</li> <li>• Pod space (team) (2)</li> <li>• Common space</li> <li>• Breakout space</li> <li>• Purposeful organization: designated areas per grade levels, specialists in central space, support staff in central space (2)</li> <li>• Separate auditorium and cafeteria</li> <li>• Tiered seating in auditorium</li> <li>• Multifunctional library with high tech support</li> <li>• More space to get up and work (writable wall spaces, pod spaces, movable walls) (3)</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Kinesthetic learner in mind</li> <li>• Larger spaces to incorporate group work</li> <li>• Collapsible walls</li> <li>• Glass breakout rooms with lines of sight</li> <li>• Outdoor hallways/spaces (4)</li> <li>• Dedicated counselors for SEL (2)</li> <li>• Teams in same area/adjourning or across hall (Grades 5/6 – 7/8)</li> <li>• PE own outdoor space</li> <li>• Separate lunch rooms or cafeteria central (4)</li> <li>• Separate entrance and wing (4)</li> <li>• Dual cafeterias (Grades 5/6 – 7/8) (2)</li> <li>• Arts wings with storage and plentiful space</li> <li>• Elementary recess space/playground (4)</li> <li>• Schedules for Grades 5/6 and 7/8 (2)</li> <li>• Wings and color</li> <li>• Smaller/mini teams (3)</li> <li>• Snack time</li> <li>• Specials in pod</li> <li>• Lower/upper school</li> <li>• Structured opportunities to monitor student work</li> </ul>	<ul style="list-style-type: none"> <li>• Neighborhood Watch approach</li> <li>• One way circulation</li> <li>• Field houses</li> <li>• Auditorium</li> <li>• Science labs</li> <li>• Access to exterior space</li> <li>• Ability to reconfigure classroom and grouping in classroom to provide collaboration (2)</li> <li>• Seating options for various types of instruction</li> <li>• Flex collab between room and corridors</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Ensemble spaces</li> <li>• Distinct learning spaces for each grade</li> <li>• Interactive</li> <li>• Field</li> <li>• Recess</li> <li>• Winter garden/courtyard</li> <li>• Auditorium that opens to courtyard</li> <li>• Spaces (organic) for students to present, debate, discuss</li> </ul>	<ul style="list-style-type: none"> <li>• Stimulation</li> <li>• Worldly</li> <li>• Idea based</li> <li>• Breakout spaces – space to leave room and work in small groups/independently (3)</li> <li>• Robust technology (Smart boards, etc.)</li> <li>• Student desks that can be separate/grouped</li> <li>• Seating options for various types of instruction</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Independent work spaces outside of classroom</li> <li>• Something that encourages leadership</li> <li>• Open spaces</li> <li>• Walking trails</li> <li>• Outdoor design spaces</li> <li>• Outdoor courtyard</li> <li>• Recreation spaces</li> </ul>

## GALVIN MIDDLE SCHOOL VISIONING 2 “WHAT IF...?” GRADE 5-8

### Part I.C – “What If...?” Grade 5-8 Guided Discussion

MLP shared research about the three common worries students have about entering middle school -- logistics, academic, and social concerns. Then, participants had table talk conversations centered around three questions related to these concerns. One question at a time was presented and participants discussed while one person from each group recorded thoughts. After 5 minutes, participants from each group scrambled to a new table while the recorder remained, and a new question was provided for discussion. This process repeated three times. The following questions were used during the discussion:

- How can 5th graders be developmentally supported while also being integrated into the total life and culture of middle school?
- What programs and services can the middle school provide 5th graders that they currently don't have access to in the elementary schools?
- What considerations need to be made for the physical placement of fifth grade in the middle school building?

The “what if” discussions concluded in a brief whole-group report out of takeaways. The consolidated responses from each of the three discussion questions and the overall takeaways are documented in the pages that follow.

### **Question 1: How can 5th graders be developmentally supported**

### **while also being integrated into the total life and culture of middle school?**

- Counselors for grade 5 only
- 3 teachers per team
- Homeroom teacher to start and end the day
- Designated special time / own schedule
- Mentor controlled interaction
- Team names
- Vertical alignment for curricula
- GMS identity
- Middle school follows Link Leaders model/mentors
- Assemblies
- Student government for all grades
- Flexible scheduling
- Electives/specials
- 5th grade plays? Or integrated into



## **GALVIN MIDDLE SCHOOL VISIONING 2**

### “WHAT IF...?” GRADE 5 - 8

- the middle school play?
  - Peer mentors - maybe 8th graders
  - See showcase of older students work
  - Social - getting to know you with the combining of 3 elementaries coming together
  - Opportunities to find your voice
  - Starting culture piece early
  - Class identity like grades have at CHS
  - Making sure that students still identify school as fun like they associate elementary school w/fun
  - Dedicated space or entrance possibly
  - Auditorium
  - Flexible café space
  - Grade level common areas attached to guidance
  - Work spaces / shared
  - Exploratory development area
  - Upper-lower schools and schedules
  - Buddy system (i.e., reading 5th and 8th)
  - RJ circles / morning meetings and advisory
  - Clear schedules
  - 2 teacher teams; departmentalized within the same hall
  - Tour of school but live in their own space
  - Follow similar but unique schedule (a transitional schedule with fewer transitions)
  - Linked to 6th grade
  - Mentorship programs
  - Common traditions/experiences/expectations
  - Smaller learning communities
  - Lockers
  - Share same common resources
  - 5th grade entrance and wing; entrance also used for Special Education programs
  - Student counsel representation
  - Showcase of student work
  - Clubs/programs for 5th grade
  - Following middle school life
  - Separate 5/6 cafeteria and common space
  - Elementary style classrooms
- Question 2: What programs and services can the middle school provide 5th graders that they currently don't have access to in the elementary schools?**
- Specials: health, music, tech, drama
  - More time in different mediums
  - More clubs, after school, intramurals
  - Wrap around SEL services
  - Project Lead the Way (tech)

**GALVIN MIDDLE SCHOOL VISIONING 2**  
“WHAT IF...?” GRADE 5-8



- Science lab rooms
- Access to more arts opportunities
- Access to after school clubs/activities
- More peer mentoring
- GMS sports
- More opportunities for interdisciplinary programming (i.e., robotics, culinary, TV/Video, fitness, yoga, coding, etc.)
- Space to collaborate and move
- Tech engineering
- World language
- Orchestra, band, chorus
- Clubs/sports
- Late bus
- Extra/after school opportunities
- School counselors
- Unified sports
- Special education access for all; not all elementary currently have the

- same services and some students get displaced
- Extended visual arts programs
- Peer mentors
- Robotics
- Access to clubs and activities
- Movement
- Labs - science and tech
- Project Lead the Way
- More access to clubs
- More access to instruments
- More offerings to drama/theater class
- More vo-tech/PBL opportunities and tech engineering classes
- Science labs
- Designated guidance counselor
- X block - advisory time
- Late bus - access to after school clubs
- Field house and greenhouse
- Indoor pool
- More choice at lunch
- Clubs!!
- Tech & engineering
- Mentorship from older kids
- Opportunities for advanced courses
- World language
- Snack shack - more food options

## **GALVIN MIDDLE SCHOOL VISIONING 2**

### “WHAT IF...?” GRADE 5 - 8

- Lockers
- More robust library resources
- Athletic opportunities
- More theater opportunities
- Slower integration to MS
- GMS newspaper
- Additional LGBTQ resources
- Time to develop executive functioning
- Clubs
- Science labs
- Music opportunities
- Larger social circle
- Larger teams
- Whole town in one building
- Electives offerings
- Food choices
- Team sports
- More integrated technology
- More project-based learning
- Easy access to resources
- Small team
- Flexible schedule
- Flex café space - mix lunch
- Cubbies, lockers, in-class storage
- Rug for whole-group meeting time
- Tables and small group
- Protect the babies
- Classes close together/adjacent
- Mini teams in pods who can collaborate with other teams
- Access to own outdoor learning space - 5th grade only
- 2 cafeterias?
- Close to shared collaborative spaces
- Playground
- Designated area
- Mixed teams
- Next to sixth grade
- 5th / 6th wing and 7th / 8th wing with shared space in the middle like café, gym, etc.
- Collaboration space for each wing
- Movement of 5th grade - designated hallways to keep it simple developmentally speaking
- Slowly building to more complex building and schedules in 8th grade
- 2 cafeterias or team pods
- 2 gyms / theatre
- Bathrooms near grades
- More faculty bathrooms and larger so multiple people can use at the same time
- Lockers with your team

#### **Question 3: What considerations need to be made for the physical placement of fifth grade in the middle school building?**

- Access to recess
- First floor
- Common spaces
- Some exposure
- Lockers with your team

## **GALVIN MIDDLE SCHOOL VISIONING 2** “WHAT IF...?” GRADE 5-8

- Drop-off and pick-up entrance separate from others
- Bus system not mixing all four grades; possibly one for 5th grade?
- Separate entrance
- Common areas
- When/where do grades crossover?
- Arts wing
- Maker spaces and learning studios
- 2 cafeterias or heterogeneous grouping of 5/6 and 7/8
- Color zones
- Close proximity to specialists and opportunities to move
- Grade level wings (lower academy 5/6 and upper academy 7/8 with controlled flow)
- Pathways to your respective academy
- Bridges leading to academy building
- Tennis courts
- Recess for all - intentional outdoor time and transitions; incorporate outdoor time
- Walking trails
- 2 cafeteria spaces with kitchen in the middle
- Intentional scheduling to keep 5/8 separate
- Centralize shared spaces (Holbrook K-12)
- Allows for more supervision
- Separate entrance for 5/6
- Close to playground - easy access on first floor
- Easy to get to so minimize kids getting lost
- Large communal space with fewer breakout rooms
- Separate 5/6 bathrooms
- How many teachers on each 5th grade team impacts pod design
- Student work displays
- Dual cafeterias (5/6 and 7/8) or large enough to hold 2 grades at once
- Clear way-finding
- Recess/play structure
- Outdoor access
- Close proximity to specials, library, etc.
- Visual connection between grade levels
- Space large enough to bring the whole school together

### **Whole group report out:**

- How do we preserve safety and create richness of the exchange among 5-8?
- Going to a 5-8 model will provide more opportunities for



## **GALVIN MIDDLE SCHOOL VISIONING 2**

### “WHAT IF...?” GRADE 5-8

- social engagement, peer/mentor opportunities, and community building in a bigger peer pool
- The recess and more play-based approach that 5th grade currently has – does that trickle up to the older grades who also need that free time and movement?
- We need to consider academic structure – number of teachers and classes per grade
- It will be crucial to find the “mesh points”
- If 5th grade is going to be brought to the middle school, they can’t be completely isolated; they need to be part of the community and have opportunities or it’s not worth it
- Better to serve developmental continuum and clubs/after school
- Opportunities for 5th graders (clubs and activities)
- Losing the “middle child” of the middle school by expanding to 4 grade levels
- Developmentally ready for MS
- Building out their friendship group
- More time to learn how to be a middle schooler
- Greater community building opportunities for younger students
- 5-8 middle school opens up much needed space in elementary schools
- More developmentally appropriate
- More space at overcrowded elementary schools
- More chances to collaborate 5th – 6th
- Students have access to increased programming
- 5th graders are allowed to explore another curriculum
- Everyone together sooner

### **Part I.D – Exit Ticket**

As a closing activity, participants completed an exit ticket where they were asked to identify: 1) one advantage of moving to a 5-8 GMS model; 2) one challenge of moving to a 5-8 GMS model; and, 3) one question, topic, or impact we need to explore when considering a 5-8 GMS model. Responses are documented on the following pages.

#### **Advantages:**

- Opportunity for 5th grade to have more freedom & responsibility
- Eases space issues at elementary
- Expanded programming and exploratory learning
- More space in elementary schools



**GALVIN MIDDLE SCHOOL VISIONING 2**  
“WHAT IF...?” GRADE 5-8

- Free up space at our crowded elementary buildings; will it help with buses for elementary dismissal?
- 5th graders have bigger behaviors – move to a space that can fit their needs
- Opportunity for a smoother transition from childhood to young adulthood
- Having 4 grades more closely matches elementary and HS models
- Will have more time to transition to being a middle schooler
- More opportunities for 5th grade for learning and social
- Develop longer-lasting relationships
- Space developmentally better for all students
- It benefits students developmentally to integrate sooner to learn how each other and develop socially-emotionally
- Increasing opportunities for learning
- Better transition from elementary to middle school and better for social emotional learning.
- Creating a space for fifth graders to grow and learn
- Better alignment for grades 5/6
- Ease of transition to middle school
- The integration to middle school would be spread across grades 5 to 6
- Allows for inclusion of all students earlier
- More students have access to a 21st-century learning environment

**Challenges:**

- Getting everyone on board
- Having a school that is almost 1,000 students (pre-teens/teens)
- Deciding what schedules/teaming will look like for 5th and is 6th a part of that
- Belief – 5th grade should be separate
- Thoughtfully design the physical space to match the design of the 5th grade program
- Making all 4 grades a community
- Schedules and lunches
- Scheduling – how will or could 2 schedules run w/shared specials and specialist spaces?
- Separating 5th from 8th
- 5th grade development does not equal 7th-8th grade development
- 5th graders will become “big kids” with bigger problems and behaviors
- Truly integrating schedules of 5th graders and preserving the experience for all students
- Designing a building that integrated 5th graders without isolating them
- Wide range of developmental difference 5th-8th; some 5th are ready to be done with elementary and others are not!
- Finding a healthy balance for integration of all grade levels
- Will the school size be appropriately increased? Will the addition of an additional grade lead to a reduction in classroom space?





## GALVIN MIDDLE SCHOOL VISIONING 2

### “WHAT IF...?” GRADE 5-8

- Schedule logistics given likelihood of a uniform schedule
- Spreading out specials and shared spaces in a way that is accessible for all grades and teachers
- Staffing shifts
- Creating a schedule and culture that will allow students to feel connected to the community
- Busing start/end times with traffic getting in and out
- Elementary students navigating in a middle school model
- A big building and staff if becoming gigantic if we have appropriate and flex spaces
- Need for more admin if GMS is 5-8
- Overhaul of schedules, buses, etc. (although many logistical challenges, it will be worth it!)
- Allowing all to feel we are meeting developmental needs
- Staffing for 5-8; there needs to be additional teachers for the extra choices
- Belief – 5th grade should be separate
- Does fifth grade need to be separate?
- How do we keep a sense of community in such a big school?
- Staffing considerations given the current district configuration
- Could grades 5 and 6 be teams of 3 to help create a difference from elementary to middle school while improving transition to seventh grade?
- Certification of teachers? Instructional minutes?
- Will 6th grade go to 5th grade (2-teacher) model?
- Making sure the community understands the why
- How can the grades be separated while still creating a unified school culture?
- Schedule differences 5/6 and 7/8?
- Bus routes
- Full-size auditorium is a must when having a 5-8 building
- Depending on 5-8 or 6-8, we may need additional classrooms for therapeutic and life skills program. How does that impact budgeting?
- How do we support 5th grade developmentally and keep the special aspects of that grade?
- How things will be laid out among the older more independent groups?
- What will the code of conduct look like?
- Integration of special education throughout
- What 5th graders have six-period

#### **Question, Topic, or Impact to Explore:**

- What would the schedule look like developmentally for 5th grade so they can still be able to be part of GMS?
- What would scheduling look like?
- Staffing! How do we handle licensure, specials teachers, class sizes, space for upcoming bubble groups?
- How do we make sure fifth grade is included if joining GMS?

## **GALVIN MIDDLE SCHOOL VISIONING 2**

### “WHAT IF...?” GRADE 5-8

schedule or a math/science and history/ELA block?

- How many administrators will a 5th-8th grade model have?
- Pod spaces!
- How does the space and staff support 5-8 development?
- Movement and breaks - how do the extra grade impact those things/ lunch? Do we need to lengthen the school day to accommodate?
- How do we preserve important aspects of fifth grade and mesh it with a middle school experience?
- Will the building be too overwhelming to manage that many students?
- After school programming / late buses - how would that be structured?
- Schedule - how does it fit for all grades?
- Report cards - elementary or middle school?



**GALVIN MIDDLE SCHOOL VISIONING 3**  
TEACHING AND LEARNING  
September 6, 2023

**Attendees**

<b>NAME</b>	<b>POSITION</b>	<b>EMAIL</b>
Derek Folan	Superintendent	foland@cantonma.org
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Deborah Rooney	Director of Curriculum	Rooneyd@cantonma.org
Saundra Watson	Principal	watsons@cantonma.org
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## **GALVIN MIDDLE SCHOOL VISIONING 3** TEACHING AND LEARNING

### **Overview**

On September 6, 2023, members of Canton Public Schools attended a meeting with Ai3 Architects and Educational Planner Mike Pirollo (MLP Integrated Design) as part of the visioning effort for the Galvin Middle School building project. The meeting centered around the following goals:

- Identify vision of engaging learning at a future GMS
- Identify skills and mindsets Canton students need to thrive now and in the future
- Define the teaching and learning experience at a future GMS

Outcomes from the session are documented below.

### **Part 1 - Forms of Student Engagement**

In Part 1, participants shared personal experiences when they as a student or adult were most engaged in learning. Listeners identified 2-3 factors that made the storyteller's experience so engaging and recorded their thoughts on chart paper. Then, after a short presentation on best practices in teaching and learning, participants identified a top list of desired engaging experiences and teaching strategies.

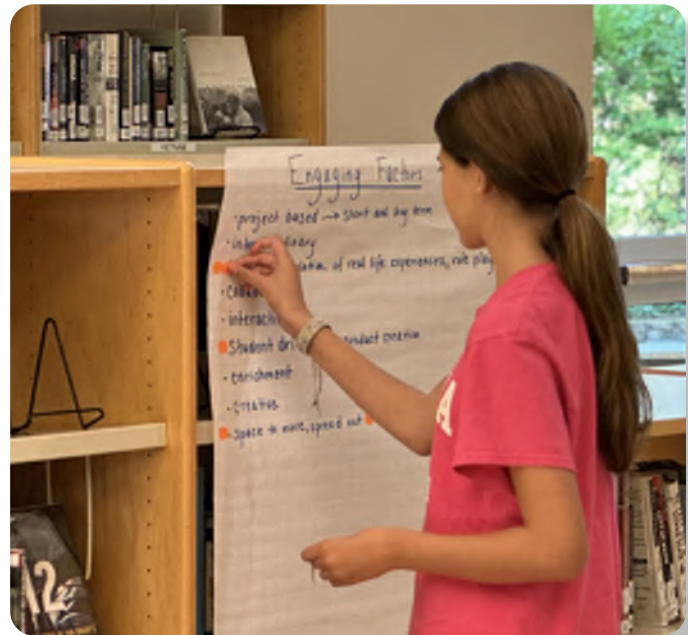
Finally, using a dot-poll and gallery walk strategy, participants reviewed the charts from each table group and voted on the top 5 engaging experiences/strategies they wanted to see in a future GMS. The complete list of outcomes in ranked order are below.

- Real-world connections (8)
- Student driven - product creation (8)
- Creativity - student choice/voice (7)
- Group and individual work (6)
- Hands-on simulation of real-life experiences, role playing (6)
- Choice (6)
- Extends beyond classroom (5)
- Outdoor experiences (5)
- Challenge of original thinking (5)
- Multiple means of engagement, action, expression (5)
- Hands-on learning (4)
- Interdisciplinary (4)
- Collaboration (4)
- Presentations, performances, public product (4)
- Space to move, spread out (4)
- Explore/experiment factor (3)
- Work is celebrated (3)
- Interdisciplinary/cross curricular (3)
- Competition - push to show your best work (2)



## **GALVIN MIDDLE SCHOOL VISIONING 3** TEACHING AND LEARNING

- Inclusive (2)
- Movements (2)
- Kinesthetic learning (1)
- Independent work/autonomy (1)
- Work with hands (1)
- Collaborate opportunities
- Relatable topics (i.e., song lyrics) (1)
- Ongoing, evolving processes (1)
- Interdisciplinary work (1)
- Differentiated (1)
- Interdisciplinary (1)
- Whole class collaboration (1)
- Real life connection (1)
- Working together, talking (1)
- Interactive
- Enrichment
- Project-based - short and long term
- Open-ended nature
- Open-ended
- Authentic
- Requires critical and creative thinking
- Student-driven
- Breaks/step away for a day
- Career focused
- Ability to switch groups
- Encouraged engagement
- Multi-part lessons/units
- Pushing boundaries of traditional classroom
- Using experts
- Projects



### **Part 2 - Identification of Future Ready Skills, Knowledge, and Mindsets**

In Part 2, participants were asked to consider the following question: What are the skills, knowledge, and mindsets GMS students need to function and thrive in school and the real world?

MLP led participants through a discussion on educational best practices and future ready skills. As part of the discussion, teams of five participants worked in small groups to rank various sets of skills, each focusing on a specific core area: 1) academic and transferable skills and 2) social-emotional factors and skills. Each group then submitted their ranking into an online polling platform that tabulated each group's response into an overall ranking. The results of each skill set ranking has been documented below using a word cloud format. Words appearing larger received more votes,

**GALVIN MIDDLE SCHOOL VISIONING 3**  
TEACHING AND LEARNING

Identify your TOP 5 Transferrable Skills

45 responses



Identify your TOP 5 Social Emotional Skills

45 responses





## **GALVIN MIDDLE SCHOOL VISIONING 3** TEACHING AND LEARNING

and were, therefore, ranked higher by the groups.



### **Part 3 - Identification of Idealized Learning Experiences**

In Part 3, participants were asked to consider the following question: What teaching and learning experiences can allow GMS students to function and thrive in school and the real world?

Participants rotated to four stations and responded to a series of research-based statements about best practices in teaching and learning. Then, they returned to small table groups and synthesized the responses from one station, grouping everyone's responses according to like ideas or themes. Finally, participants applied the content to the overarching question, what teaching and learning experiences can allow GMS students to function and thrive both in school and in the real world? Groups created one-sentence summaries and related key factors to document their vision of teaching and learning at the future GMS. The research-based statements provided at each station and responses from GMS participants are documented below.

#### **Topic 1: Interaction and Relevant Content**

##### **Research-based Statement & Questions Provided:**

People learn best when they find the content and process relevant and when the experience includes interaction.

- How can we better align content and experiences with student interests and goals?
- How can we enable learners to be more collaborative with peers and adults?

## **GALVIN MIDDLE SCHOOL VISIONING 3** TEACHING AND LEARNING

### **GMS Responses:**

- Teaching and learning at GMS provides opportunities for all learners to be included based on interests and/or needs.
    - Ask students about areas of interest
    - Connect to real world
    - Awareness of who is left out
  - A future GMS should support collaborative group learning in flexible spaces for multiple uses and differentiated student needs.
    - Student voice in who they work with
    - Teach group work skills
    - Teach how to give feedback
    - Group work opportunities
    - Use accountable talk routines
    - Assign group roles
    - Icebreakers
  - A future GMS will have unique spaces that support the whole child and all the many things they learn in specials.
    - Ample gym space to accommodate clubs and interests
- Large performing arts space and separate auditorium
  - Library not assigned to a class
  - Health and specials get own space
  - Restorative Justice space for circles
  - Flexible furniture and spaces
  - Flexible classroom seating and layout
  - Community experts invited to work with students
  - School feels like a part of the community not just a building in the town
  - PBL – student voice and choice in curriculum with community connections
  - Use tech to gather interesting topics directly from students

### **Topic 2: Community Building**

#### **Research-based Statement & Questions Provided:**

People learn best when they feel connected to, as well as accepted by, the people and environment around them.

- How can we maximize a sense of





## **GALVIN MIDDLE SCHOOL VISIONING 3**

### TEACHING AND LEARNING

community among peers (student-student, student-teacher, teacher-teacher)?

- How can we celebrate learner identities?

#### **GMS Responses:**

- A future GMS should support “true teaming” via community pods centered around collaborative space.
- A future GMS should support smaller class sized, alternative cafeteria spaces, technology integration, and the ability for new and unstructured programming via dedicated auditorium.
- Teaching and learning at GMS should be culturally responsive and relevant via a diverse staff.
  - Team structure
  - Community space for town where learners work is visible
  - Video boards that display/celebrate student content
  - Centralized open spaces for gathering with working spaces adjacent
  - Display spaces for showcasing in-process learning
  - Performance spaces for small and large groups
  - Auditorium and “coffee house” environments

### **Topic 3: Wellness**

#### **Research-based Statement & Questions Provided:**

People learn best when they are free of anxiety or stress.

- How can we support health and well-being and ease stress

throughout the school day?

- How can we ensure students are seen?

#### **GMS Responses:**

- A future GMS should support access to the outdoors and students being seen and supported.
  - Natural light
  - Outdoor spaces; green space access
  - Use of and connection to the outdoors for more than just learning
  - Temperature controlled
  - Wraparound services; place to get help, supplies, clothes, food
  - Student work and learning on display in creative ways
  - Therapy pets
  - Less screen time in school
- A future GMS should support flexible seating and spaces to allow for breaks, quiet time, movement, and collaboration.
  - Movement
  - Calming stations
  - Comfortable seating
  - Smaller cafeteria spaces



### **GALVIN MIDDLE SCHOOL VISIONING 3**

## TEACHING AND LEARNING

- Small group - 1:1 interaction
  - Take breaks
  - Comfortable teacher lounge
  - Close and small bathrooms
  - Wide hallways
  - Parent and family contact space to meet
- Teaching and learning at GMS should include positive affirmations and include diverse representation in curriculum.
    - Positive affirmations
    - Mindfulness activities
    - Representation in curriculum
  - A future GMS should include architectural elements to support
    - a calming environment.
      - Quiet spaces to decompress when overwhelmed
      - Softened sight-lines, transition spaces/hallways
      - No sharp corners, long hallways, or compressed areas
      - Original thinking with meal spaces
    - A future GMS should support the well-being of its students.
      - Natural elements brought inside (water, natural light, living green walls)
      - Outdoor learning spaces
      - Outdoor spaces for breaks/eating
      - Spaces for displaying student



## GALVIN MIDDLE SCHOOL VISIONING 3

### TEACHING AND LEARNING

work (display cases and spaces for not “precious” work; in progress work)

- Non-PE tools, spaces for exercise, movement

#### **Topic 4: Choice & Agency**

##### **Research-based Statement & Questions Provided:**

People learn best when they have meaningful agency over their learning.

- How might we provide appropriate autonomy over when, where, or how students learn?
- How can we create experiences that are more integrated across content areas?

##### **GMS Responses:**

- Teaching and learning at GMS should offer flexible shared spaces to foster innovation.
  - Shared spaces across disciplines
  - Innovation/media space
  - Classroom spaces that are organized so students can access maker materials
  - Shared project spaces with materials and work storage to support interdisciplinary learning
  - Daily/annual schedules that allow for integrated/expanded planning
  - Offer students choice
  - Student “run” managed space
- A future Galvin Middle School should support: 1) classrooms with flexible structures; 2) opportunities to collaborate in and out of the

classroom; 3) a schedule that allows for interdisciplinary collaboration; 4) a longer school day that provides opportunities for extended learning.

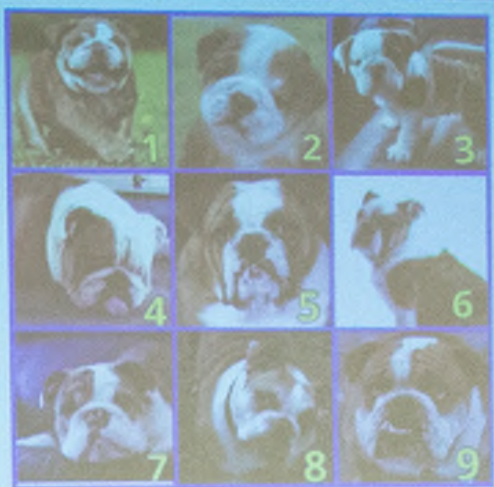
- Planning time and space for teacher teams
- UDL – multiple means of expression
- Student voice and choice
- Breakout spaces within classrooms
- Media lab
- Flexible classroom spaces that can combine or separate
- Big classrooms
- 70/30 breakdown; 70% student-driven time
- Breakout rooms and common collaborative stations
- Accessible building during off time – open for learning during vacation
- Team work areas
- Outdoor learning spaces
- Access to student project storage
- Content classrooms and specials are co-located
- More time
- Ability to create different outputs (podcasts, videos, publishing)
- Electives with choice
- Optional time
- Extended and interconnected learning time

Icebreaker

On a scale of bulldogs,  
how are you feeling  
today?



CANTON  
BULLDOGS



0-8:53  
7-9:50  
4-10:47  
51-11:14  
8-11:41  
5-12:08  
12-35  
7-1:32  
2-2:29

\* 3 hours on  
you daily =  
4  
on  
a year



**CORE LEADERSHIP VISIONING 4**

## SPACE TYPES AND ADJACENCIES

September 11, 2023

**Attendees**

<b>NAME</b>	<b>POSITION</b>	<b>EMAIL</b>
Derek Folan	Superintendent	foland@cantonma.org
Sarah Shannon	Assistant Superintendent	shannons@cantonma.org
Sally Tortorella	Parent of 9th grader	Sallyuxia@gmail.com
Sarah Joncas	K-5 Music Teacher	Joncass@cantonma.org
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Josh Fogel	Tech director	Fogeljo@cantonma.org
Kevin Sullivan	Pre K-12 Instructional Technology Coordinator	Sullivank@cantonma.org
Stephen MacPherson	Parent	smacpherson262@gmail.com
Matt Masciarelli	8th Grade Science & Department Coordinator	masciarellim@cantonma.org
Meghan Byrne	Director of Student Services	Byrneme@cantonma.org
Olivia Feldman	GMS student	28feldmano@cpsmail.org
Jonathan Mulhern	Principal of GMS	Mulhernj@cantonma.org
Stephen Marshall	Asst Super Finance & Ops	Marshalls@cantonma.org
Catherine Stein Feeley	Instructional Coach	Steinc@cantonma.org
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Molly Grey	Luce Art Teacher	Greymq@gmail.com
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Susan	Parent	slstewart249@gmail.com
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Julie Shore	Director of Personnel Services	Shorej@cantonma.org
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Troy Randall	Ai3 Architects – Partner	randall@ai3architects.com
Justin Thibeault	Ai3 Architects – Principal	thibeault@ai3architects.com
Alexandra Sieving	Ai3 Architects	sieving@ai3architects.com
Mike Pirollo	MLP - Ed. Planner	mike@mlpid.com
Adele Sands	LeftField	asands@leftfieldpm.com
Jen Carlson	LeftField	jcarlson@leftfieldpm.com



## **GALVIN MIDDLE SCHOOL VISIONING 4**

### SPACE TYPES AND ADJACENCIES

#### **Overview**

On September 11, 2023, members of Canton Public Schools attended a meeting with Ai3 Architects and Educational Planner Mike Pirollo (MLP Integrated Design) as part of the visioning effort for the Galvin Middle School building project. The meeting centered around the following goals:

- Identify guiding design principles and design features for a future GMS
- Vote on desired contemporary design patterns
- Illustrate and describe important program adjacencies, with consideration as to how those adjacencies impact the desired overall experience

Outcomes from the session are documented below.

#### **Part 1 - Vision Board of Future GMS**

In Part 1, participants viewed over 100 precedent images of contemporary learning environments and selected a photo that best represented their vision of a future GMS. Participants assigned a word to their selected photo and placed it on the GMS Vision Board. A picture of the board, and the list of words participants chose is listed on the pages that follow.

- Flexible
- "Ingenuity"
- Community
- Access
- Value
- Creative

- Inside-out
- Creative
- Share/showcase
- Innovative
- Tinker
- Innovative
- Concentration
- Brainstorming
- Possibilities
- Innovative
- Career exploration
- Feel-good
- Student-driven
- Inviting
- Open
- Workshop
- Flexible
- Engaging
- Inspirational
- Sunlight
- Inspiring
- Invigorating
- Differentiated

## CORE LEADERSHIP VISIONING 4 SPACE TYPES AND ADJACENCIES



## **GALVIN MIDDLE SCHOOL VISIONING 4**

### SPACE TYPES AND ADJACENCIES

#### **Part 2 - Guiding Design Principles and Design Features**

In Part 2, participants reviewed a list of design considerations and space needs identified by stakeholders throughout the visioning process. Using a prioritization strategy called “Making the Cut”, table groups placed items above or below the “cut line” based on whether or not they thought the item should become a guiding design principle or design feature for a future GMS. Items placed above the line made the cut, and those below the line, did not.

The following guiding design principles and design features are listed in priority order, with those items placed above the cut line receiving one point.

- True teaming via community pods centered around a collaborative space - 6 votes
- Architectural elements to support a calming environment (quiet spaces to compress; softened sight lines in transition spaces; no sharp corners) - 6 votes
- Alternative cafeteria spaces; smaller dining spaces - 6 votes
- Spaces for displaying student work in creative ways - 6 votes
- Breakout spaces in and out of classrooms - 6 votes
- Flexible classrooms spaces that can combine and separate; collapsible walls - 6 votes



## **CORE LEADERSHIP VISIONING 4**

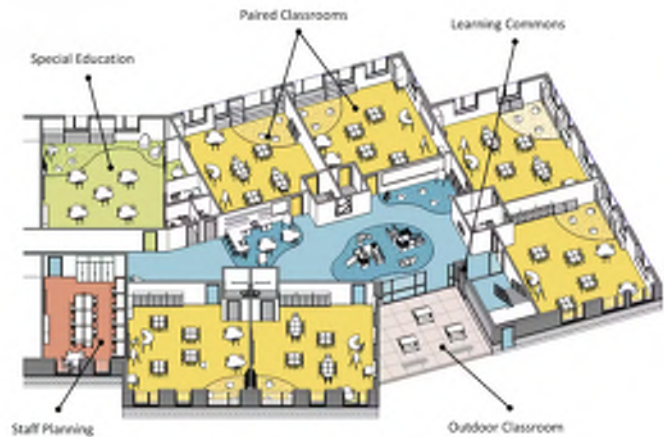
### SPACE TYPES AND ADJACENCIES

- Use of outdoors for more than just learning (eating / breaks) - 6 votes
- Independent workstations outside of classrooms - 6 votes
- Centralized open spaces for gathering with working spaces adjacent - 5 votes
- Culturally-responsive building - 5 votes
- Small group spaces near or attached to classrooms for small breakout - 5 votes
- Teacher planning space - 5 votes
- Accessible building during off times - 5 votes
- Performance space for large and small groups (auditorium and "coffee house") - 5 votes
- Ample gym space to support clubs and interests - 5 votes
- Students entering MS have more defined sensory options - 5 votes
- Multi-modal learning stations within classrooms - 5 votes
- PE dedicated outdoor space - 5 votes
- Nature elements brought inside (water, natural light, green walls) - 4 votes
- Content classrooms and specials are co-located - 4 votes
- Comfortable teacher lounge - 4 votes
- Media/innovation lab - 4 votes
- Shared project spaces - 4 votes
- Parent/family room - space to meet - 4 votes
- Walking trails - 4 votes
- Lower/upper school in a 5-8 model - 4 votes
- School that feels like part of the community versus just a building in the town - 4 votes
- 5th / 6th wing and 7th / 8th wing with shared space in the middle like café, gym, etc. - 4 votes
- Student "run" / managed space (i.e., school store, gallery, café) - 3 votes
- Non-PE spaces for exercise, movement - 3 votes
- Organic spaces for students to present, debate, discuss - 3 votes
- Auditorium that opens to courtyard - 1 vote
- 5th grade entrance and wing; entrance also used for Special Education programs - 1 vote
- Winter garden - no votes

## **GALVIN MIDDLE SCHOOL VISIONING 4** SPACE TYPES AND ADJACENCIES

In Part 3, participants rated a series of school design features via online polling. Individual participants rated each design feature as a heart (must have); thumbs up (nice to have); or, thumbs down (don't need). The resulting list of design features has been placed in priority order based on the cumulative total of hearts (2 points), thumbs up (1 point), and thumbs down (0 points) each received.

- Collaborative Learning Communities / Suites (41 votes)
- Varied Health & Wellness Spaces (41 votes)
- Entry Experience & Public Heart of the School (37 votes)
- Embedded STEAM Production Spaces (37 votes)
- Varied Performance Venues (36 votes)
- Personalized Dining/Social Experiences (35 votes)
- Teacher Planning & Professional Work Space (35 votes)
- Open Areas of Respite (34 votes)
- Breakout/Quiet Space (33 votes)
- Multiple Teaching Walls (33 votes)
- Designs to Support Student Voice and Choice (32 votes)
- Creating a Sense of Belonging (30 votes)
- Learning Commons (30 votes)
- Paired Classrooms (29 votes)
- Spatial Synergies to Support All

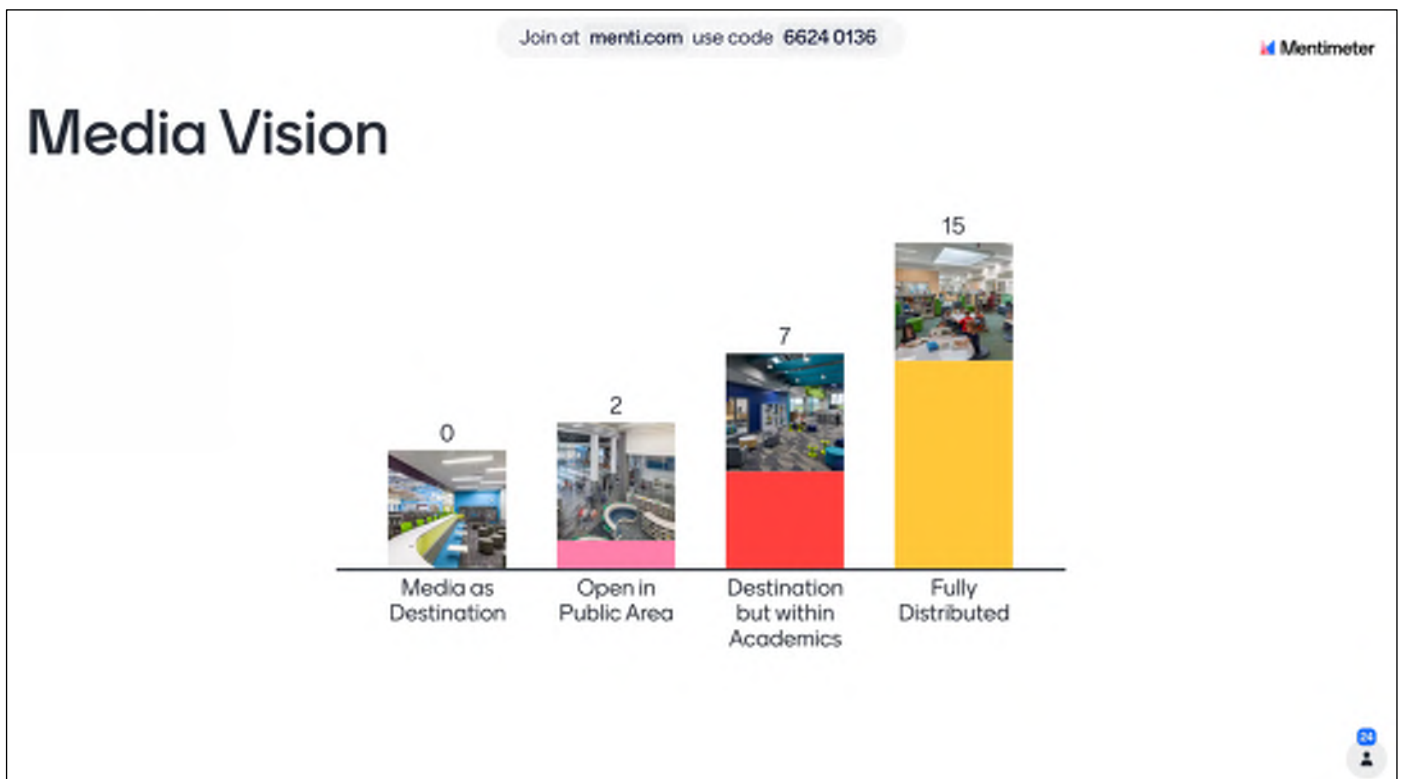


## **CORE LEADERSHIP VISIONING 4** SPACE TYPES AND ADJACENCIES

Needs (26 votes)

- Outdoor Learning & Casual Experiences (23 votes)
- Community Access (19 votes)
- Clusters of Varied-Sized Spaces (12 votes)

In addition to the series of school design patterns, participants were also shown a spectrum of library/media experiences from a traditional destination library model to a fully disbursed model where book stacks and media resources are embedded within grade level learning communities.



## **GALVIN MIDDLE SCHOOL VISIONING 4**

### SPACE TYPES AND ADJACENCIES

#### **Part 4 - Bubble Diagramming and Adjacencies**

In Part 4, participants worked in small table groups to communicate their ideas about programmatic and spatial relationships for a new and/or renovated GMS. Educational Planner, Mike Pirollo asked participants to consider the design patterns they just voted on and also all of the outcomes from previous visioning to help inform their thinking.

The diagramming exercise was chunked into specific focus areas, each with related questions to help guide participants' thinking, conversations, and drawing:

#### **Focus Area - Academic Organization (Part A)**

- What program spaces make up a GMS learning community/team?
- How might programs like art, world language, etc. be embedded within teams to support more experiential "spillability" or interdisciplinary learning?
- What program spaces might be on the edge/entry of the learning community?
- What is the most ideal location for specific Special Ed programs?

#### **Focus Area - Academic Organization (Part B)**

- How can media space(s) and resources best be organized to further support the implementation of deeper learning and project-based experiences? What is the most appropriate way to expand

media's reach?

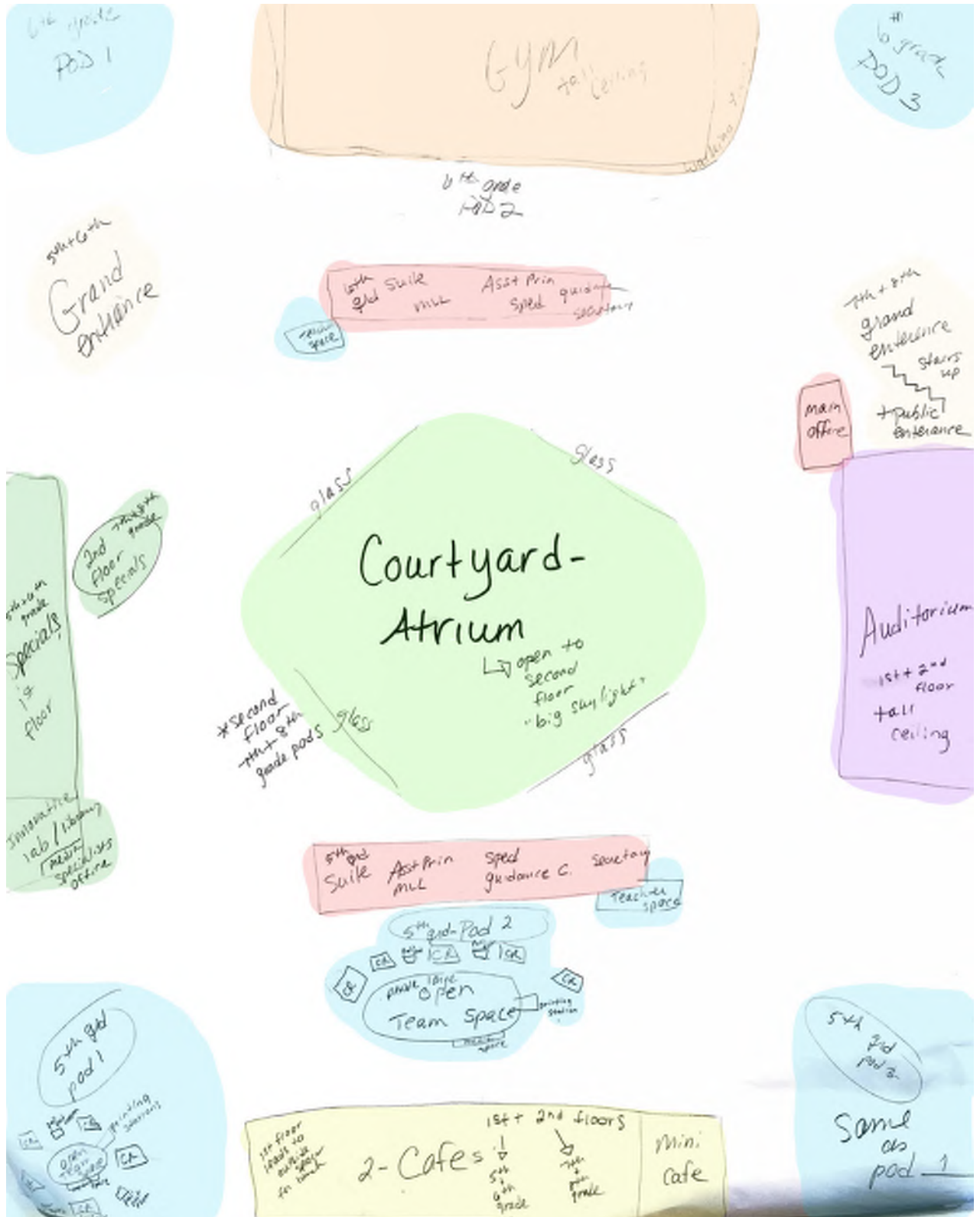
- Ideally, how are teams within the same grade level spatially connected? What's the crossover or synergy among the teams?
- How might grades be grouped together based on developmental level and needs? 5/6 and 7/8?

#### **Focus Area - Overall Organization & Experience:**

- What is placed at the front and throughout the building to communicate what the district values?
- How do public and private spaces relate to one another? Where are they best located?
- How might admin and/or guidance be stationed throughout the building to build stronger relationships with students?
- What spaces could better support mental health and wellness? Where are these spaces located?
- What programs might want to be most connected to outdoors?

Outcomes from the diagramming activity are documented in the pages that follow.

**CORE LEADERSHIP VISIONING 4**  
SPACE TYPES AND ADJACENCIES

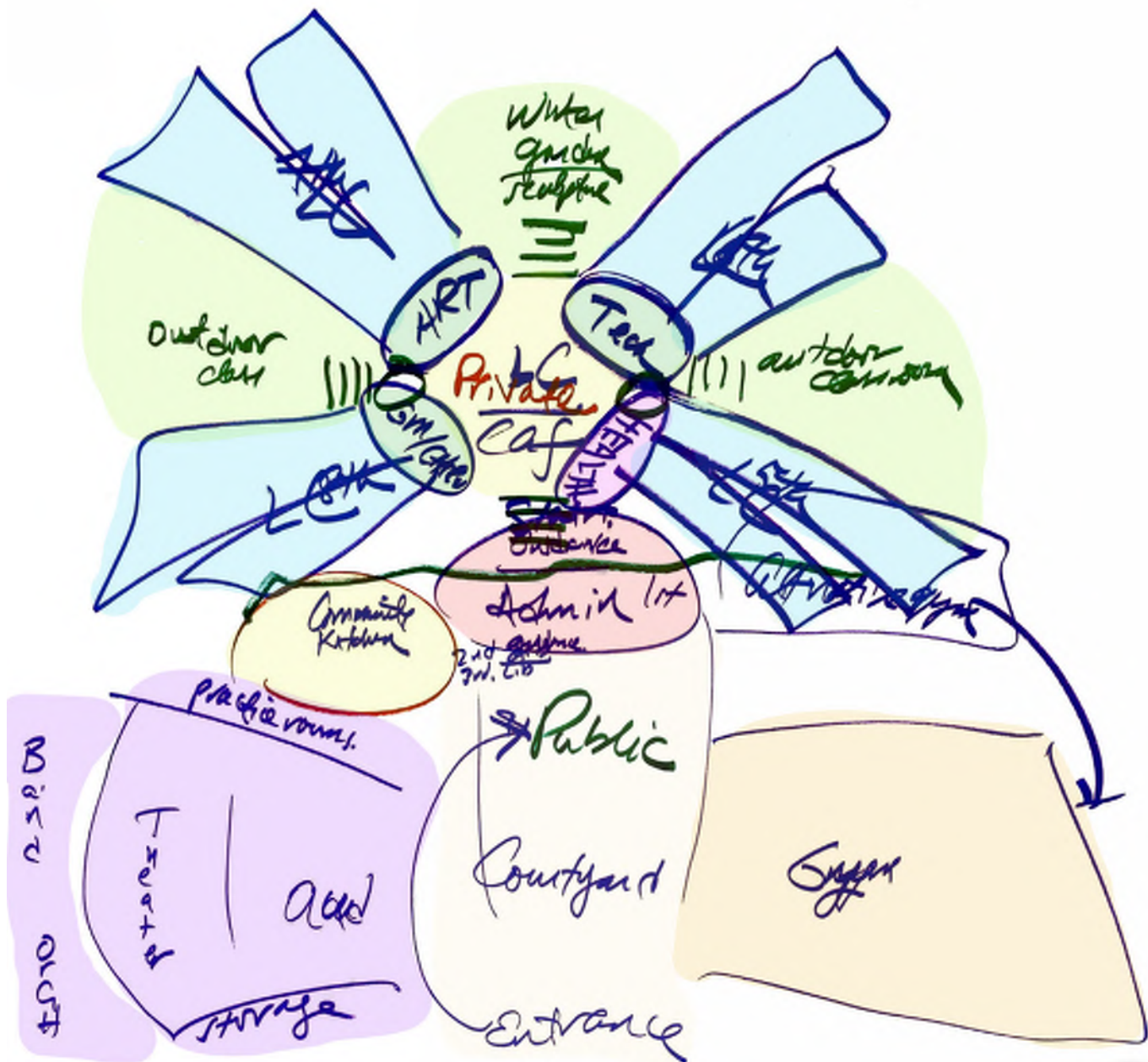




**GALVIN MIDDLE SCHOOL VISIONING 4**

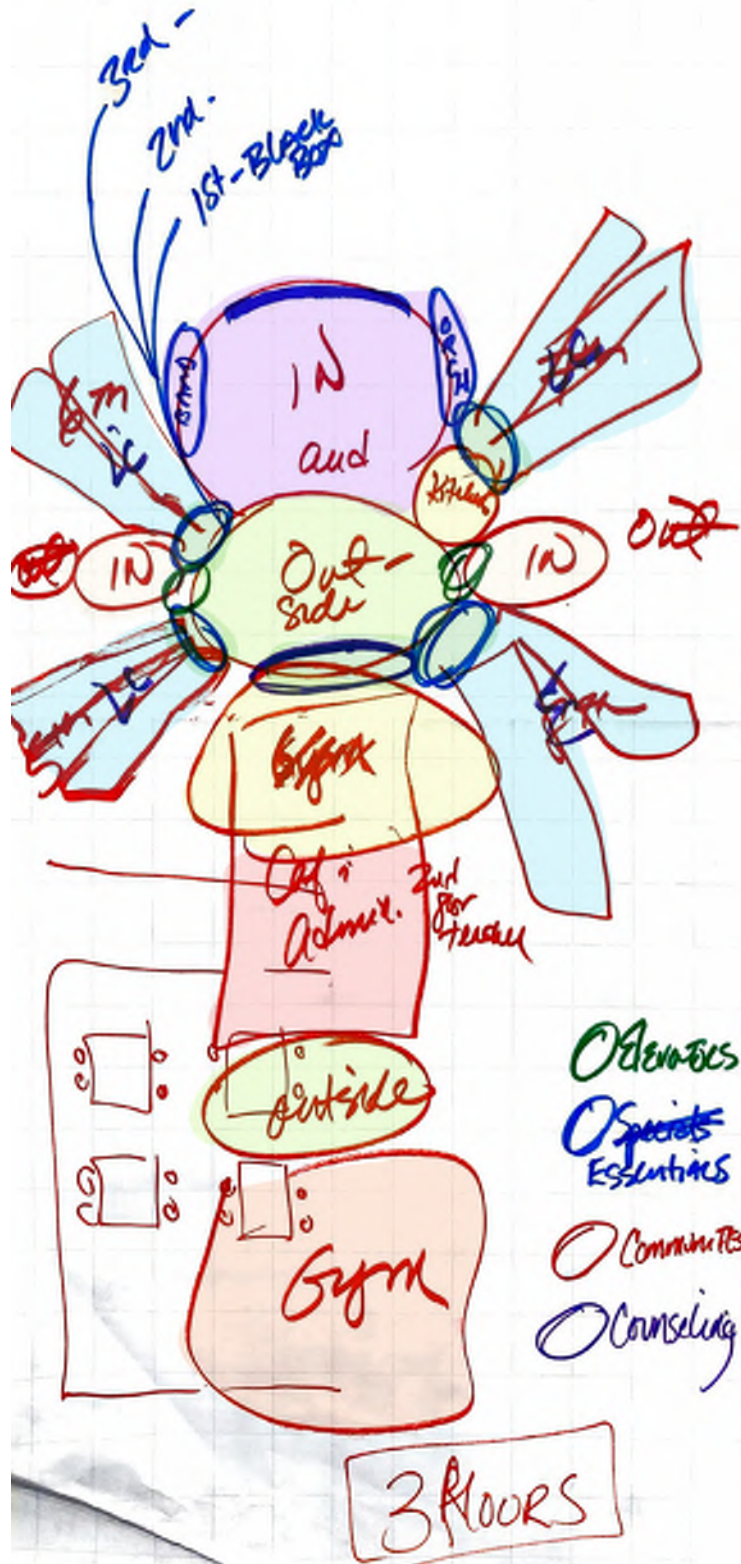
SPACE TYPES AND ADJACENCIES

Specials -  
Out lot for supplies, kids: playing space  
Out lot for piano lab/ guitar room / wood shop / music room



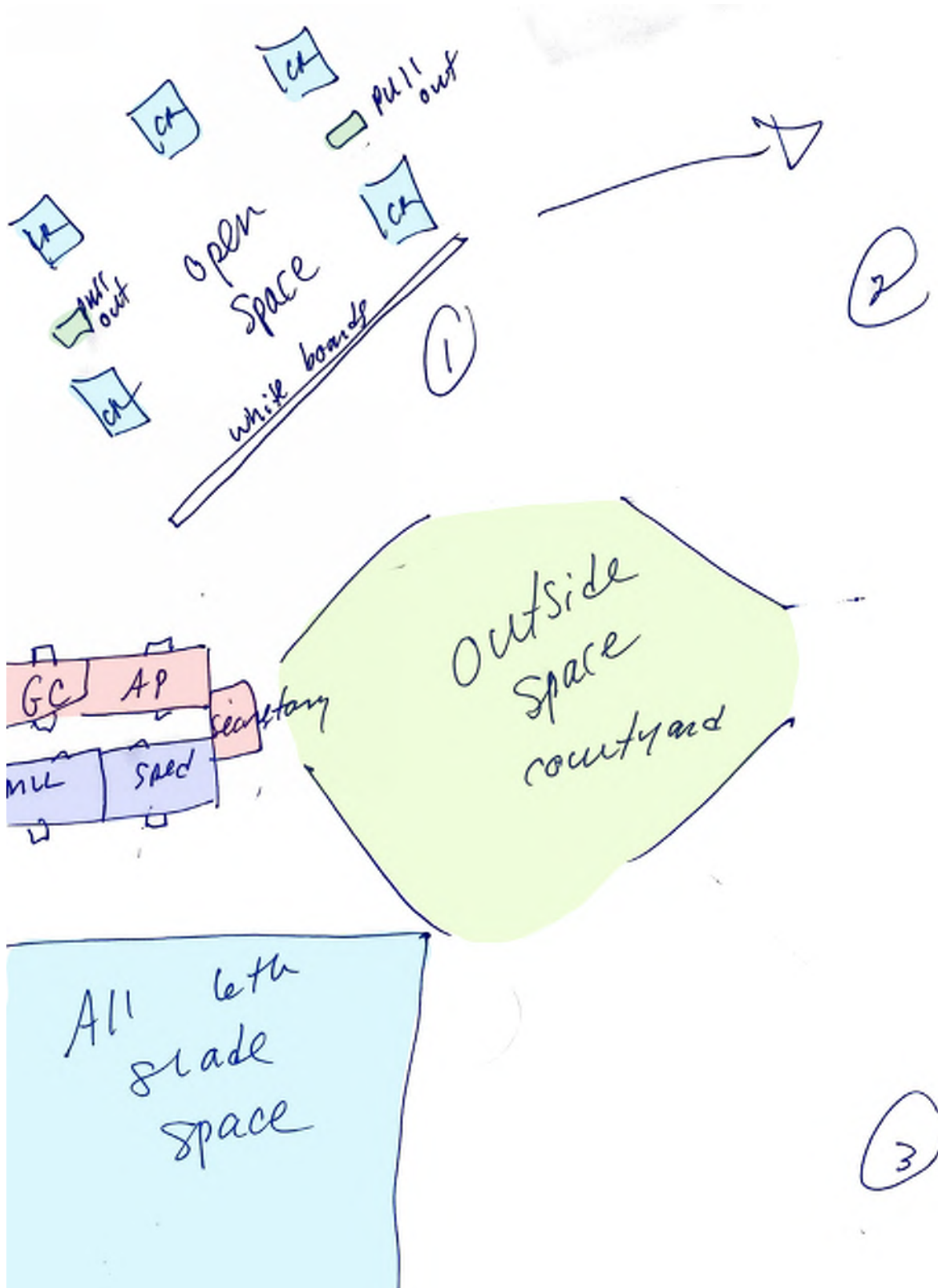
### CORE LEADERSHIP VISIONING 4

## SPACE TYPES AND ADJACENCIES

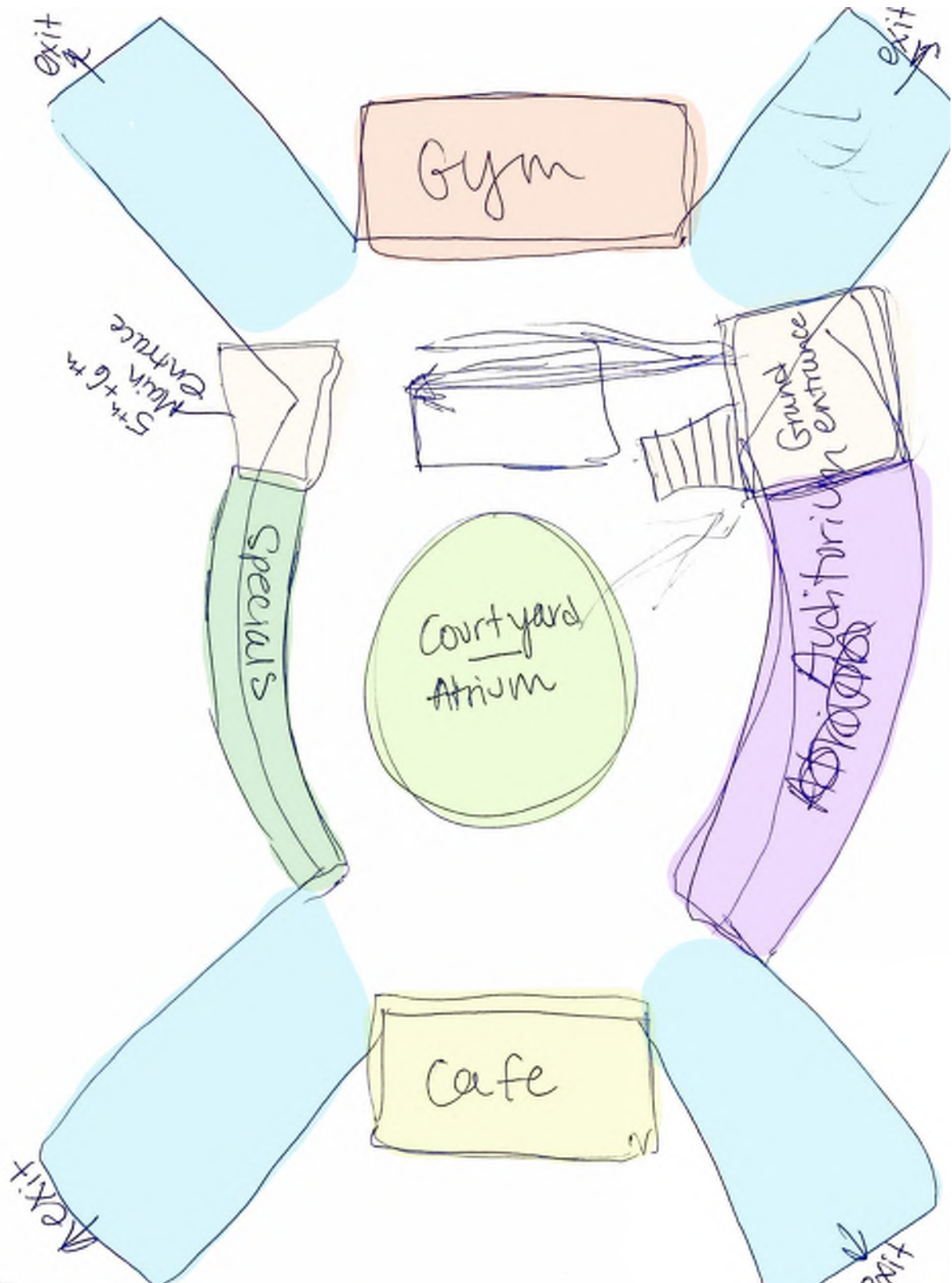


**GALVIN MIDDLE SCHOOL VISIONING 4**

SPACE TYPES AND ADJACENCIES

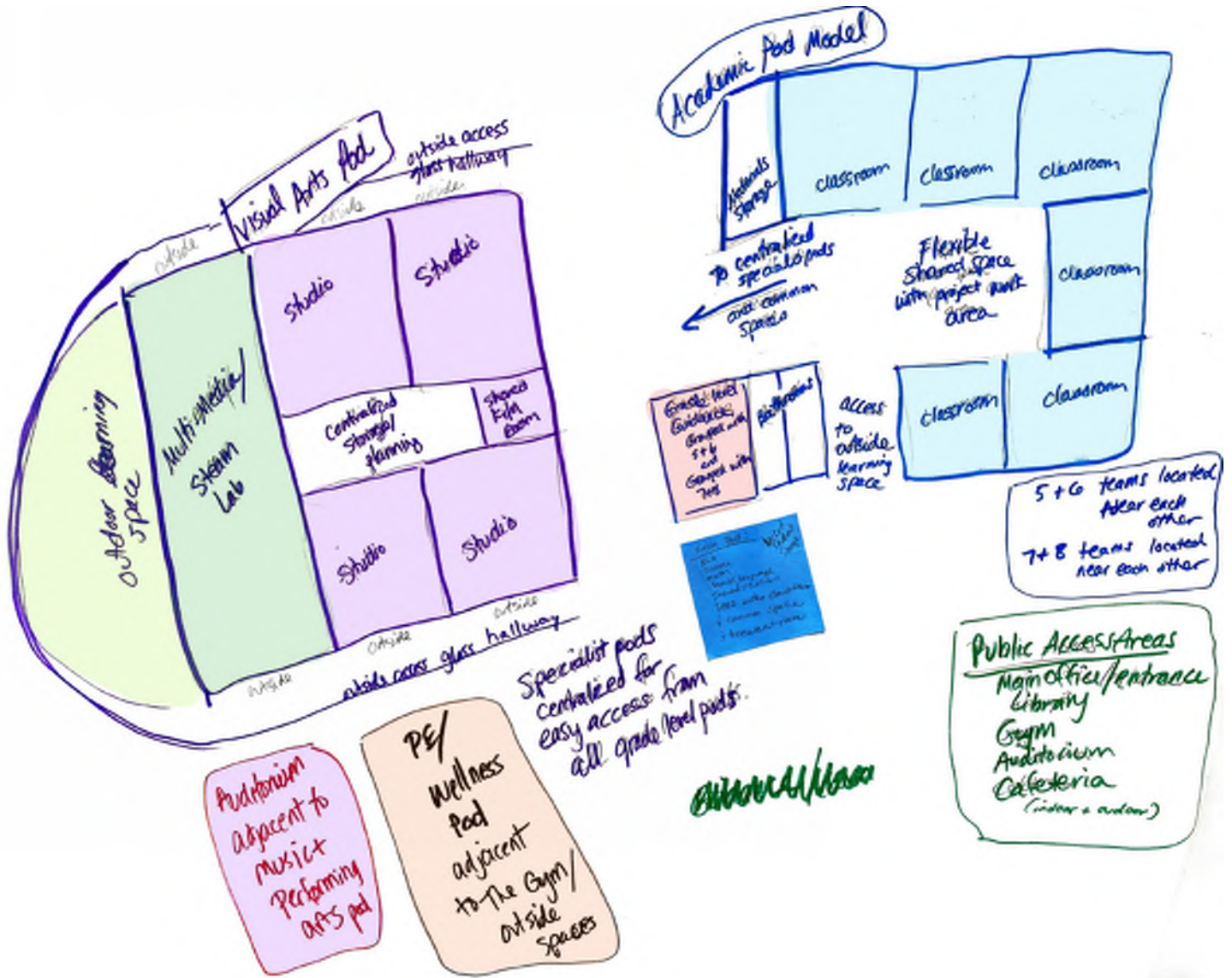


**CORE LEADERSHIP VISIONING 4**  
SPACE TYPES AND ADJACENCIES

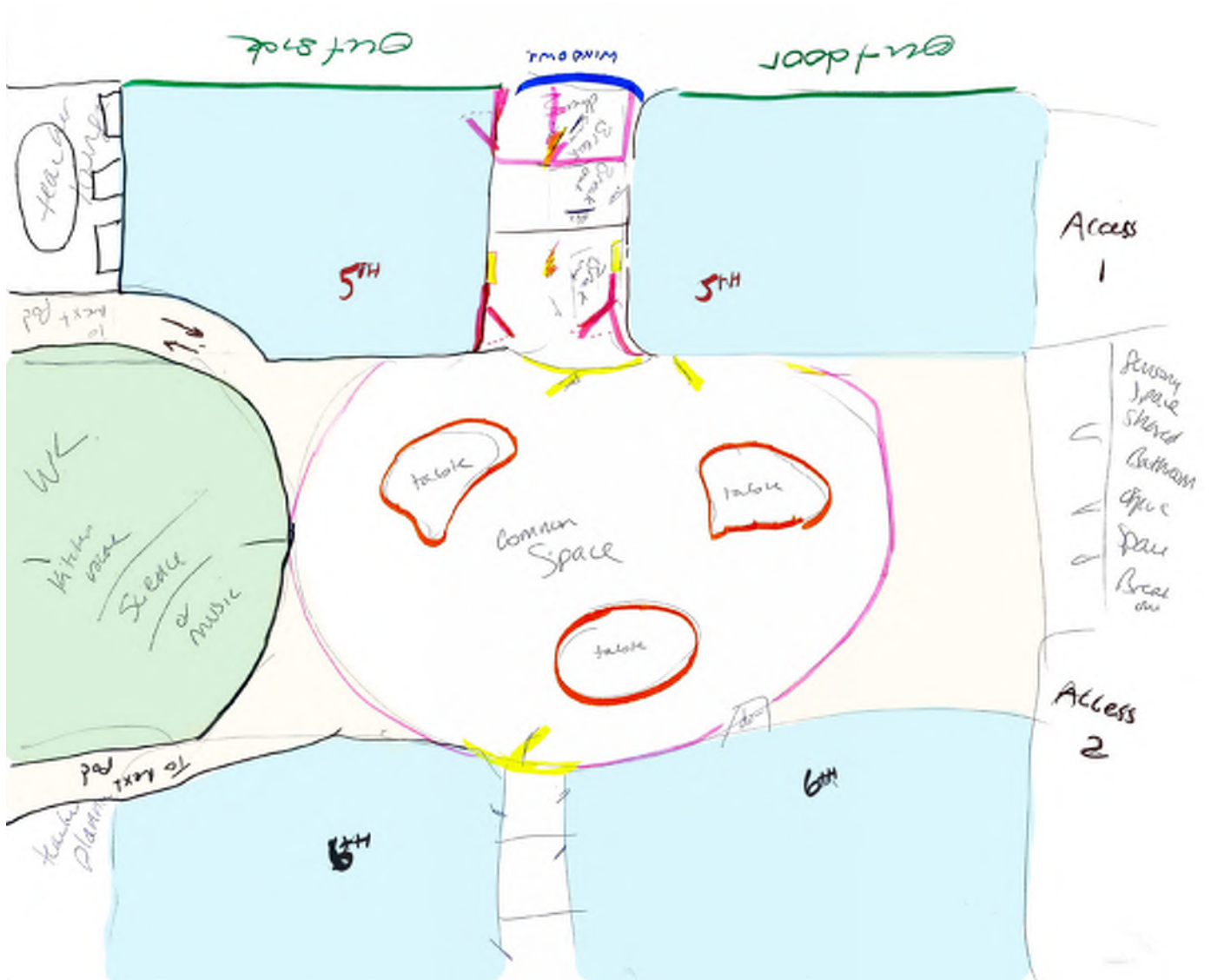


# GALVIN MIDDLE SCHOOL VISIONING 4

## SPACE TYPES AND ADJACENCIES

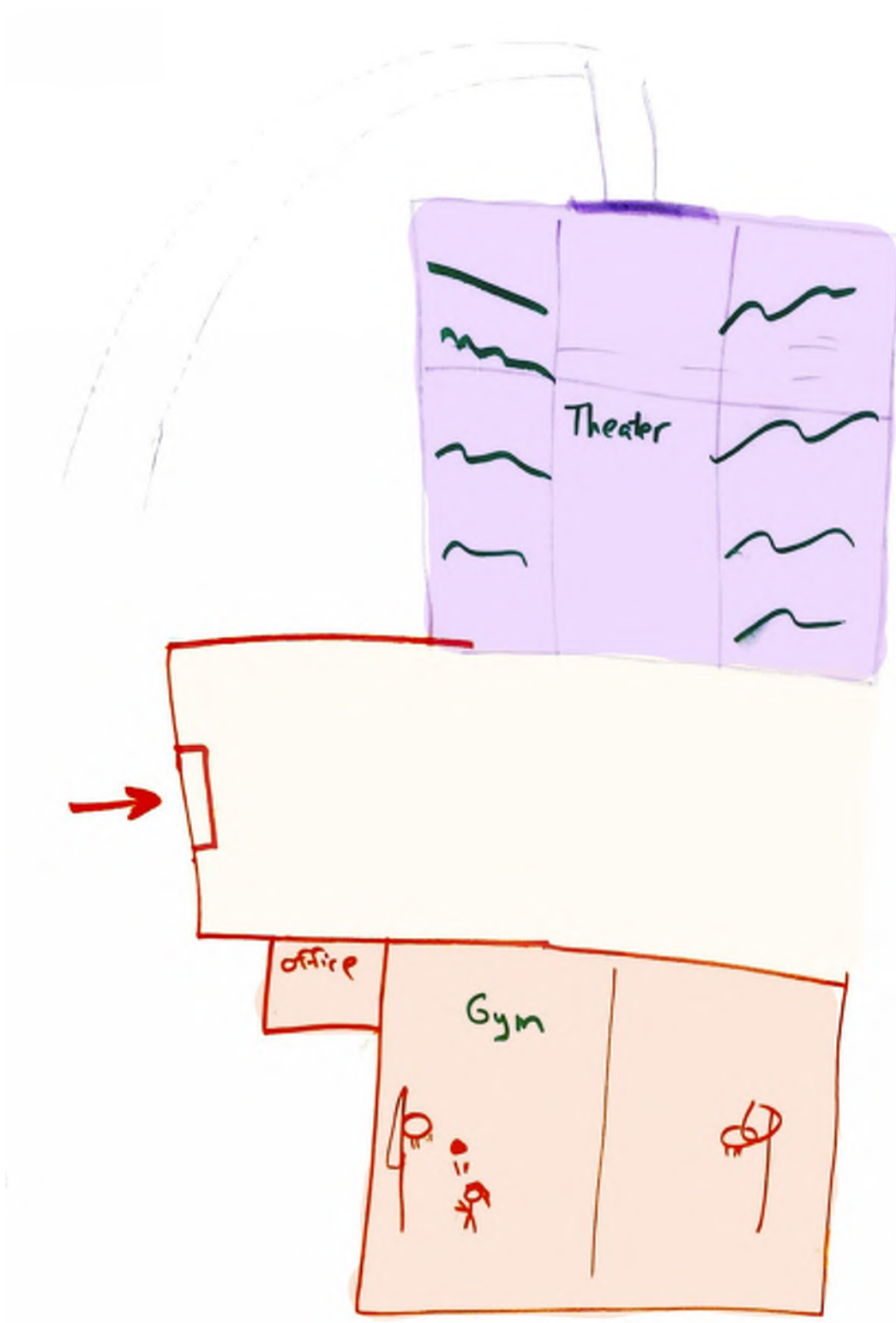


**CORE LEADERSHIP VISIONING 4**  
SPACE TYPES AND ADJACENCIES



**GALVIN MIDDLE SCHOOL VISIONING 4**

SPACE TYPES AND ADJACENCIES



## CORE LEADERSHIP VISIONING 4 SPACE TYPES AND ADJACENCIES



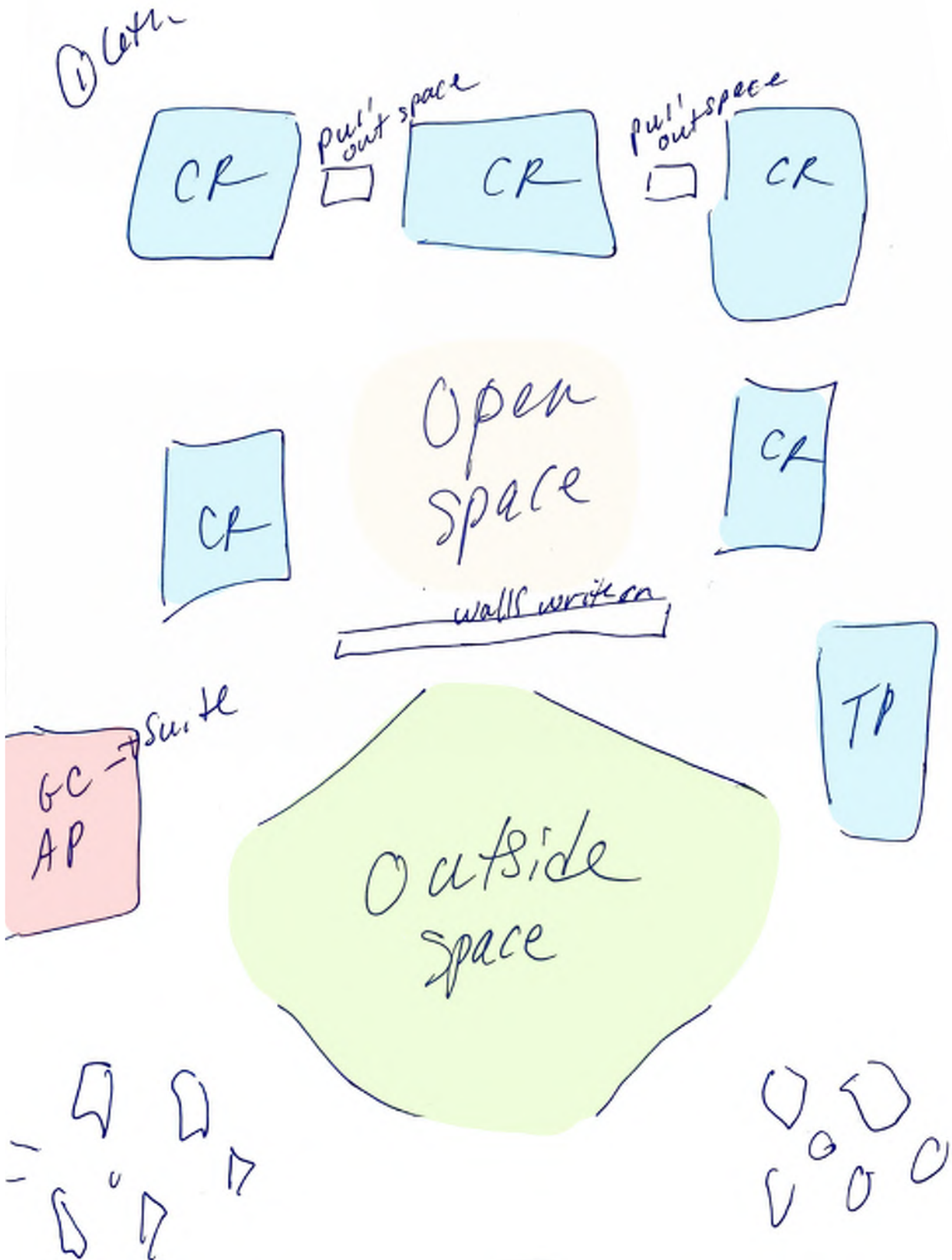


### **GALVIN MIDDLE SCHOOL VISIONING 4**

## SPACE TYPES AND ADJACENCIES

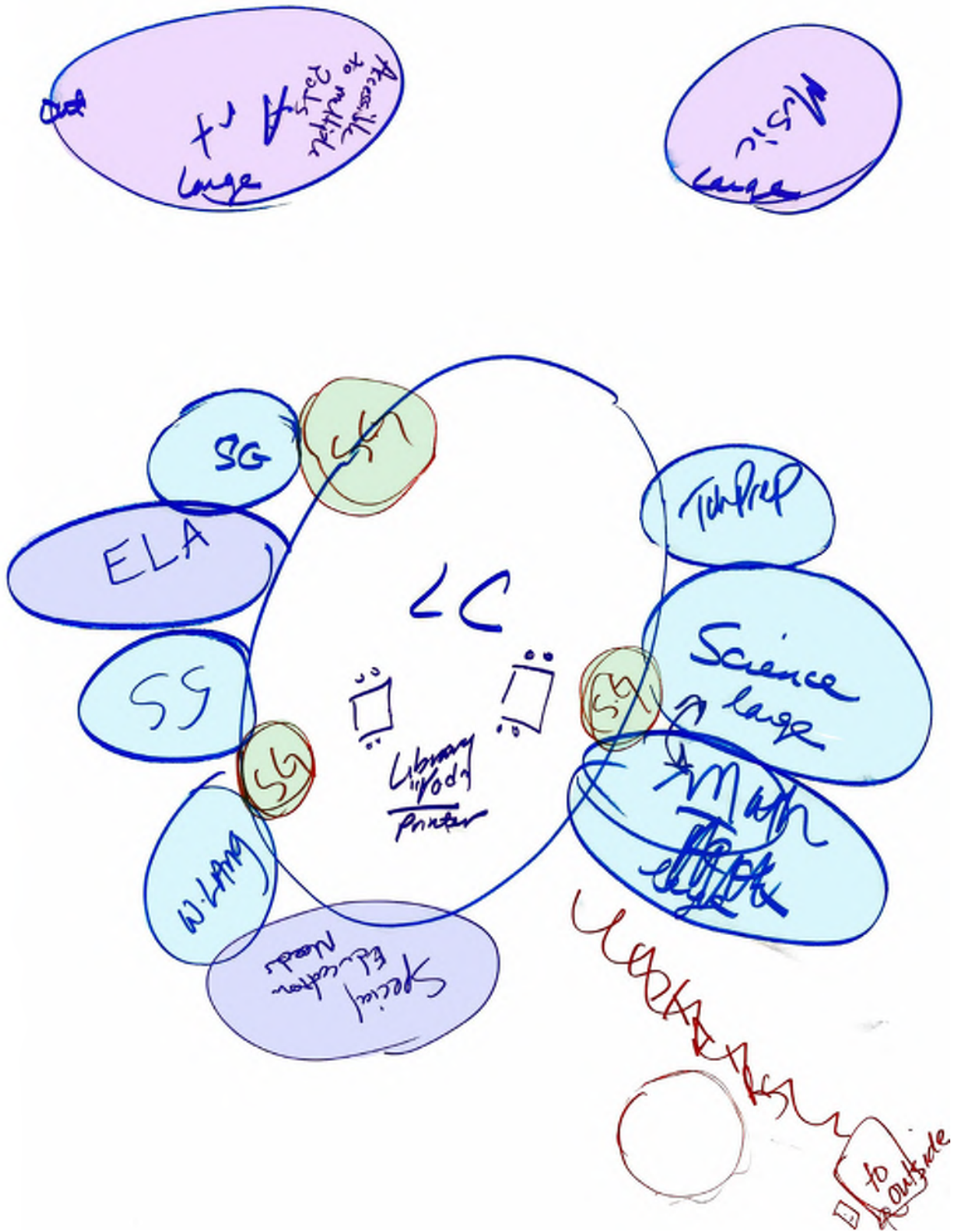


**CORE LEADERSHIP VISIONING 4**  
SPACE TYPES AND ADJACENCIES

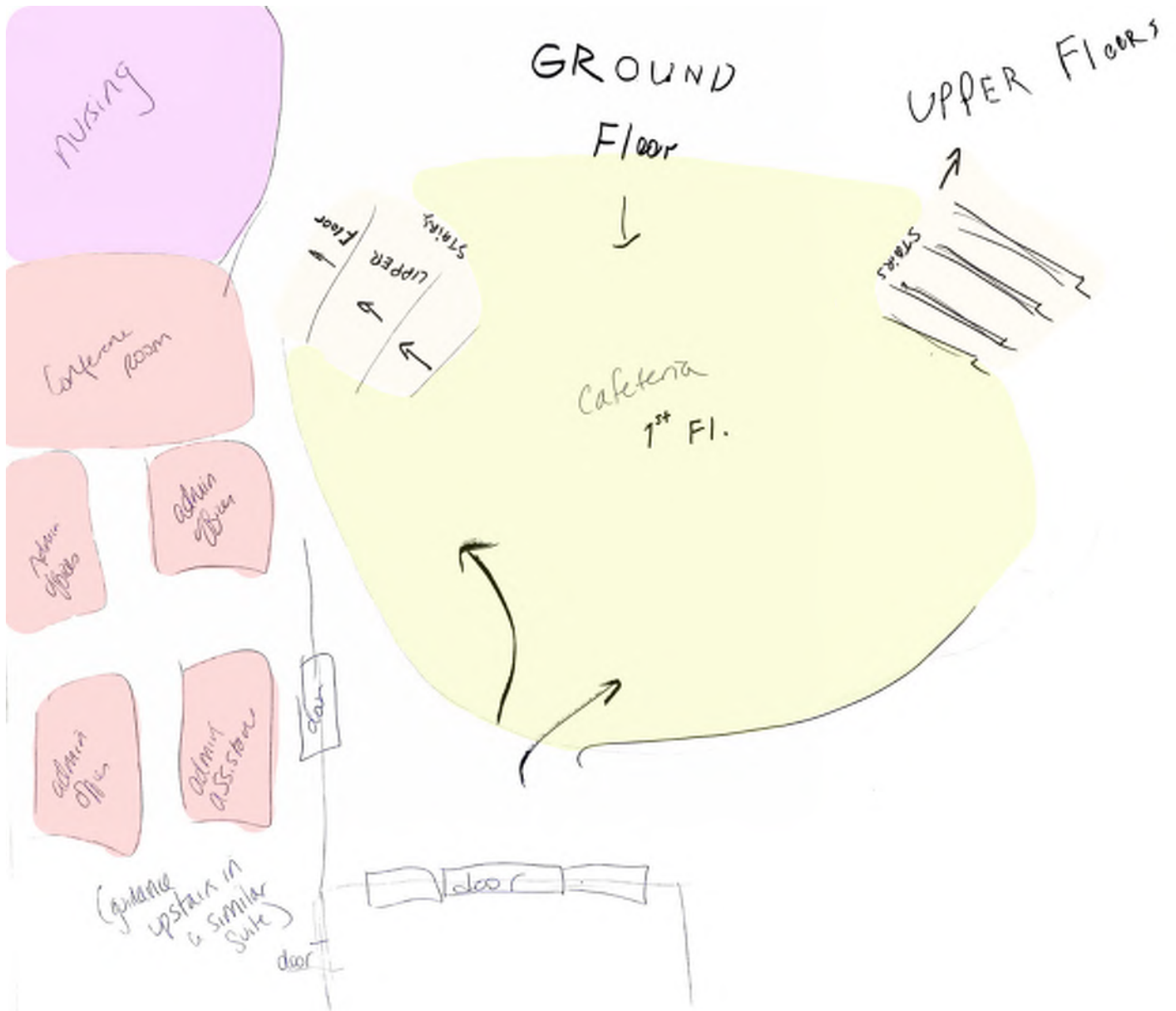


**GALVIN MIDDLE SCHOOL VISIONING 4**

SPACE TYPES AND ADJACENCIES



**CORE LEADERSHIP VISIONING 4**  
SPACE TYPES AND ADJACENCIES





**CORE LEADERSHIP VISIONING 5**  
**SCHEDULES AND SPECIALS**  
 September 8, 2023

**Attendees**

<b>NAME</b>	<b>POSITION</b>	<b>EMAIL</b>
Derek Folan	Superintendent	foland@cantonma.org
Sarah Shannon	Assistant Superintendent	shannons@cantonma.org
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Melanie Omar	ML Coordinator	Omarm@cantonma.org
Adam Hughes	PreK-12 Wellness Coordinator	hughesa@cantonma.org
Matthew Masciarelli	8th Grade Science, Science Department Coordinator	masciarellim@cantonma.org
Meredith Chamberland	Counseling 6-12	Chamberlandm@cantonma.org
Kevin Sullivan	Instructional Technology Coordinator	Sullivank@cantonma.org
Jonathan Mulhern	Principal of GMS	Mulhernj@cantonma.org
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Jen Carlson	LeftField	jcarlson@leftfieldpm.com

## **GALVIN MIDDLE SCHOOL VISIONING 5**

### SCHEDULES AND SPECIALS

#### **Overview**

On September 8, 2023, members of Canton Public Schools attended a meeting with Ai3 Architects and Educational Planner Mike Pirolo (MLP Integrated Design) as part of the visioning effort for the Galvin Middle School building project. The meeting centered around re-imagining school scheduling methodologies and specials/exploratory offerings.



Outcomes from the session are documented below.

#### **Part 1 - Roundtable Discussion**

In Part 1, participants reviewed a variety of articles focused on child development and precedent examples of scheduling, specials offerings, and opportunities for re-imagining teaching and learning. After they had time to mark up the articles and reflect, participants followed a protocol where each person shared their thinking before opening up the conversation to anyone. Notes from the conversation are below.

- Having longer and less classes proved better
- They aren't high school kids so the schedule can't be mirrored but how do we build up to that high school schedule?
- Time for multi-use spaces - use of innovation lab at the high school; everyone wants to use it; "kids use the space when it makes sense"
- Longer blocks allow for extended work sessions - students most happy around the 60-minute time
- Less classes in a day means less transitions
- Are there open spaces for project-based work
- How can specials teams support the training of how to use spaces and equipment; how can specialists staff support this integration and use?
- You're a science teacher but you want to get into a space to do a TED talk - but can't those things happen everywhere
- Exciting to think about having the ability to have a course catalog that is student centered like the Douglas County STEAM School
- What are the real mission and goals of the building? Would love to have world languages integrated into the team?
- MLL population is booming...
  - Newcomers with interrupted education and trauma
  - Students who need a boost in

## CORE LEADERSHIP VISIONING 5 SCHEDULES AND SPECIALS

- their core content classes but keep them in the classes (make it more interdisciplinary)
    - New students who can get help from peers
  - Would exploratory cycles help to give all kids exposure and not pull kids from additional services?
  - Liked civic advisory model to really reach the social-emotional piece
  - We are asking kids to prep for 6 things but as teachers we complain when we only get 2-3 preps
  - Does a 5/6 structure look different than a 7/8?
    - In a 6-8 model, does 6 look different than 7/8?
    - How does look when we talk about the integration of multi-use spaces
  - Sarah - my kids have a more balanced life because of their classes in a block schedule; they don't get as overly stressed
  - Piloting schedules for only a week
- It's not uncommon for a Canton student to be involved in many things; they are very busy; doing homework at night must be frustrating; how do we balance these things? Will block scheduling help that? Are we setting kids up for failure by not having a schedule that supports this
  - Exploratory in 5/6 and electives in 7/8
  - Interested in multi-grade classes
  - Interested in full year and semester-based classes; maybe it doesn't have to be one-sized-fits all
  - Special ed students often thrive in the arts so why pull them from there to receive services?
  - To really think outside the box, the approach has to come first
  - How do we create a more balanced transformative experience?
  - Re-envisioning what a team is
  - It doesn't matter how nice the school is, it matters what's



1	2	3	4	5	6
ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL	ARRIVAL
A	G	F	E	D	C
B	A	G	F	E	D
C	B	A	G	F	E
D	C	B	A	G	F
Grade 6 Lunch 11:30-11:55 E 11:57-12:51	Grade 6 Lunch 11:30-11:55 D 11:57-12:51	Grade 6 Lunch 11:30-11:55 C 11:57-12:51	Grade 6 Lunch 11:30-11:55 B 11:57-12:51	Grade 6 Lunch 11:30-11:55 A 11:57-12:51	Grade 6 Lunch 11:30-11:55 G 11:57-12:51
E 11:30-11:56 11:58-12:23 E 12:25-12:51	D 11:30-11:56 11:58-12:23 D 12:25-12:51	C 11:30-11:56 11:58-12:23 C 12:25-12:51	B 11:30-11:56 11:58-12:23 B 12:25-12:51	A 11:30-11:56 11:58-12:23 A 12:25-12:51	G 11:30-11:56 11:58-12:23 G 12:25-12:51
E 11:30-12:23 Grade 8 Lunch 12:26-12:51	D 11:30-12:23 Grade 8 Lunch 12:26-12:51	C 11:30-12:23 Grade 8 Lunch 12:26-12:51	B 11:30-12:23 Grade 8 Lunch 12:26-12:51	A 11:30-12:23 Grade 8 Lunch 12:26-12:51	G 11:30-12:23 Grade 8 Lunch 12:26-12:51
X Block	X Block	X Block	X Block	X Block	X Block
F	E	D	C	B	A
BUS/DISMISSAL	BUS/DISMISSAL	BUS/DISMISSAL	BUS/DISMISSAL	BUS/DISMISSAL	BUS/DISMISSAL
G	F	E	D	C	B



## **GALVIN MIDDLE SCHOOL VISIONING 5** SCHEDULES AND SPECIALS



happening inside it.

- Shifts in the schedule sometimes feel personal
- What do we value?
- The vocabulary people use is sometimes the same but sometimes different; it's important to come together and understand what that "correct vocabulary" is
- Are we trying to give kids exposure to things or are we trying to develop skills? Are we giving them enough time to have a deep enough experience?
- What is our end goal to determine what schedule and structure is appropriate? Joy is the end goal.
- Fewer classes - greater depth of

content

- Simplicity
- Time for multi-use spaces (innovation lab at high school as example)
- Kids can use frequently and freely (when makes sense vs when schedule dictates)
- Provide kids access to all types of technology and materials to allow truly a free thought experience/process
- Longer blocks allow for extended work sessions (what is the right amount of time for longer blocks)
- Transitions are challenges for students, longer blocks reduce the number of transitions...
- Open spaces for innovation - access and expertise
- Multi-use space (C2E school) - Student centered
- "Ultimately the schedule needs to allow for vision and goals, etc."
- "How can the schedule support the



## **CORE LEADERSHIP VISIONING 5** SCHEDULES AND SPECIALS

goals and mission of the district”

- World languages integrated within the teams - currently not.
- Pedagogical shift - newcomers to country / multi-lingual for a while and not moving forward / students new to us but going to access content with support of peers.
- Pedagogical shift - adopting a new schedule
- Need a schedule that allows MLL students to also participate in specials rather than miss because of their support services needed
- Block scheduling could alleviate some stress at home with reduced amount of homework
- Civic advisory model - way to form connections with students
- IEP's coordinated for single days (color coded for students with ADHD, etc)
- Piloting various schedules for “a week”
- Cross curricular specials - merge

courses.

- “Passion pursuit work” at the beginning of the day.
- Balance of students “Canton Kid is a busy kid” involved in various activities
- Exploratory idea (short sessions) vs Elective idea? (deep dive)
- Classes that combine grade levels?
- Full year vs semester course?
- “Essentialist” vs “specialist” label
- 500-600 additional hours in core classrooms content than specials - “that doesn’t scream value”
- Balanced experience necessary in order to provide value.
- Students should have more of an equal balance between “core academics” and “specials”. Is there a way to find more balance between the 2 categories
- Create a “safe and sense of belonging” - not building - culture
- Building is not the only



## **GALVIN MIDDLE SCHOOL VISIONING 5** SCHEDULES AND SPECIALS



component to making a school successful. Students/staff must feel comfortable and safe, schedule has to support it, and pedagogy needs to evolve to strengthen

- Space, day, hours incorporated – what things make them the safest.
- Reality of contracts, structure – tug of war – with innovative, flexible, deeper learning
- What does a more balanced experience look like?
  - Everyone is on the same team, as opposing teams.
  - Teams would be comprised of all aspects, (math, ELA, science, guidance, language, art, etc)
- Vocabulary is important – common understanding of what terms mean.
- Value and balance
- Exposure to content OR developing the students (time with content and instruction)

- What is the end goal?
- Define clear end goal of a new schedule so everyone has a clear direction

### **Part 2 – Question Carousel**

In Part 2, participants used outcomes from the article reading and discussion to think deeper about scheduling and specials offerings. In small groups, participants rotated around the room to 6 stations, each with a different prompt for consideration. The question and responses from each question are documented below.

#### **Station 1:**

How might specials be the group to unify all of the grades and be the core of interdisciplinary learning?

- Flexibility in mixed grade levels (5/6 or 7/8 class or 5-8 or 6-8)
- Integrating those courses into the entire school experience and not



## **CORE LEADERSHIP VISIONING 5**

### SCHEDULES AND SPECIALS

seen as “special”

- Interconnection of spaces/ programs - visibility (proximity)
- Teacher flexibility for push-in to core
- Adaptable to change
- Mindset/culture shifts
- More time on learning with “specialists” experts
- Opportunities to plan together
- Dedicated time to collaborate
- Model and invite people to join in (i.e., food truck - world language, wellness, visual arts, etc.)

#### **Station 2:**

How can the organization of specials better support the transition to middle school and high school?

- Integrate into the whole school experience; possibly exploration 5/6 and deeper learning (choice?) 7/8
- School without corridors
- Common understanding (district wide) about what learning looks like at each level
- Should we be looking at how the HS model also needs to evolve as we think about where we want the middle school to go?
- Provide experiences with tools/materials that students will encounter at the high school
- Teach autonomy - courses and experiences that allow students to have more agency

- Integrate executive functioning skills and other non-discipline-specific life skills (transfer)
- School counselors spend a day at the schools the incoming class are currently attending

#### **Station 3:**

What are the pros and cons of an “everyone takes everything” approach? Is it needed? How often do specials need to meet? (consider “what if...” certain grades took certain specials or if some became electives)

- Access for all
- Exposure matters - students need to have experiences to know what they may be passionate about
- Does this go against deeper learning?
- Meeting less often (or not at all) is counter to being valued. All students need learning experiences in all areas.
- Some are skills based, others have flexible content. There may not be an easy 1 size fits all model.



## **GALVIN MIDDLE SCHOOL VISIONING 5** SCHEDULES AND SPECIALS



- Student choice and voice is powerful for all students
- Can students sample a lot (like exploratory) and then choose to pursue certain avenues according to interest? (5 and 6?) (7 and 8?)
- How does exploratory approach translate into HS scheduling model?
- Does a middle school age student (developmentally) have the capacity to identify specific interests?

### **Station 4:**

What are the roadblock(s) right now that are holding us back from a more innovative approach to specials?

- Money
- Not enough people / staffing shortage
- Mindset/habits/past experiences
- Lack of time for collaboration

- Fast pace of innovation (planning near future is not enough for the future)
- Fear of change
- Physical spaces
- Current schedules
- Unclear or not unified vision for the school
- Training on innovative approaches
- Staff and community buy-in and understanding of PBL and deeper learning experiences
- Teacher training and effectiveness
- Culturally responsive - innovation - access for all our student (increased staff and mindset around mutual responsibility for our students
- Mindset (from top down)
- Existing building/space
- Emotions, systems, philosophies
- Comfort/fear of new or unknown

### **Station 5:**



## **CORE LEADERSHIP VISIONING 5**

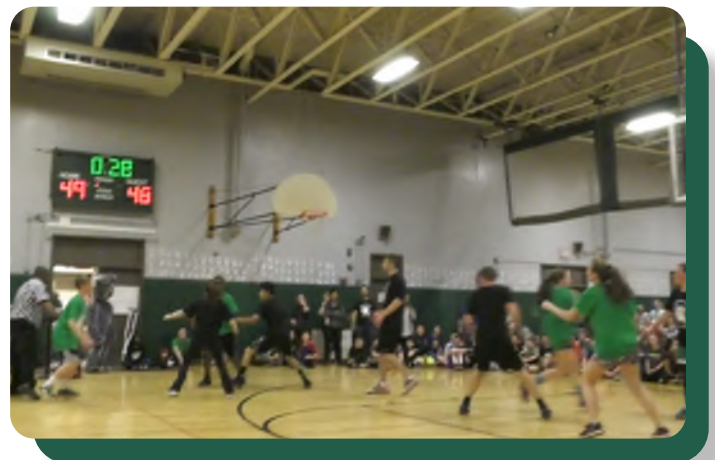
### SCHEDULES AND SPECIALS

How do we create a more balanced experience?

- Flexibility of space - ease of alteration
  - Flexible seating/tables configurations
  - Indoor and outdoor spaces for learning
- Proximity of space - reduction/efficiency in transition time
- Better time on learning - semester vs. yearlong classes
- Teaming with all disciplines included
- A culture that values “specials” and “core” as equals
- Spaces that are designed to evolve over time/needs (sustainability)
- Consistency, clarity, and simplicity
- Think about/consider the developmental needs (differentiated experiences)
- Spaces that honor those needs
- Building in breaks during work/sessions
- Time should reflect work skills and play/joy
- Healthy balance of work and play
- Not live in isolation from each other
- Integration of whole child development
- Mutual responsibility for all our learners

#### **Station 6: What do/should we value?**

- “Whole” child, mental well-being ... YES!
- Balanced experiences
- Transferable skills and learning
- Relationships/connections/community
- Fostering creativity and empowering individuality
- Student voice and choice
- Safe learning environments (belonging)
- Our differences - they strengthen us
- How we spend our time
- Unique experiences and passions
- Equal access and equity
- Collaboration - we cannot remain silos



## **GALVIN MIDDLE SCHOOL VISIONING 5** SCHEDULES AND SPECIALS

- How does a school live what it says it values?
- How does the building communicate what the district values?
- First impression – experience

### **Part 2.b – Carousel Debrief**

Following the carousel rotation, participants had a conversation about big-picture topics that came up as part of the exercise. Notes from the conversation are documented below.

- The experience and design of the building should very clearly communicate the values of the district
- Does a middle school age student developmentally leave with the capacity to identify specific interests?
- How does the adjacency of space and the efficiency of movement (transitions) help to gain more time and create a more balanced experience
- Trying a little bit of everything as a 5th grader and then building the agency to get to decide; What if kids don't have to decide on a special or elective? What if they are signing up for an experience? (i.e. TED talks for teens)
- If that is what we say we value, then we have to talk about it; we don't
- To offer a more balanced experience, we can no longer remain in our silos

- We have to have a mutual responsibility for all of our students
- Music is the same in every language
- We can't make a blanket pathway for our students just based on their grade
- Do we start with a culture of belonging and SEL or are we a more academic institution? Shouldn't it be both?
- Do we believe that the circle has power?
- It's more than just the core subject that you're teaching
- Maybe if specials are "essential" maybe they are at the physical center of our building
- Spaces need to be sustainable and easily able to evolve; we need to think using a proactive approach and then think about what's next
- We are all passionate about our interests but, ultimately, it has to be what's best for kids; what is kids' wellness? Whole-child wellbeing



**CORE LEADERSHIP VISIONING 5**  
SCHEDULES AND SPECIALS

- It's about transferable-like skills; how do we set them up for transferable success throughout middle school?
- It's not about if you like change as an adult







## **E**ducational Program

Refer to the following document, included herein, for the Canton Public Schools' Educational Program for William H. Galvin Middle School.



# GMS Education Program

## MODULE 3: PRELIMINARY DESIGN PROGRAM

September 28, 2023

### 3.1.2 Galvin Middle School Educational Program

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## 1. INTRODUCTION

### **Vision Statement**

The Canton Public Schools is committed to providing all students an exceptional education that develops innovative thinkers, curious and empowered learners, and compassionate citizens. All Canton Public Schools staff and students are committed to building learning communities consistent with our District's core values:

- Respectful and collaborative relationships
- Equity
- Academic and personal excellence
- Community engagement
- High-quality teaching, learning, and leading

### **Galvin Middle School Mission**

The William H. Galvin Middle School is an inclusive, student-centered learning community that fosters academic growth, resilience, and achievement while ensuring that every community member experiences a sense of belonging, embraces challenge, and positively impacts their world.

### **Historical Context of Canton**

The area that would become Canton was inhabited for tens of thousands of years prior to European colonization. The Paleo-Indian site Wamsutta, radiocarbon dated to 12,140 years before present,[2] is located within the bounds of modern day Canton at Signal Hill. At the time of the Puritan migration to New England in the early 1600s, Canton was seasonally inhabited by the Neponset band of Massachusetts under the leadership of sachem Chickatawbut.

From the 1630s to the 1670s, increasing encroachment by year-round English settlers on lands traditionally inhabited only part of the year, devastating virgin soil epidemics, and English colonial policy pushed native people into Praying Towns, a precursor to modern day Indian reservations. The modern town of Canton was the site of Ponkapoag, the second Praying Town in the Massachusetts Bay Colony, which was set off from Dorchester in 1657, three years after English colonists resettled a group of Nemasket there from Cohannet, modern day Taunton. The so-called Praying Indians that settled in Ponkapoag are known today as the Massachusetts Tribe at Ponkapoag.

In 1674, King Philip's War led to significant depopulation of Ponkapoag, which found itself on the fault lines of one of the bloodiest conflicts in North American history,[3] and in October 1675 those Praying Indians that remained were forcibly removed to Deer Island by order of the Massachusetts General Court. After the war, in part because of the loss of life and the fleeing of native refugees north to join the Wabanaki Confederacy, the General Court disbanded 10 of the original 14 towns in 1677 and placed the remaining four, including Ponkapoag, under the supervision of colonists. Over the next hundred years although Ponkapoag remained an official entity, loss of self-determination and privatization of collective lands led to the gradual intermixing of native and settler populations in the area.[4]

In 1726, Stoughton, Massachusetts split from the large original territory of Dorchester; then on February 23, 1797, Canton was officially incorporated from the territory of Stoughton. The name "Canton" was suggested by Elijah Dunbar and comes from a belief that Canton, China was antipodal to it.[5] This is not possible, since they are both well north of the Equator; they are, however, about 2 degrees from being antipodal in longitude, ignoring latitude. In addition to being a prominent Canton citizen, Elijah Dunbar was the first president of the Stoughton Musical Society from 1786 to 1808.[6] Now named the Old Stoughton Music Society, it is the oldest choral society in the United States.[7]

Paul Revere built the nation's first copper rolling mill in Canton in 1801. His poem entitled Canton Dale expresses his affection for the town. Canton was the location of the Rising Sun Stove Polish Company, founded by Elijah Morse, a wealthy merchant and creator of the pot-belly stove.

The town of Canton has three public elementary schools: the John F. Kennedy School, Lt. Peter M. Hansen School, and Dean S. Luce School. The area in which one lives determines which elementary school one's children attend.

Canton has one public middle school, the William H. Galvin Middle School, where promoted students from all of the three elementary schools combine. It serves grades 6–8 and is located next to the Lt. Peter M. Hansen Elementary School. The Galvin Middle School is named after William H. Galvin who was a lifelong resident and graduate of Canton High School. William H. Galvin taught in the town from 1935 to 1943, at which time he was appointed principal of the Crane School. Galvin also moved to various positions throughout the school system, being named principal of the Augustus Hemenway (1950) and the Dean S. Luce (1954) Schools, assistant superintendent (1958) and then in 1959 he was made superintendent of the Canton School System, a post he held until his retirement in 1976. In recognition of his service to the town of Canton, the William H. Galvin Middle School was named in his honor in 1973.

Canton also has a public high school, Canton High School, that provides grades 9–12. The Rodman Early Childhood Center, Canton’s public preK program, serves students at the Rodman building. There is one private school, St. John the Evangelist, which has been open since 1883 and serves students in grades Preschool–8. In addition, the state's Pappas Rehabilitation Hospital for Children, formerly known as the Massachusetts Hospital School, is in Canton.[23] In addition, the Marilyn G. Rodman Educational and Administrative Center is located next to Canton High School, housing administrative buildings as well as a preschool.

The Blue Hills Regional Technical School and the Canton campus of Massasoit Community College are located within the town as well.[24]

Clarke Schools for Hearing and Speech, formerly Clarke School for the Deaf, operates a satellite school, "Clarke Boston", in Canton for children who are diagnosed with deafness at an early age and then are mainstreamed to a public school. Clarke is the oldest school for the deaf in the country that teaches children to lip-read and speak orally, rather than use sign language; its main campus is located 80 miles to the west in Northampton, Massachusetts.

The Judge Rotenberg Educational Center is housed in Canton as well.

Canton has the open town meeting form of government. Annually each spring, and as necessary, the voters gather to discuss matters such as zoning, schools, public works, recreational facilities, the budget, taxes and bond issues. Property taxes on residential and other land, buildings and improvements, and transfers from the state government, are two important sources of revenue for the town. The five elected members of the Select Board oversee the day-to-day operations of the town government.

The Planning Board approves new town subdivisions, reviews site plans for commercial development, oversees the towns scenic ways, drafts and approves a town-wide master plan, and statutorily provides recommendations to Town Meeting regarding zoning and development.

The Finance Committee studies the financial affairs of the town, advises and makes recommendations to the Town Meeting on the budget and other areas with fiscal implications in serving the Canton residents.



Companies large and small continue to find Canton a business-friendly town. Canton is the headquarters of Dunkin' Donuts and is the headquarters of Computershare (North American HQ), Organogenesis, Inc., Boston Mutual Life Insurance Company, Interpolymer Corporation, Casual Male Retail Group, and formerly, Tweeter. It is also home to the Massachusetts Division headquarters of the Salvation Army.

According to the US Census Bureau, the Canton population is estimated to be 24,609 people as of July 1, 2022. The US Census Bureau estimates that the population increased by 1.0% since April 1, 2020. This population growth suggests a need for greater school resources to support families with children moving into the town of Canton. Additional census data shows 22.2% of the population is under 18 years old. The median household income (in 2021 dollars) from 2017 - 2021 was \$118,814. The median value of owner-occupied housing units from 2017-2021 was \$560,200, while the median gross rent was \$1,931. US census data also shows that 16.9% of Canton residents ages 5+ years and older speak languages other than English at home; such a diverse population provides evidence for a need for greater multilingual learner resources at school to support multilingual families with school-age children.

Canton has always been a community with a multitude of activities for its youth. In addition to the extracurricular baseball, softball, football, and hockey programs long in place in this town, there are now extensive youth soccer, basketball, lacrosse and recreational programs as well. Many of these activities take place on fields that have been constructed or renovated in recent years through the hard work of many volunteers and cooperation of the town. The vast majority of opportunities for students to participate in visual and performing arts activities come via the public school system.

## **Educational Vision**

### ***Strategic Plan***

In 2023, the District undertook the challenge of rewriting its Mission and Vision statements and restating its Core Values. Ultimately, they were turned into measurable action through the District's Five-Year Strategic Plan that was the culmination of a year of collaboration between the community, the schools, and the Town of Canton. Currently, staff across the District are implementing research-based pedagogical approaches on how content and essential skills are taught and assessed at each grade level and in each content area.

The Strategic Plan lays out Objectives and Benchmarks that will help focus and prepare the Canton Public Schools staff, and the greater Canton community, in delivering a comprehensive, student-centered, and relevant education to every student, every day.

The Plan emphasizes social and emotional well-being, critical thinking, collaborative problem solving, and authentic learning experiences in appropriate spaces, allowing the District to position itself to ensure that every student becomes a compassionate global citizen and an active life-long learner.

- The District will work to create a purposeful and sustainable budget, guided by the CPS Strategic Plan, that provides sufficient funds to operate and improve the Canton Public Schools; in doing this, the system is poised to improve student achievement.
- The Plan upholds the larger District goal of creating facilities that are centers for innovation and comprehensive, transformative educational experiences, and that will foster and promote problem solving and creativity for both staff and students within a safe environment.
- The District's commitment to high quality teaching, learning and leading and ensuring equitable and culturally responsive practices is also reflected in the Strategic Plan. The practices that will inspire lifelong curiosity through collaborative problem solving and authentic learning are now part of the District's teaching and learning plan.
- A commitment to a holistic, connected approach is another key objective. By supporting STEAM (Science Technology Engineering and Math), Engineering, Visual and Performing Arts, Wellness and World Languages and other specials, the District's goal remains creating pathways that enable students to explore and pursue their interests and passions, while contributing to the overall good of the community. Extracurricular activities in the arts, athletics, and other enrichment areas are available to all middle school students and support the holistic approach.
- The goal of creating a culture of equity, care, inclusion, and safety for every student and family in the Canton Public Schools will be a hallmark of the educational future of the Canton Public Schools.

This Education Plan is directly tied to two of the District's strategic initiatives to create facilities that are centers for innovative, transformational and rigorous educational experiences, and that will foster and promote problem solving and creativity for both staff and students within a safe environment:

- District's Priority Objective #2:  
To develop state-of-the-art operational systems that assure access to high-quality resources, including facilities, aligned to our educational vision, equitably distributed, and utilized efficiently.

- District's Strategic Objective #4:  
To create and sustain a culturally and linguistically responsive school climate and culture that supports an equitable educational environment for every student and staff member.

### ***Summer /Fall 2023 Educational Visioning***

In the summer and early fall of 2023, a combined 60+ participants – including Canton Public Schools leadership, staff, students, administrators, parents, and community members – participated in a variety of visioning and programming sessions led by Educational Planner, Mike Pirollo (MLP Integrated Design) and Ai3 Architects. Each session was part of a collaborative process designed to inform the Galvin Middle School Massachusetts School Building Authority (MSBA) Feasibility Study and pre-design process.

In a series of 5 visioning sessions, participants were led through a step-by-step process aimed at capturing their high-level thinking around 5 key areas:

- Educational, architectural, and community goals and priorities
- Vision of the middle school learner, including the physical, academic, and social-emotional development and needs
- Vision of teaching and learning, including engaging academics and important skills and experiences
- Vision of specials programming and scheduling to best support interdisciplinary experiences and student voice and choice
- Vision of the ideal learning environment, including space types, design features, and adjacencies

At the core of the District's educational vision are a series of overarching goals that speak to space and the teaching, learning, and social-emotional experiences within that space:

- Middle-schooler focused building (students as heart of the school)
- Spaces, curriculum, and opportunities to support teaming and experiential, project-based learning
- Spaces to support a wealth of specials programs
- Flexible learning environment
- Outdoor space for academic and social-emotional needs

- Calming spaces throughout
- Maximize inclusion and integration of all students and programs
- Building and site as a community resource, even beyond school hours
- Safety and security
- Structures, instructional practices, and design features to support collaboration
- Welcoming and inspiring facilities
- Visible learning beyond display cases
- Sustainability
- Maximize natural light

### ***Middle School Learner Snapshot***

As part of the educational visioning process participants reviewed research on the physical, academic, and social-emotional development of students from grades 5-8 using information from the book *Yardsticks* by Chip Wood. Each table focused on one age group and created a visual highlighting the key traits of that developmental stage. Participants posted the visuals and took a museum walk where they noted the similarities and differences among the four different age levels. The following high-level observations from that visioning serve as part of our overall educational vision:

- The need for flexible space is a common throughline among all 4 grade levels
- Each grade has social-emotional tensions (i.e. – need for independence but also want to be a part of a group; need for stimulation but also desire for quiet or down time)
- Need for acceptance and connections as a common throughline among grade levels
- Developmentally, 5th and 6th graders are more similar and 7th and 8th graders are more similar
- There is a progression of development where the desire for feedback changes; in younger grades, students seek teacher feedback and in older grades it's more about peer-to-peer feedback
- There is a progression in the way students challenge rules – as students get older, they think about what's just and fair

- There is a need for space to move, especially in the younger grades as students use the floor and like to spread out

Participants furthered their learner snapshot by creating a three-column chart (documented below) identifying characteristics of students entering, going through, and leaving middle school. The following questions prompted their discussion:

- What does it look like as students transition into middle school?
- What do we need to keep in mind developmentally? (Physical, cognitive, social-emotional)
- How might these developmental traits inform/shape the design of the building?

	Students Entering MS	Middle Year(s)	Students Leaving MS
<b>Who are they physically, academically, socially-emotionally?</b>	<ul style="list-style-type: none"> <li>• Sixth graders are kids</li> <li>• Guided learning</li> <li>• High energy (2)</li> <li>• Rapidly growing</li> <li>• Developing self-consciousness</li> <li>• Small and immature (3)</li> <li>• Eager to please</li> <li>• Searching for a social group (4)</li> <li>• Nervous, anxious, fragile</li> <li>• Emerging executive functioning</li> <li>• Overwhelmed</li> <li>• Excited and sweet</li> <li>• Prepubescent and young</li> <li>• Elementary foundation skills</li> <li>• Seek teacher/adult interaction and approval (5)</li> <li>• Structured friendships</li> <li>• Structure in academics and expectations (2)</li> <li>• Memorizing facts/logic</li> <li>• Exploration and team activities</li> <li>• Physical growth and need for movement and outdoors</li> </ul>	<ul style="list-style-type: none"> <li>• Seventh graders display a size disparity &amp; development (some young, some mature) (4)</li> <li>• Lack of social awareness (3)</li> <li>• Starting to develop own thinking (2)</li> <li>• Increasing confidence (2)</li> <li>• Formative</li> <li>• Physical (hormones)</li> <li>• Constant changing social groups (3)</li> <li>• Finding their voice and identity (2)</li> <li>• Drama – fighting with social group</li> <li>• Sassy</li> <li>• High energy and fidgety (2)</li> <li>• Hungry and exhausted</li> <li>• Putting boundaries (2)</li> <li>• Interpersonal problems</li> <li>• Intellectual/interest driven</li> <li>• Testing rules and expectations (2)</li> <li>• Big reactions</li> <li>• Influx</li> <li>• Start pulling away from adult interaction (2)</li> </ul>	<ul style="list-style-type: none"> <li>• Eight graders are physically mature (tall, big) (2)</li> <li>• Less physical</li> <li>• DRAMA! (stress about coming year)</li> <li>• Academic independence (3)</li> <li>• 1:1 relationship (dating, friendships)</li> <li>• Social media concerns</li> <li>• Hormonal (2)</li> <li>• Awkward</li> <li>• Sensitive</li> <li>• Understanding of accountability (2)</li> <li>• Gaps widening</li> <li>• Deep dive into interests</li> <li>• Mini adult-ish</li> <li>• Seeking independence from adults but want interaction with them (3)</li> <li>• Peer and social interaction (and approval) is priority (8)</li> <li>• Separation academically (grouped for high school)</li> <li>• Fairness and justice focused</li> </ul>

	Students Entering MS	Middle Year(s)	Students Leaving MS
<p><b>In an ideal setting, how might educators work with and support them?</b></p> <p><b>What might it look like physically, academically, socially-emotionally?</b></p>	<ul style="list-style-type: none"> <li>• Heavily dependent on adults (3)</li> <li>• Rule followers</li> <li>• Structure</li> <li>• Gradual release of responsibility (2)</li> <li>• Staff-monitored (big enough for groups to work in room)</li> <li>• Building designed to meet the needs of a 21st century education</li> <li>• Smaller community</li> <li>• Slow fade into more dynamic thinking</li> <li>• More explicit teaching (norms, expectations, routines – how to do middle school)</li> <li>• More access to counselors – transition</li> <li>• More defined sensory options</li> <li>• Develop healthy communication skills</li> <li>• Crave novelty</li> <li>• Exploratory design, set up for inquiry and discussion (labs, amphitheatres)</li> <li>• Fewer teachers on team – increased adult connection/feedback</li> </ul>	<ul style="list-style-type: none"> <li>• Group work revolving around global issues (3)</li> <li>• More student voice/choice on topics</li> <li>• Passionate</li> <li>• Organized clubs</li> <li>• Fairness</li> <li>• Gradual release to independent group work over year</li> <li>• More responsibility and independence</li> <li>• Homework</li> <li>• Need executive functioning supports</li> <li>• Optional seating spaces</li> <li>• Room for science experiments/sinks/equipment</li> <li>• Increased technological access for learning and variety of presentation options</li> <li>• Develop healthy communication skills</li> <li>• Foster tools for healthy debate</li> <li>• Modeling independence/self-advocacy</li> <li>• Routine/predictability</li> </ul>	<ul style="list-style-type: none"> <li>• More independence (2)</li> <li>• Inquiry based learning</li> <li>• Small group collab/group work/projects (3)</li> <li>• Seating for independence: student-led work spaces, small/large group, breakouts (3)</li> <li>• Digital display board (interactive) in classrooms and hallways</li> <li>• Various dining space options</li> <li>• Less defined sensory options</li> <li>• Develop healthy communication skills</li> <li>• Healthy debates</li> <li>• Opportunities/desire for peer coaching and mentoring</li> </ul>

	Students Entering MS	Middle Year(s)	Students Leaving MS
<b>What might the building need to be like or have to support them?</b>	<ul style="list-style-type: none"> <li>• Wider hallways</li> <li>• Smaller class sizes but bigger rooms to foster movement and calming (2)</li> <li>• Flexible space/furniture/seating (3)</li> <li>• Seating for independent learning; small/large group instruction (2)</li> <li>• More space between lockers</li> <li>• Pod space (team) (2)</li> <li>• Common space</li> <li>• Breakout space</li> <li>• Purposeful organization: designated areas per grade levels, specialists in central space, support staff in central space (2)</li> <li>• Separate auditorium and cafeteria</li> <li>• Tiered seating in auditorium</li> <li>• Multifunctional library with high tech support</li> <li>• More space to get up and work (writable wall spaces, pod spaces, movable walls) (3)</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Kinesthetic learner in mind</li> <li>• Larger spaces to incorporate group work</li> </ul>	<ul style="list-style-type: none"> <li>• Neighborhood Watch approach</li> <li>• One way circulation</li> <li>• Field houses</li> <li>• Auditorium</li> <li>• Science labs</li> <li>• Access to exterior space</li> <li>• Ability to reconfigure classroom and grouping in classroom to provide collaboration (2)</li> <li>• Seating options for various types of instruction</li> <li>• Flex collab between room and corridors</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Ensemble spaces</li> <li>• Distinct learning spaces for each grade</li> <li>• Interactive</li> <li>• Field</li> <li>• Recess</li> <li>• Winter garden/courtyard</li> <li>• Auditorium that opens to courtyard</li> <li>• Spaces (organic) for students to present, debate, discuss</li> </ul>	<ul style="list-style-type: none"> <li>• Stimulation</li> <li>• Worldly</li> <li>• Idea based</li> <li>• Breakout spaces – space to leave room and work in small groups/independently (3)</li> <li>• Robust technology (Smart boards, etc.)</li> <li>• Student desks that can be separate/grouped</li> <li>• Seating options for various types of instruction</li> <li>• Multi-modal learning stations within classrooms</li> <li>• Independent work spaces outside of classroom</li> <li>• Something that encourages leadership</li> <li>• Open spaces</li> <li>• Walking trails</li> <li>• Outdoor design spaces</li> <li>• Outdoor courtyard</li> <li>• Recreation spaces</li> </ul>

## 2. GRADE AND SCHOOL CONFIGURATION

The Canton Public Schools provides educational programs for students in preschool through age 22. As of September 12, 2023, there were 3,323 students enrolled in the Canton Public Schools. Canton operates:

- The Rodman Early Childhood Program for students ages three and four,
- Three elementary schools, kindergarten through grade five,
- One middle school, grades six through eight,
- One high school, grades nine through twelve.
- One post-grad 18-22 program for students who have completed four years of high school but will remain in the Canton Public School system until age 22, as well as non-diploma students.

Students attend the Canton Public Schools elementary schools based on their geographic neighborhoods with some movement between schools based on special education programming. CPS does not participate in School Choice.

The William H. Galvin Middle School sits at the center of the educational system in Canton, accepting students from each of the three elementary schools and preparing the students for entry into Canton High School or another secondary institution. The staff aims to foster social, emotional, and intellectual growth in a safe, inclusive, and academically rigorous environment. The Middle School incorporates programs that meet the needs and explore the potential of each student. It provides teachers and teaching styles that are compatible with intellectual, aesthetic, social, physical, and emotional growth. This work is done in partnership with the Canton community, with a collective effort toward developing students into successful and compassionate citizens who become life-long learners. As such, the School also serves as a nexus of community activities; it is a busy civic center for all of Canton's citizens.

Galvin Middle School currently educates students from grades 6 through 8. The current enrollment of Galvin Middle School is 743 students. Overcrowding is a persistent issue, as there is consistent incremental growth in enrollment in the elementary schools. This pattern of increasing enrollment is persistent throughout the elementary grade levels, as the current first grade enrollment is at 285 students. The overcrowding issue is exacerbated by the fact that the current Galvin Middle School, built in 1972, was designed for a junior high school departmentalized model of education. Overcrowding has been persistent, with every available space in the building used to support programming



whether the space is suited to the program or not. Current best practices, and the current Galvin Middle School model, takes a team-based approach.

As a result of Canton's need for a building that supports the educational plan of the School and this steady increase in the student population, the MSBA has authorized Canton to complete a feasibility study for renovation/expansion or new construction of a Galvin Middle School.

This educational program outlines an educational vision that considers both a 5-8 and 6-8 middle school model. At the core, our educational vision remains the same with either design enrollment, with additional considerations made in a 5-8 model. Our program looks at both models as we believe that the 5-8 option will alleviate overcrowding issues at all three elementary schools in Canton. Each elementary school is at capacity and when a class section or a program needs to be added due to class size or student need, another teacher is displaced and forced to be a traveling teacher. This is usually a health, art or music teacher. Additionally, the Hansen school is our most overcrowded and each summer we have to cap our class sizes and students who register late are assigned to either JFK or Luce. If grade 5 moves to GMS, the three elementary schools will have more room for the increased number of students they have been enrolling and the increased programmatic needs that are becoming a need at the elementary level.

### ***Middle School Team Model***

The use of teams at the middle school is a research-based practice known to have three benefits: the creation of a small school atmosphere within a large school setting while allowing for fluctuations in enrollment, allowing for dedicated common planning time for teachers, and maintaining a structure that allows for the specific needs of middle school groups to be prioritized.

The current Galvin Middle School has an average enrollment of 750 students. This is a significant jump from the 275 student average at the elementary level. Middle schools use the team-based model to help divide a large population into smaller, more personal groupings. In the team model, each grade is divided into interdisciplinary teams that align students with a small group of teachers that can focus on the needs of the students and create a neighborhood school feel for students and families. At GMS, each grade averages 250 students. Those students are divided into three interdisciplinary teams made up of five content teachers (Math, Science, Social Studies, ELA, World Language) and a special educator. This allows each team to work with 80-85 students each year. There are benefits for both students and families in this model. Students are placed in smaller groups that allow for teachers to build strong relationships with students, social emotional learning, and community development while still being able to access the benefits of a larger school

(physical amenities, shared staff, scheduling). Middle School students range in age from 10-14 - an age group that is distinctly different from both elementary and high school. Early “junior high” based models forced recent elementary graduates into a very complex system that many were not ready to navigate. The current teaming philosophy better meets their social, emotional and maturity needs.

The team-based model is also an effective way to ensure that teachers have consistent common planning time. Currently, teachers at GMS have common planning time on three days out of each seven day rotation. This is possible because of the team-based model. The grades and teams are aligned for 5 periods per day, including the 5 core subjects (ELA, Math, Science, Social Studies and World Language), X Block for Response to Intervention, and electives. Grades also have two blocks dedicated for a rotation of technology and engineering, visual and performing arts, physical education, and health classes. Since all the students are aligned in their core classes by team, this “off-team” time occurs simultaneously by grade. This allows every teacher to have one prep period per day. Common planning time at GMS is well used. On a seven-day rotation, teachers have one curriculum planning day, and two team planning days. Our ability to meet the needs of our school population and our school and District goals is supported by this structure.

As mentioned above, the team-based model allows for the specific needs of middle school students to be met and allows for fluctuations in enrollment. Middle School students have different educational and community needs than their elementary and high school counterparts. They are not “junior” or smaller versions of high school students. They are educationally and emotionally different. Middle School students do not require the highly restrictive environment of one teacher and one classroom that is typical in an elementary school. The content they are learning is becoming more specialized, and they are beginning to develop their own interest in particular subjects. The team model in grades five and six allows for this growth in a secure setting. Using a two-teacher team in grade five allows students to transition between two teachers focused more deeply on two content areas, but also maintains the elementary feel of a dedicated teacher to a small group of students. In grade six, students are ready to move between more classes but can be anxious to traverse a large physical area in a short period of time multiple times a day. The five-teacher team in grades 6-8 allow those transitions to occur in a smaller neighborhood, easing anxiety. By the end of eighth grade, students are ready to launch to a greater level of independence and freedom that comes with high school. That growth occurs over four years and requires the safe and familial atmosphere of a team model.

The current team structure of three teams per grade ensures opportunity for students to become a part of the community and have a sense of belonging. As described earlier, this philosophy is based on middle school learner needs and developmental stages. Per the Unit

A educator contract with the Canton Educator Association, our current class size goal is to work toward 60 classroom teachers per 1000 students, or roughly 1 teacher for every 17 students. Using the team-based model allows this increase to occur with no additional staff or space needs in the core subject areas. Fifteen classrooms per grade level for grades 6-8 and 12 classrooms for grade 5 provides appropriate spacing for the student population, even when considering possible enrollment growth.

The team-based model for middle school has been shown through research to be a best practice. It accounts for the specific educational and social emotional needs of middle school aged children, helping them grow from elementary students to high school students. It provides the opportunity for common planning time for teachers and maintains a level of flexibility to account for fluctuations in enrollment. A new GMS would need to maintain the current team model that requires 12 - 15 core academic classes per grade level as detailed above.

### **Proposed**

The ideal middle school design will locate students into grade-level academic neighborhoods each containing three teams. This will allow for efficient transitions and unstructured time and create a small school feel, while still allowing for connectivity and collaboration across grade levels and content areas. Additionally, these academic neighborhoods will allow for flexibility with regards to how teams utilize their neighborhood spaces. Flexibility and collaboration were an important focus during educational visioning sessions and will be further delineated later in this document.

Additionally, through our visioning sessions, we determined that according to our values, our specials classes (Wellness, Art, Music, Theater, Technology & Engineering) are essential for students. As such, we hope to make these classes visible and placed in a centralized location, yet, still adjacent to team neighborhoods in order to allow for centralized spilling and interdisciplinary learning. The goal is for teachers to be close enough to be a part of teams. Students may need to move to some central locations within the building for specials classes (i.e. music) but priority goals identified herein include integrating as many topics, activities, and disciplines within the grade-level academic neighborhoods as possible.

We are continuing to explore scheduling opportunities to increase student exposure and choice when it comes to specials. For example, during visioning conversations academic department leaders discussed the idea of an elective specials model for 7th and 8th grade students, in which students are able to choose their arts and wellness classes based on interest. This would allow students greater choice and voice in their schedule, and better prepare students for increased choices in high school.

Daily collaborative time will be provided to each grade level team of teachers to allow for lesson coordination, professional development, conferencing on the needs of students, and analysis of performance and curriculum data. Space to accommodate the Galvin's Professional Learning Communities model is critical to the School's success.

Students are heterogeneously grouped to maintain high expectations for performance, as well as to allow for role-modeling and scaffolding between students. Our math program for Grade 7 and Grade 8 do have accelerated levels. Many core classes include students who receive specialized instruction and English Language Learners, who are consistently mainstreamed while being provided with support services. Whenever possible, these support services will be housed within the academic neighborhoods, as well. These classes are often co-taught by two teachers and are considered inclusion.

### ***The 5-8 Model & Grade 5 Experience***

If the decision is made to move to a 5-8 grade model at Galvin Middle School, it will provide additional services to grade five students, as well as consolidate special education resources into locations that are specifically designed to meet the needs of students who have required services. Additionally, several areas of the grade five experience will be enhanced by this change. Adding grade five to GMS would add to the grade five students' much-needed "specials" classes such as World Language, Technology and Engineering, Project Lead the Way programming, Art, Music, and other specialties that are part of the Galvin Middle School curriculum offerings. It also allows grade five teachers to collaborate more closely with 6-8 teachers, enhancing the ability of teachers to work on vertical teams to increase student achievement. The 5-8 middle school model would provide a longer grade span of years in the same school, reducing the frequency of transitions for this specific student population, which needs additional support and connectivity with fewer transitions.

The proposed 5-8 model would allow for an easier transition into the middle school model and would allow for a scaffolded approach to increased student independence and agency as they matriculate through middle school. Additionally, this model would provide flexibility in grades five and six. For example, two-teacher teams would be utilized in grade five to minimize transitions and independent movement throughout the building, with students traveling as a static class to specials. In grade six, the five-teacher team model would be introduced for core subjects and specials, while still minimizing interactions outside of the team neighborhood. At each of Canton's elementary schools, the fifth grade students and staff participate in two-teacher teams. This will not change if we adopt a 5-8 model.

In the proposed 5-8 and 6-8 programs, grades 7 and 8 will continue a more traditional middle school model where students transition for all classes and have access to a larger variety of specials courses.

With a 5-8 middle school model, some aspects of the neighborhood elementary schools will change. Grade 4 students become the leaders, and may take on many of the traditional roles and celebrations. The elementary schools would also benefit from more space, while grade five teachers would benefit from more time for collaboration.

### **3. CLASS SIZE and CERTIFICATION CONSIDERATIONS**

#### **Current**

Per the Unit A teacher contract with the Canton Educator Association, our current class size goal is to work toward 60 classroom teachers per 1000 students at the secondary level, or roughly 1 teacher for every 17 students. The current building does not have adequate building space for all classes and programs. At the present time, the Galvin Middle School is at capacity and unable to add additional classrooms or programs due to space constraints. Core subject classes currently average approximately 20 students given that within our teaming model, some math classes in the upper grades are differentiated by level and see a wider range of sizes. Specials classes have a wider range of 20-28 students.

#### **Proposed**

The proposed space template for grades 5-8 includes the appropriate number of classrooms to support core instruction, which includes 5 classrooms per team in grades 6-8 and 2 classrooms per team in grade 5. This allows us to preserve our middle school team model with each grade level 6-8 having three full teams and a potential grade 5 having (6) 2-person teams and access to a variety of courses. At an eventual enrollment projection of 1,070 students, this would translate into approximately 270 students per grade, and 18-22 students per classroom.

#### **Teacher Certification**

Almost one hundred percent of the current 5th and 6th grade teachers have certifications that fall within the following categories, 1-6, 5-12 subject specific, or All Levels. A few of our staff are dual-certified. If the District votes to move forward with a 5-8 model, we would have to review teacher certification with potential fifth grade staff. Additionally, as the District hires additional staff or replaces staff who leave, we will be intentional about the certifications required to meet either the 6-8 or 5-8 model.

#### 4. SCHOOL SCHEDULING METHODS

##### **Current**

The school schedule is revisited annually with the Principal and school-based team. Adjustments are made based upon enrollment, student and programming needs, staffing levels, and contractual agreements around educator preparation and professional development. Starting in Fall 2021, the student day runs between approximately 7:45 a.m. to 2:15 p.m. The Galvin Middle School has an academic schedule that has six 52-minute periods and a 26-minute “X Block”, which allows for Response to Intervention, academic support, and participation in certain elective groups. This block is also used for regularly scheduled social-emotional learning (SEL) and Restorative Justice (RJ) programs and lessons developed and implemented by our teaching staff. Based upon the RTI model, students are assigned to teachers from their core team in this period to receive targeted assistance in Math or ELA when they need additional support, extra practice, clarification, or enrichment. All students have a 25-minute lunch, Art, Music (Band/Chorus/Orchestra/Gen. Music), Wellness, Tech and Engineering, and World Language. Students that do not require RTI receive instruction by a variety of teachers that assist and enrich students in academics, social skills, test preparation, goal setting, student and community leadership, or SEL.

The team-based approach with grade level specials block scheduling allows for teachers to have regular common planning time. This allows for cross-curricular planning, student management, parent meetings, and small group, highly specialized professional development.

##### **Proposed**

The grade five schedule would be based on a two-teacher team model, allowing for longer blocks of time to dig deeper into combined subject areas, engage in project-based learning and retain that developmentally appropriate feel to the students’ school day. The schedule for specialist programs will be aligned with the middle school specialist schedule to allow grade five students to take advantage of any potential advanced or extended learning opportunities that may be available in grades six through eight. This also allows for a greater sharing of resources. World Languages would be added to the grade five schedule to enhance the District’s proficiency-based language model. World Languages are an essential component of a 21st century education, and integral to Canton’s mission to create culturally proficient, global citizens. As such, our World Language Department Coordinator is currently studying how to introduce learning languages at the elementary level. Our intent is that students grades K-5 will have some level of language instruction prior to the

completion of the new Galvin. This means that students in grade five, should the GMS move to a 5-8 model, will arrive having some level of exposure and learning about world languages. Enhancing and extending World Language opportunities for students within the 5-8 model is vitally important to create world-ready students who participate in local, national, and international communities, through acquiring proficiency in multiple languages. By starting earlier in grade five and providing more contact hours in grades 6 and 7, all Canton students will have the opportunity to become eligible for earning the Seal of Biliteracy and becoming truly culturally competent, linguistically proficient, world-ready citizens. The schedule must also include the appropriate staff planning and collaboration time within the established school day. Grade five teachers would also work in the team-based model that allows for daily common planning time.

There will be times when teachers who share the same students will be able to adjust the daily schedule to accommodate project-based and multi-disciplinary instruction that requires longer or shorter periods of instruction. Teaming the same students within common neighborhoods allows for scheduling flexibility for staff. Since students are placed on cross curricular teams, there is flexibility within the “on-team” schedule to do project-based and cross-curricular work.

As we develop our vision, we fully recognize that delivering this educational program within our existing schedule and structures is not always ideal. With that in mind, we are continuing to explore alternatives to traditional definitions of school schedules so our schools become idealized places of deeper teaching and learning. We know we must increase time for teacher collaboration and professional development. Likewise, we must find ways to allow more interdisciplinary opportunities and find ways to balance the exposure to core academic and specials curriculum. We also view the community as a tremendous resource for mentoring our students in our project-based approach.

## **5. SPATIAL, ORGANIZATIONAL, AND FACILITY DEFICIENCIES IMPACT**

The Galvin Middle School is burdened with physical and mechanical deficiencies that affect the social, educational, and psychological well-being of its student population. The dedicated GMS staff work steadily to combat the effects of these deficiencies on a daily basis.

### **Antiquated Program Organization**

Organizationally, Galvin Middle School faces a number of challenges. Originally designed to support departmental school organization, the building does not fit the middle school team structure that the Galvin (and most modern middle schools) currently employs. Team or

“neighborhood” organization of middle schools creates smaller, more personalized learning environments, which foster interdepartmental collaboration and support social-emotional learning. These teams also provide a sense of belonging for students, helping them to foster an identity that unites them with their peers and makes them feel supported and secure. The existing building is not designed to support this teaming structure, and does not provide the neighborhood-based support spaces that make this model truly successful.

### **Substandard Classrooms**

The classrooms at the Galvin Middle School are rife with deficiencies. They are, by and large, undersized, overcrowded, acoustically poor, and lacking ventilation and light (almost half of all classrooms have no windows), creating less-than-desirable teaching and learning conditions. Additionally, an overall lack of classrooms limits the number of electives that can be offered. When trying to build a relevant and cohesive educational program, the outstanding Galvin staff is often hamstrung by a lack of adequate STEAM facilities, which do not have the infrastructure or layout to support the technology and instructional activities typical of a modern STEAM program. The school library space is subdivided into three sections with two of the sections functioning as classrooms. The theater arts program is housed entirely within the school’s cafeteria and the school’s music program lacks adequate storage space and smaller rehearsal spaces. For students and staff, this is their existence for almost eight hours per day. Canton Public Schools wants to do better for their students, staff and families.

### **Lack of Collaborative Workspaces**

Furthermore, as the Galvin Middle School evolves its pedagogy to meet 21st Century Learning criteria, the school has developed STEAM integration, as well as a robust teacher collaboration protocol, and is implementing more project-based, hands-on instruction for deeper learning. The current building layout provides no dedicated spaces for STEAM-integrated work, project-based work, teacher collaboration or student collaboration, which impacts the scheduling of available teaching and meeting spaces.

### **Lack of Connectivity and Transparency**

The solid-wall corridors and presence of interior classrooms with no windows in the school create a disconnection between what is happening inside the classroom and the rest of the school. Not only does the lack of transparency isolate the classrooms, but it makes the hallways feel sterile and institutional, with no vibrancy or connection to the learning happening within the building.

### **Poor Organizational Layout**

The disorienting layout of the school makes security and navigation a challenge. The layout of each of the floors is uneven, meaning that multiple stairwells do not grant access to all



floors of the building. The minimal and uninviting community spaces send an unwelcoming message to students, parents, staff and community members. Due to a lack of sprinklers in the corridors, there is an overall lack of opportunity to showcase student work, which is a critical component of fostering a sense of school stewardship, community and identity. Consistent and safe wayfinding, and bright, welcoming spaces are essential to a student's feeling of safety and security in their school environment.

### **Inadequate Student Support Spaces**

A cornerstone of 21st Century schools is providing students with a support network to help them to be successful. The current Galvin Middle School lacks appropriate spaces for Health Services, Student Services, Special Education and Administration. While Canton has developed strong programs to provide students with the support they need, the lack of dedicated spaces for these programs in the current building has forced these functions to carve out room wherever they can find it which means they are often housed in remote, disconnected parts of the School, lacking accessible, appropriate spaces for meetings, academic support, testing, and counseling.

## **6. TEACHING METHODOLOGY AND STRUCTURE**

The Galvin Middle School is organized into grade-level teams. Each team consists of five core subject teachers (Math, Science, Social Studies, ELA, and World Language) with most teams having a dedicated inclusion special educator. This takes our school of approximately 750 students and distributes them into smaller school environments of 80-90 students each. These smaller, more personalized environments facilitate meaningful relationships between students and teachers and ensure that no students fall through the cracks academically or social-emotionally. Each grade level has three teams and our substantially separate programs are all aligned with a grade level team. Full inclusion for all students is Canton's goal. In the new building, this structure would be retained as it promotes the social and academic well-being of all students, while promoting equity and inclusion. In a 5-8 middle school model, the team structure may be modified to reduce the number of teachers for grade five students in order to be more developmentally appropriate.

### **Teacher Collaboration**

Galvin Middle School has developed a curriculum and instructional approach based heavily on Project-Based Learning. Success within this model relies on robust teacher collaboration in order to implement more project-based, hands-on instruction and to prevent the inadvertent creation of "knowledge silos". The new Galvin will provide one independent Teacher Collaboration space per team to support this protocol. The collaboration spaces will be utilized by all grade level teachers and support staff. Teachers who are not assigned

to a classroom when the school is fully occupied will have an office space within the teacher collaboration room. These spaces will be designed to promote teacher interaction and collaboration with faculty and staff and will include a copier, works surfaces, kitchenette, and other materials and equipment not appropriate to the classroom setting. These spaces will be essential to supporting activities for curriculum planning, small seminar meetings, informal and spontaneous gatherings, conference areas, and collaborative work areas.

### **Student Collaboration**

Student collaboration and project-based learning are foundational concepts to 21st Century learning. Student collaboration areas would create space for gatherings or for activities that would be limited or not possible in the classroom setting. For example, to increase student engagement and create an experiential learning opportunity, the three grade 8 ELA teachers have students perform the roles from the plays they cover in class. However, all such performances are restricted to the classroom space meaning that students from the other teams cannot watch one another perform. In a student collaboration space, small groups could each take a scene, practice and design their portion of the play and have ample space to perform and watch their classmates perform. Likewise, our Civic Action Project display day is when all eighth grade students present the results of their year-long interdisciplinary project aimed at increasing community engagement around sustainability measures. Parents/guardians and local officials are invited to attend but, again, presentations are restricted to classroom spaces. The open layout of the planned student collaboration spaces would be more conducive to the collaborative creation, as well as display of student work than a typical classroom. Additionally, on a daily basis these spaces could be used for small break-out groups, testing, alternative workspaces, and places where students might work 1:1 with a teacher or service provider.

### **Curriculum Delivery**

The following chart outlines the curriculum delivery that is currently in place in Canton for grades 5-8. This will be followed by more detailed descriptions and proposed changes that would be facilitated by the proposed new middle school.

<b>Grade 5</b>	
<b>Core Curriculum</b>	<b>Specials</b>
Literacy (Reading, Writing & Phonics)	Music (1x/week)
Math	Health (1x/week)
Science	Physical Education (1x/week)

Social Studies	Art (1x/week)
	Library/Technology (1x/week)

<b>Grade 6</b>	
<b>Core Courses (meet 6 times per 7 day cycle)</b>	<b>Specials Courses (meets x days per 7 day cycle)</b>
Math	Art (2x)
Social Studies	Wellness (2x)
Writing	Music (band, chorus, orchestra, or general music) (2x full class and 2x band, chorus, orchestra sectionals during X block)
Reading	Physical Education (2x)
Science	Technology & Engineering (2x)
	World Language (Semester French/ Semester Spanish) (2x)

<b>Grade 7</b>	
<b>Core Courses (meet 6 times per 7 day cycle)</b>	<b>Specials Courses (meets x days per 7 day cycle)</b>
Math	Art (2x)
Social Studies	Wellness (2x)
English	Music (band, chorus, orchestra, or music) (3x)
Science	Physical Education (2x)
World Language (Spanish or French)	Technology & Engineering (2x)
	Library/Media (1x)
	Introduction to Theater (1x)

<b>Grade 8</b>	
<b>Core Courses (meet 6 times per 7 day cycle)</b>	<b>Specials Courses (meets x days per 7 day cycle)</b>
Math	Art (2x)
Social Studies	Wellness (2x)
English	Music (band, chorus, orchestra, or general music) (3x)
Science	Physical Education (2x)
World Language (Spanish or French)	Technology & Engineering (2x)
	iDesign (1x)
	Theater Arts Exploration (1x)

Through professional development that has already begun and will continue, we are trying to develop a more project-based, interdisciplinary curriculum and program. The proposed vision for the building would enhance this type of learning for our students. All of the following programming as described would support a project-based curriculum.

Design needs for our core classrooms to support our more progressive approach to education include the following resources which facilitate learning across the curriculum:

- Each classroom would include:
  - A storage closet/cabinets for book storage
  - Movable bookshelves
  - Ample space for flexible seating - tables, standing desks, separate desks and chairs (not attached to one another), learning “nooks” (such as window seats)
  - Multiple in-room charging stations to meet the demands of Canton’s 1:1 technology model

- Adjustable lighting for reading and performance
- Multiple teaching walls with digital display and access to large vertical whiteboards

### **English Language Arts (ELA)**

The Reading and English Language Arts curricula and courses align with the district's vision, mission, and core values, as well as the Massachusetts State Curriculum Frameworks. We work to teach students to use their developing knowledge of the written, viewed, and spoken word to improve as critical thinkers and communicators. Students gain proficiency in identifying and analyzing the textual decisions authors of all genres make that influence voice, tone, and meaning in literary works. They apply these lessons to their own writing and communication as they move through each course. Ultimately, the work fosters an appreciation for literature and exemplary skills in reading, writing, speaking, listening.

Galvin Middle School teachers utilize novels, anthologies, periodicals, eBooks, digital materials, and 1:1 technology for instructional purposes. Text genres include novels and short fiction, drama, poetry, oral tradition, and nonfiction. Teachers assess comprehension through tests and quizzes, project-based learning, text-based open response, narrative, and essay writing.

Literacy standards for writing, grammar, and vocabulary are also directly aligned to the Massachusetts Curriculum Frameworks for ELA and Literacy. ELA teachers plan instruction around common themes, providing students with a strong connection between what they are reading, writing, speaking, and listening about in class and the world in which they live. ELA teachers use common resources, aligned to the new state standards, to develop lessons and assessments that support the theme or unit, including: Prentice Hall Literature textbooks, book clubs (determined by teacher and student interest and need), mobile book carts which support reading choice activities, CommonLit and Newsela as selections, vocabulary from classical roots and text-based vocabulary, Warriner's English Grammar and Composition, First Course, and grade-specific texts.

### **Math**

The Galvin Middle School math department is a collaborative team of highly qualified teachers committed to providing every student with a rigorous mathematical experience. Our standards-based curriculum is grounded in the Massachusetts Department of Elementary and Secondary Education Standards for Mathematics. The math department has made a strong commitment to the integration of technology into our instruction as well as high-quality instructional materials designed to challenge and engage students. Reveal

Math™, a core math program for grades 6-8, provides a truly active classroom experience through a seamless approach to blended print and digital delivery. With purposefully integrated technology and plentiful opportunities for students to explore, collaborate, and reflect, Reveal Math increases both student engagement and students' confidence in their own math abilities. Teachers additionally use IXL, a personalized learning experience for all students. With a comprehensive K-12 curriculum, individualized guidance, and real-time analytics, IXL meets the unique needs of each learner.

Teachers follow curriculum maps for the grade 6 math, grade 7 Pre-Algebra, grade 7 accelerated Pre-Algebra, grade 8 Intro to Algebra, and grade 8 accelerated Algebra 1 courses for common pacing, alignment, and assessments. Advanced Math is only offered in 7th or 8th grade. Students may be placed into advanced math using a point system, based on results from the IXL diagnostic exam, a placement exam, test grades, MCAS results, and teacher evaluation of student independence. Parents/guardians have the option to opt out if desired. Parents/guardians may also request an override if one's child was not selected for the accelerated math program. Approximately 35% of grade 8 students take accelerated math. There will be an additional opportunity for students to enroll in Advanced Math in 9th grade, even if they were not enrolled in 8th grade.

Teachers and students have access to workbooks and online digital resources. Every math classroom is equipped with a projector, and access to the internet for interactive whole class lessons including the Google classroom suite, and Reveal Math programs. All students have been provided Chromebooks for in class and home use.

No major programmatic changes are proposed for the Math program. Galvin Middle School will continue to add opportunities for project-based and blended learning work to increase student-centered learning and move away from teacher-directed.

### **Social Studies (Civics/World History)**

The GMS Social Studies Department uses the Massachusetts' History and Social Science Curriculum Framework as a foundation for our courses. We use a student-centered approach with the goal of helping students become informed, prepared, and proactive citizens. The curriculum emphasizes historical and critical thinking, a focus on developing literacy skills, opportunities for students to make connections to the material they are learning, and exploring different perspectives. The Social Studies Department fosters active, empathetic and global citizens who respect varying human experiences. By studying the complexities of the past and learning to be reflective and critical thinkers, students will be prepared to participate in a democratic society and influence the future.

- Students will understand the importance of different perspectives in building a

strong community.

- Students will understand the relevance of the past and connection to their own individual lives.
- Through strengthening their reading, writing, speaking and listening skills, students will learn to make arguments, discuss and explain conclusions, and use valid reasoning to support their thinking.

Teachers in 6th and 7th grades are currently piloting the new Massachusetts Investigating History curriculum. This curriculum weaves inquiry-based units featuring geography and ancient civilizations throughout a two-year progression. In 8th grade, students study contemporary Civics, culminating in an end-of-year, multidisciplinary Civics project. Primary sources, periodicals, virtual tours, field trips, web-based research, and teacher-created lessons all contribute to the design and implementation of the Social Studies curriculum. Using primary and secondary sources, students engage in critical thinking as well as evidence based writing, continuously improving on their analytical writing skills. In both system- and site-based professional development, teachers share best practice and supplemental resources. Using the middle school team model, the Social Studies department is often integral in the design of interdisciplinary units that connect history to current events, usually with a social justice lens, and provide students the opportunity to process through writing or discussions. Some examples of classroom practices include virtual reality for students to view other places around the world, discussions connecting historical moments with cultural ideas, and collaborative, student-led inquiry to solve problems or create understanding of events and cultures. The goal is to build active and engaged citizens through the English Language Arts and Social Studies curriculum. There are no proposed changes to the current Civics/History program outside of increasing the opportunities for students to engage in project-based learning.

### **Science**

The Galvin Middle School Science, Technology, and Engineering curricula are designed with the notion that active engagement of middle school students with science and engineering practices is critical. Students engage in learning opportunities to experience the dynamic, interdisciplinary nature of science and technology/engineering. Sixth through eighth grade science and technology/engineering courses are structured in a way that instills wonder in students about the world around them through engaging and exciting learning experiences. This includes thoughtful hands-on activities, laboratories, investigations, and design challenges as students navigate through Earth, Life, Physical, and Technology/Engineering concepts. At the same time, active engagement in learning promotes a “growth mindset”

that allows students to feel they can access content and develop skills, and thus succeed in STE.

All units are written to engage students in the current science content and science practices standards. Each grade level uses a variety of digital and printed text resources to support experiential learning. Pairs and small groups of students engage in scientific practices through hands-on activities, collaborative projects, simulations, design challenges, and science inquiry. The use of video clips, online demonstrations, and media-rich presentations, as well as hands on data collection, dominate the student experience. Science can be connected to all other disciplines and programs at the GMS.

All the larger Science (STE) rooms are designated grade level classrooms that would be used in the same manner as the smaller grade 5/6 rooms. The benefit of having 3 Science labs per grade level would allow for all grade 6, 7 and 8 students to have the appropriate space for hands-on Science labs and experiments. In grade five, the grade 5 teachers would use common planning time to outline the Science pacing and plan, allowing classes to “swap spaces” as needed in order for students to use the lab facilities for those Science classes that need a larger space and access to a sink. At grade five, Science is daily but involves less intense lab activities than grade 6 through 8 where lab space is needed several times per week. As Galvin Middle School expands its implementation of Project Lead the Way, these spaces would also receive higher utilization for these hands-on project-based activities.

### **World Languages**

The study of world languages provides us with a greater understanding of ourselves, others, our community, and the world. The ability to communicate in another language is an asset for all students. Our proficiency-focused world languages program is guided by the principles of the 2021 Massachusetts World Languages Curriculum Framework, the 2017 NCSSFL-ACTFL Can-Do Statements, and the 2012 ACTFL Proficiency Guidelines. In our world languages courses, students develop cultural competence and communicative proficiency in the interpretive, interpersonal, and presentational modes. Students are provided with comprehensible input and learn strategies to become effective listeners, readers, writers, and speakers. All World Languages courses are taught in the target languages and integrate authentic and adapted cultural resources that are organized around unit themes. Students set personalized language goals and demonstrate their knowledge, skills, and understanding through real-world performance tasks appropriate for the unit and course proficiency targets.

Students are expected to use the target language during class for a variety of functions, such as: making requests, asking for help, giving opinions, and comparing cultural products,



perspectives, and/or practices. Communicative tasks focus on using the target language for a specific purpose and in a culturally-appropriate context. Some examples of performance tasks include engaging in conversations to share opinions, conducting oral presentations for an intended audience, reading infographics to make informed decisions, identifying key information from videos and podcasts to convey information, and writing emails to introduce oneself. Student progress toward proficiency is evaluated through real-world language and cultural tasks like those on the proficiency-based ACTFL AAPPL Examination. Student performance is evaluated with rubrics.

World languages classes meet every day for our seventh and eighth grade students and two out of seven days/cycle for our sixth graders. Currently, French and Spanish are offered at the school, but additional languages may be added. World Languages students use the language for daily interactions in class, experience cultures first hand, and are encouraged to use their knowledge of language and cultures beyond the classroom walls. Students are encouraged to become proficient in their home/heritage language and the languages taught and take the AAPPL examination as a way of working toward the MA State Seal of Biliteracy. All world languages courses have their own ACTFL AAPPL course proficiency targets, which serve as the year-end goals for students. Students regularly self-assess and reflect on their progress toward proficiency to ensure that they are prepared to meet unit and course goals.

Students who study world languages in grades 6-12, explore topics in integrated thematic units. The units differ in complexity, depending on the course and targeted proficiency level.

World languages week is an important activity that takes place each March. Visitors provide cultural programming to classes and to all world languages students. Currently, the library is used for Latin and African dance, African drumming, and other activities. The cafeteria and the gym have been used for cultural assemblies and large-scale events.

World languages teachers teach multiple levels, grades, and languages currently, but may be language, grade and team specific in the new school. World languages teachers should form part of the grade level team and be able to have schedules and spaces that allow them to fully participate with ONE grade level team as opposed to multiple grade level teams.

Galvin Middle School would like to enhance and extend World Language opportunities for our students by including grade five. Including grade five students in the World Languages program within the 5-8 model would facilitate the development of world-ready students who participate at local, national and international levels. Starting earlier in grade five allows all GMS students to have the opportunity to study a world language. become eligible

not only for earning the Seal of Biliteracy but also for truly becoming culturally competent, linguistically proficient, world-ready citizens. The Canton Public Schools is committed to exposing students to world languages earlier and anticipate that this will be achieved in the coming years prior to the opening of a new GMS.

The World Languages Department strives to build curious, compassionate, confident, and autonomous learners who demonstrate a high level of communicative proficiency in at least one language other than English because knowing and using another language builds cultural understanding, empathy, joy, and knowledge about oneself, others, and the world.

The study of world languages at the Galvin Middle School offers students at all levels of proficiency access to rigorous, reflective, responsive, and relevant standards-aligned learning experiences with the necessary support. In world languages classes, students use the target language to:

- communicate with speakers/signers of the target language;
- explore and celebrate the products, practices, and perspectives of multiple cultures;
- compare their own languages and cultures with those of the target communities;
- expand their academic knowledge of other disciplines;
- act to promote equity, global awareness, and multicultural understanding;
- serve, work, and lead in their academic, local, and global communities; and
- become lifelong learners

The World Languages Curriculum Review, which was presented to Canton School Committee on May 11, 2023, highlighted the need for a dedicated language laboratory at GMS that will allow students to practice speaking regularly so that they can build confidence and proficiency in the target language. The space would also be needed to administer quality world languages regular speaking assessments and standardized assessments, such as the AAPPL and STAMP examinations, to prepare students to achieve high levels of language proficiency to qualify heritage language, multi language learners, and district world language learners students for the Massachusetts State Seal of Biliteracy.

## **Proposed**

Currently, the Galvin Middle School has only three traditional classroom spaces dedicated solely to World Languages instruction. A fourth space has been created within the larger library space, and there are four additional classrooms where World Languages teachers travel to classrooms with other primary uses. Based on current usage rates, the new school should include 6 classrooms dedicated to use by World Languages teachers based on our middle school teaming philosophy, an enhanced World Languages experience for both grades five and six.

World Language Classrooms Daily Utilization Chart:

309	76.00%	English - 8th, World Language (2)
308	76.00%	Math - 8th, World Language (1), Wellness (1)
310	71.00%	Social Studies - 8th, World Language (1), Wellness (1)
312	76.00%	World Language
313	76.00%	World Language
LIB1	61.00%	World Language
311	78.00%	World Language
208	84.00%	World Language (3), Wellness (3)

Like ELA, math, science, and social studies, world languages classes are core content areas integral to the student experience at the Galvin Middle School. For that reason, students receive world language instruction every day in dedicated and culturally immersive world languages classrooms for the entire school year in grades seven and eight. World languages teachers work with grade level teams and teach the same groups of students that their colleagues in ELA, math, science, and social studies teachers teach. In grade six, we have been able to add World Language as a special, meeting two times in a seven day cycle for every student. Our proposed programming would increase this to daily for grade six students and, if the decision is made to move to a 5-8, our fifth grade would receive World Language instruction as a special. This will allow us to continue the experience of our fifth grade students who will, we anticipate, be receiving World Language instruction at the elementary level in the near future.

As such, and according to our interdisciplinary, team-based approach to teaching and learning, the District requests (6) world language classrooms or 2 per grade level along with a dedicated language lab in a 6-8 middle school model to support our approach of world language as a core academic subject. This dedicated language lab will support programming designed to develop students who receive the Seal of Biliteracy when they graduate from Canton High School.

The design features of the language lab should include the following:

- In a quiet area-used for testing, recording, speaking activities, intercultural field trips, visitors, etc.
- Soundproofing for room
- 30 digital student carrels (glass on front, sound barriers on side)-computers, cameras, Virtuoso software for pairing, recording, groupings, digitizing resources, sending out multiple files to all student stations simultaneously. etc.
- Language lab furniture (comfortable moveable chairs on casters, carrels, etc.)
- White boards. smart board, projector
- Voice amplification system for teachers
- Many outlets throughout for hardwiring lab
- Teacher station on platform overlooking students (teacher should be able to see each student's computer station as they work). Teacher station includes teacher computer, computer camera, printer, doc camera, large desk with storage,
- Separate cabinets for resources and equipment (lab storage)
- Table/work area for pencil sharpener and for other student-facing items like papers, notebooks
- Wall space for student work, posters, etc.

### **Academic Support Programming Spaces**

#### ***Current***

There are only two designated academic support spaces for 12 academic support sections. Many teachers use general education classrooms, storage spaces, and other less desirable spaces for small academic support spaces.

#### ***Proposed***

The proposed spaces would be designed to be an integrated part of the general education teams, and would be accessible by neighborhood. In addition to being used for academic support, these spaces can be used for small group testing, break-out groups for projects, and many other integrated opportunities with general education classes.

### **Student Guidance and Support Services**

Space for guidance will be located in a central part of the building adjacent to the main administrative office for easy access, however, to provide more hands-on and interactive relationships between administration/guidance and the student population, GMS is looking to distribute a portion of the guidance and administrative offices throughout the physical school space. This would be an essential component to create a strong school community within a large space. Students are heterogeneously grouped, except for grades 7 and 8 math, to maintain high expectations for performance, as well as to allow for role-modeling and scaffolding between students. Many core classes include Special Education students and English Language Learners, who are consistently mainstreamed, while being provided with support services. Whenever possible, these support services will be housed within the academic neighborhoods, as well. These classes are often co-taught by two teachers and are considered inclusion.

### **Multilingual Learners**

Multilingual Learners (MLL) are students who are not proficient in speaking English and are developing skills in order to better access the current curriculum. This is done through consultation with teachers, as well as both a push in and pull out model of instruction. Teachers identify possible MLLs based on home language surveys. The WIDA Screener is given to students who speak and understand a language or languages other than English. Qualified students receive comprehensive English language development instruction in all language domains: listening, speaking, reading, and writing. Students at all levels of English proficiency receive instruction that is rooted in researched based methods and uses a variety of resources. Students are given many and varied opportunities to hear, speak, read, and write English.

The goal for all students in our MLL Program is for all students to be scheduled in a manner that will allow them to progress with their peers and eventually test out of the Multilingual Learner Program.

At the high school level, students have to earn a Proficient rating on ELA MCAS in order to earn the Seal of Biliteracy. We choose their programming to support their English instruction in order for them to earn that proficient rating. EL students have the option to test for the Seal in their home language as early as 9th grade. They have 4 years to repeat the test to demonstrate an Intermediate High or higher rating in the 4 tested domains for the Seal. Students have the opportunity to demonstrate their proficiency through a portfolio if their home language is not a tested language. The State Seal of Biliteracy is an award provided by state approved districts that recognizes high school graduates who attain high functional and academic levels of proficiency in English and a world language in recognition of having studied and attained proficiency in two or more languages by high

school graduation. Our vision is to help students recognize the value of their academic success and see the tangible benefits of being bilingual.

### Proposed

In recent years, our population of English Language Learners has continued to grow, mirroring trends many districts have experienced throughout the country. The table below illustrates this growth across our district from last year to the start of this year.

Galvin Middle School: Caseload at a "glance"

MLL 2022-2023	Newcomers (1s and 2s)	ELWDS (EL students with disabilities)	SSPs*	total
	4	4	11	19
MLL 2023-2024				
	14	6	9	27

Hansen

MLL 2022-2023	Newcomers (1s and 2s)	ELWDS	SSPs	total
	3	1	2	21
MLL 2023-2024				
	6	1	5	23

JFK

MLL 2022-2023	Newcomers (1s and 2s)	ELWDS	SSPs	total
	7	2	1	28
MLL 2023-2024				
	4	2	4	24

Luce

MLL 2022-2023	Newcomers (1s and 2s)	ELWDS	SSPs	total
	9		4	37
MLL 2023-2024				
	9		11	42

In an effort to remain efficient in our building design yet still plan ahead with current trends, we propose a total of (2) half-sized classroom spaces to accommodate MLL instruction. Much like resource rooms, these spaces would support teachers providing pull out instruction. Likewise, as we continue to push in and support students on-team, we will utilize the small group collaboration spaces within each team for additional support space.

Design changes needed in a new Galvin Middle School to support and enhance this programming include the following:

- (2) half-sized classrooms; rooms should be adjacent to each other with the ability to open up into one larger classroom to support fluctuating MLL enrollments and needs over the years
- Adjustable lighting,

- Flexible seating to allow for individualized learning and collaboration,
- Technology and space for small groups, 1:1 and station work,
- Easy access to whiteboards in a variety of areas to support instruction,
- Access to the Performance Technology Studio space to allow for presentations, as well as provide opportunities for spoken language in a dramatic and engaging manner for our English Language Learners.

## **7. TEACHER PLANNING AND COLLABORATION**

Through the use of a team-based model, Galvin Middle School is able to provide every teacher in the building at least one non-teaching block per day. Every teacher has a daily prep period, with three periods per 7 day cycle designated for collaborative meetings. Team teachers have designated common planning time (CPT) twice per 7 day cycle. For each seven-day cycle they have one curriculum-based meeting with department colleagues, and two team-based meetings. Specials teachers have two designated common planning meetings per week - both with department colleagues. This model allows for collaborative approaches to learning, as teachers have weekly time to develop and modify instruction, continuous professional development on topics connected to the school improvement plan, as well as designated time to look at students data, discuss at-risk students, and create action plans. Vertical planning occurs twice per month on designated faculty meeting days, as well as on department dedicated half-days throughout the school year. These time periods allow for grades 6-8 (and at times grades 6-12) to create vertical units of study, as well as allow for larger cross-curricular planning. Currently, there are no designated teacher planning spaces at Galvin Middle School. CPT meetings take place in unused classrooms, areas of the library, and anywhere else teachers can find a space.

The grade five schedule would also use a team approach in order to provide daily common planning time. Grade five teachers would develop a similar CPT schedule to the 6-8 model currently in place.

There would be a need to create designated planning spaces for teachers in a new Galvin Middle School. Each grade level will be housed in an academic neighborhood, providing opportunities for students and staff to work in a horizontal and vertical interdisciplinary manner that fully integrates Special Education and project-based learning. The teams would also incorporate co-teaching sub-teams, particularly across the Math/Science disciplines and the ELA/Social Studies disciplines. This should include the creation of team collaboration areas within the grade-level academic neighborhoods. Each grade level



neighborhood and its included teams should include the full integration of Special Education through the incorporation of SPED classrooms and English Language Learner support services. The goal is to integrate these services into the neighborhoods as much as possible, while remaining mindful of the fact that some of these services (i.e., severe special needs) may require balancing the distance between two grade level neighborhoods. Integrating Special Education services into the neighborhoods will allow the Special Education teachers to become part of a co-teaching solution, and to work collaboratively with the other teachers and teams in the neighborhood.

The grade five neighborhood should be similar to the grade 6, 7, and 8 neighborhoods, as keeping all academic neighborhoods as flexible and interchangeable as possible will allow for variations and flexibility in future use. However, the grade five neighborhoods should recognize the need for further subdivision into two-teacher teams to reduce transitions.

### **Instructional Coaching**

The GMS instructional coaching program is designed to provide individual coaching to teachers, including modeling lessons and practicing key features of lessons with teachers. The instructional coach also supports PLC meetings (grade level-department meetings of 4 - 5 adults). Additionally, the instructional coach plans professional development meetings for the whole staff. The goal of the instructional coaching program is to help teachers improve their practice, so that students are more engaged and invested in learning. The instructional coaching program supports all departments and grade levels, including core academics, specials classes, and special education.

The instructional coaching office should feel warm, accessible, and personable. Teachers may stop by for a quick question, snack/coffee break, or a longer meeting. The office should also feel somewhat private - teachers can feel comfortable expressing concerns, problem-solving, and practicing teaching. Additionally, the office should feel quiet (not next to hubs of loud student traffic such as gym, cafeteria, etc.)

Design needs for the Instructional Coaching program include a large office used to hold both individual and small group meetings with educators, and model lessons. The office should be soundproof or sound dampening to increase educator privacy during conversations and include:

- Big external facing windows.
- Adequate space for desk, bookshelf, filing cabinet, comfortable chairs or couch, and larger meeting table.

- Central location in close proximity to teacher meeting and co-working spaces.
- Door can be easily propped open for educators to pop in.
- Separate from administrative and guidance offices.
- Small sink for coffee area.

## 8. LUNCH PROGRAMS AND DINING

### Current

The Galvin Middle School offers three lunch blocks during a typical school day. Currently, all students eat in one large cafeteria with grades 6, 7, and 8 rotating their lunch time every 60 school days. First lunch begins at 11:04 am, second lunch begins at 11:32 am, and third lunch starts at noon, with all lunches over by 12:25 pm. The Galvin Middle School coordinates the overall normal day schedule into six periods. Each day typically includes four academic offerings and two specials offerings. Each day there is a dropped block which means that on some days students will have one fewer core course or one fewer special block. This approach allows one twenty-five-minute period for lunch, including the travel time needed for a student to get to the cafeteria from their classroom or learning space. There is time built into the schedule after each lunch block for students to proceed to their next class. When possible, 3 to 4 tables are selected to eat outside if they wish. The close proximity of the fields allow students to walk, play games, and get fresh air during their lunch period. This short break has increased students' attention and productivity after lunch. Dining staff and Administrative staff associated with supervision are constrained by the cafeteria schedule from 11:04 am to 12:25 pm daily.

### Proposed

The proposed Galvin Middle School will provide a dining space large enough to accommodate the entire student population in two seatings (although, operationally, the District is considering accommodating the student population in two waves – four seatings). This vision is consistent with MSBA guidelines for middle school cafeterias, allows for maximal flexibility and seating capacity in an event setting, and creates more manageable student sizes in the cafeteria at any one moment. In this concept, two grade levels would be in the first wave. While one grade level eats in the cafeteria, the other grade would go to recess. Each grade level would then switch before the second wave with the other two grade levels begins.

Ideally, the seating areas and furnishings of the cafeteria would be consistent with that of academic spaces, allowing the large space to be zoned to support different experiences that

differ in their furniture (height, group size, softness/hardness), acoustic properties, and scale. One acoustically separate but visually connected dining space should be carved out of the allotted dining square footage. This space will provide a quieter environment, suitable for smaller groups, students with sensory issues or experiencing recent trauma, or simply students wanting a quieter environment. More and more research suggests that the lunch period can produce high levels of anxiety in many middle school students, so zoning the seating area in this way could help reduce those anxiety levels. All areas, including the acoustically separate space, should be easy to supervise by adults but different enough to provide students a choice for which environment best serves their needs.

With lunch consuming smaller windows of time in the daily schedule, the cafeteria spaces will be available for many other uses, such as peer tutoring sessions, team meetings, small group or grade level assemblies and cultural events. Audio and video conferencing capabilities with movable chairs and tables would allow the School to take full advantage of the square footage usually unused in many schools for long periods of the day. This space could also be capitalized on for many after school activities such as clubs and an area to work in while waiting for the late bus.

Ideally, the dining area would be located next to an adjacent outdoor space for eating during the warmer weather. This would benefit the students by allowing for outdoor time, increasing ventilation, and optimizing the space for other activities while creating more room for eating without increasing the size of the physical building. Easy and safe access to an outdoor play or garden area would benefit students and staff and would be needed to maintain the potential recess time being considered as part of the lunch schedule.

Student-grown foods, supported by both the educational program as well as the community, could be integrated into lesson plans and the school lunch programs. The gardens could be integrated into the desired requirement for outdoor learning and indoor/outdoor connections and could become an integral part of the exterior site design. This immediate source of food production would serve to strengthen the link between healthy fresh food production and consumption in support of the School Wellness Policy. It could also provide an added opportunity for community, business, and neighborhood connections.

## **9. TECHNOLOGY PROGRAM & LIBRARY MEDIA**

Canton has also established a strong technology program, with the vision of creating a technology-rich teaching and learning environment that encourages collaboration, communication, innovation, and achieves academic and professional proficiency for all students and teachers respectively. All students are provided with District-issued

Chromebooks with access to the internet, the TestNav testing app, and G-Suite programs including Google Classroom, Mail, Docs, Slides, and Sheets. Students also have District-provided access to online curricular programs such as Reveal Math, research databases through Ebscohost, and curricular resources such as Newsela, Edulastic, Edpuzzle, and Canva. Teachers, administrators, and related services providers are also equipped with district-issued laptops with wireless internet access and G-Suite programs. The Canton school district also hopes to provide all educational assistants with laptops in the future to support classroom instruction, staff communication, and professional development. All classrooms also have instructional technologies including fixed projectors, speaker systems, and sound systems for multimedia displays. Some classrooms also have printers for teacher use. Teams with students who are hard of hearing also have classroom FM systems to enhance teacher voice projection, based on needs described in student IEPs. The Canton technology program aims to enable students and teachers to use technology to:

- Enhance teaching and learning to meet the learning needs and styles of all students
- Engage in learning anytime, anyplace
- Procure, research, organize and share information
- Think critically and solve problems
- Innovate and create new ideas
- Express themselves effectively and creatively
- Collaborate with other students and teachers anywhere in the world

This program is further supported by the Strategic Plan, which aspires to build a technology ecosystem that is equitable, collaborative, always-on and available everywhere.

## **Library & Media**

### **Current**

The GMS Library program aligns with the DESE Rubric for Evaluating School Librarians. Grade 7 grade students participate in a research skills course aligned with the MA English Language Arts and Literacy frameworks, as well as the MA Digital Literacy and Computer Science Frameworks. This course introduces students to tools and concepts that will support them in their other academic classes. Topics covered in the research skills class include using the library catalog system, understanding and processing informational texts, database usage, website evaluation, citations, and avoiding plagiarism.

The GMS Library provides equitable access to resources and informational technology for instructional and recreational use. The GMS library currently houses an expansive collection of both fiction and nonfiction print materials, with 8,768 unique titles and 12,248 total books. All students have access to all levels and genres of books. Over the last five years (excluding the remote COVID year), students checked out an average of 3,809 books per year. The library program also provides access to online middle school research resources, including GALE databases for nonfiction research and Noodle Tools research management program supporting critical thinking.

Throughout all three grade levels, students are welcome. However, with the space being used to house two classrooms and our library media course, students have been vocal about having added access to books “in the moment”.

The library supports a multitude of academic programs, including:

- The GMS Marathon Monday schoolwide reading initiative. All students across the school participate in 20 minutes of silent, sustained independent reading (SSR) weekly on Mondays. Students check out books of their choice from the library during their ELA classes or during X block. All students have a goal of reading 26 books throughout the school year.
- 6th grade teachers bring classes to the library for book checkouts and research projects.
- An annual school-wide book fair provides an opportunity for all students to purchase age-appropriate books; this book fair also generates money to supplement the library budget and expand the student library catalog.
- Teachers co-plan and co-teach classes which provide opportunities for cross-grade and cross-team collaboration and public products within Project Based Learning units (e.g. all three English classes meet in the same space).
- Special educators provide small group and individualized instruction to students with disabilities in the library. Special educators and related service providers also use the library testing office for special education testing, conducting IEP meetings with families, and providing individual instruction to students.
- Math Buddies intervention program meets in the main library space 2 times per week. 100 students across all three grades and teams participate to provide peer tutoring between 8th and 7th grade students, and 7th and 6th grade students.
- Grade-level team meetings occur in the main library space on a quarterly basis to

facilitate the development of school community and positive school culture.

- Student and staff lunch groups meet in the library, providing a quieter alternative community space to the busy cafeteria and crowded teacher workroom.
- Monthly faculty meetings and monthly faculty PD are held in the library; this is currently the only academic space large enough in the school to host approximately 106 educators.
- World languages week activities (dance, drumming, presentations) occur in the library with the movement of flexible furniture to clear space for large groups of students.
- World Languages competency testing.
- MCAS testing for small groups, individual testing, and extended time testing occur in the library.

Due to limited space and schedule constraints in the current GMS, in 2023-2024, five daily sections of World Language classes, two daily sections of Health Classes and one daily section of Research Skills are housed in the library. These classes are sometimes scheduled concurrently in different sections of the library, limiting ELA, team, and cross-curricular access to the library, as well as limiting student access to library checkouts.

The library also supports a several extracurricular and community programs before, during, and after school, including:

- After school clubs such as Newspaper Club and Mural Club occur in the library.
- The library provides a late bus meeting place.
- Student-school committee meetings provide an opportunity for small groups of students to share feedback on school climate and culture with district administration.
- CAPT meetings (parent-school committee) occur in the library.
- Community events occur in the library on afternoons, nights, and weekends.

### **Proposed**

As part of the visioning process, members of Canton Public Schools toured a number of recently built learning environments to see educational best practices in action. One tour was to the Lester J. Gates Middle School in Scituate, MA where the educational model includes a decentralized library to boost interdisciplinary, project-based learning.

At Gates the “library experience” is no longer a destination but instead a regular part of the day-to-day academic function. Media commons with book stacks and “zones” for presentation skills development are distributed among each team, not centralized as in a conventional library. This layout intentionally provides tools and resources at hand’s reach to teachers and students rather than at a single destination.

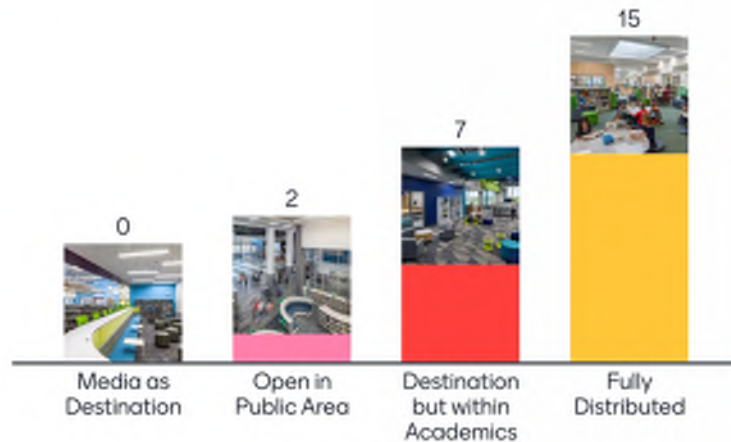
During visioning members of Canton Public Schools also toured the recently built Chapman Middle School in Weymouth, MA where teams surround a centralized commons area designed to support project-based learning. At Chapman, these areas also include sinks, storage, drop down electrical outlets, and flexible furniture with durable tops for STEAM-based activities.

With these precedent learning environments in mind, we continued to explore various academic organizations and contemporary design patterns throughout the visioning process in order to unpack our vision. Specifically, during Visioning Session 4 focused on building adjacencies and design features we considered the following questions to refine our thinking:

- What program spaces make up a GMS learning community / team pod?
- How might programs like art, media, world language, etc. be embedded within teams to support more experiential spilling or interdisciplinary learning?
- What program spaces might be on the edge/entry of the learning community?
- How can media space(s) and resources best be organized to further support the implementation of deeper learning and project-based experiences?

In Visioning Session 4, we were also shown a spectrum of media experiences from a traditional destination library model to a fully disbursed model like at the Gates MS in Scituate. Participants voted on their top choice, and 63% chose a fully distributed model (as seen in the visioning polling below).

## Media Vision



Given the robust usage of our current media program, we look to expand media's reach by placing resources and media staff as close to students and teachers as possible, truly making media, literacy, and STEAM the circulation system that brings life to our school. Our proposed vision also includes varied working spaces including collaboration spaces, a multi-use cafeteria space, meeting rooms, teacher collaboration spaces, and direct access to books in the team spaces, which would meet the needs the current GMS library currently fulfills due to a lack of alternative options.

The media experience at a future Galvin Middle School combines the educational models and design features of Gates and Chapman with our own goals of fostering deeper teaching and learning, student voice, adjacency, and interdisciplinary, project-based collaboration. In our vision, the majority of our allowable media center square footage will be disbursed into satellite Project-Based Media Commons within each team learning community. This space, within the circulation zone of each learning community, will serve as the connective tissue for each team and among the teams. The space will include movable book stacks, varied breakout/collaboration spaces, a presentation zone, niches and alcoves for one-on-one collaboration, pin-up space, display for works in progress, and design features to support making. The Media and Project Commons would support the full team meetings and multi-class collaborations that currently happen in the library because no other spaces exist.



In addition to the disbursed media commons in each team area, the District envisions using the remainder of allocated media square footage to create a large flex-media space to support a number of different media and academic uses, including but not limited to:

- Small school assemblies
- Multi-grade collaboration (peer/mentor buddy program)
- Math buddies intervention program
- Foreign Language Week
- Book Fair
- Professional development
- Additional conference space
- Additional space for alternative dining and lunch peer groups for Guidance
- Gallery/display space for exhibitions of learning
- CAPT meetings (parent-school committee)
- After school clubs

In a way, we have already begun making steps to disbursing our media experience. To support the GMS Marathon Monday schoolwide reading initiative, we have purchased portable book stacks filled with high interest texts and have located them within the hallway of each team area throughout the school. Additionally, classroom teachers have extensive collections of classroom libraries from which students select books in their free time. Our vision is that a dispersed media experience will further this work already in place so that students are immersed in texts and learning throughout the building and that this model will increase readership even more.

## **10. PERFORMING ARTS**

### **Music**

The current Galvin Middle School Music model includes Band, Chorus, Orchestra, and General Music classes. Students can elect to be in Band, Chorus, or Orchestra (strings). All students who do not elect a performing ensemble will be automatically enrolled in general music. Those students in Band, Chorus and Orchestra also take general music.

All classes align with the 2019 Massachusetts Arts Curriculum Frameworks (Create, Perform, Respond, Connect). The three year program includes music as a vital component of each student's education, while providing an environment for students with various strengths and learning styles.

Through the General Music curriculum, students are given the opportunity to create music and to refine and rework their compositions in collaborative groups. After interpretation and analysis, students then present their work to their peers. Throughout their musical studies, students build a language to respond to musical examples and performances, identifying meaning and intent. Students also connect their musical knowledge to their personal life, historical events, culture, as well as other classes they take throughout the day. Students in 6th grade develop proper technique in xylophone, ukulele, and voice. In 7th grade, students will continue to use and build their skills on ukuleles and guitars. Students also continue to develop their composition skills and their knowledge of music theory and notation via a variety of assignments using the notation software FlatIO. Students study world music drumming, keyboards, and the Blues. In 8th grade, students will continue to build on the percussion skills that they learned in 7th grade through bucket drumming including keeping time, rhythmic patterns, and drumming tones. They will also experiment with electronic music through composition and musical software using a software program called Soundtrap. Students also continue playing guitar/ukulele, keyboard and drums. Four teachers provide general music education, and classes range in size from 20-30 students.

Performing Ensembles provide another opportunity for students to expand their performing skills through singing and instrument playing with their classmates. Students are introduced to a wide variety of music styles and genres, as well as advanced instruction in music literacy, interpretation, rehearsal techniques, and performance etiquette. GMS provides multiple performance opportunities throughout the year for the members of the band, chorus, and orchestra (strings). Band students play flute, clarinet, bass clarinet, saxophone, oboe, bassoon, trumpet, trombone, euphonium, and tuba, or percussion instruments. Orchestra students play violin, viola, cello, or bass. Chorus members sing in Soprano, Alto, and often tenor/Baritone voice parts. The band and orchestra curricula include instrument specific technique, score reading, audiation, and basic music theory, while the Chorus curriculum includes vocal technique, score reading, audiation, and basic solfege for sight reading. Band, orchestra, and chorus rehearses twice each seven-day cycle. In addition to the full ensemble rehearsal, students attend small group lessons called "sectionals". There are 3 performing ensemble teachers (band, orchestra, and chorus), and rehearsals by grade level may exceed 50 students. Each of these teachers has their own classroom that is also used as a rehearsal space.

In addition to performing ensembles, students have the opportunity to participate in afterschool activities. GMS offers jazz band, wind ensemble, and chamber orchestra for students enrolled in daytime performing ensembles. Students in performing ensembles also have the option to participate in after school lessons on site with contracted studio teachers. Appropriate and adequate space for both curricular and extracurricular music programs are a necessity.

**Proposed**

Given our analysis of the current usage rate of these spaces (chart below), it is likely that adding a 5th grade music program will not require an additional room.

Room	Usage Rate	
220	63.00%	Band/General Music
219	73.00%	Chorus//General Music
221	61.00%	Orchestra//General Music

Design needs for the music program include the following:

- All music rooms should be removed from other parts of the building and have adequate soundproofing.
- All rooms should be large enough to accommodate upwards of 50 students and instruments (band and orchestra) or 80 students on risers (chorus), and ample instrument storage.
- Each room should have extra wide doors for ease of moving equipment.
- Each room should be attached to 3-4 practice rooms with windows for visibility.
- Rooms should have direct access to the auditorium for ease of moving equipment.
- Rooms should be on the first floor with outdoor access for ease of sharing instruments throughout the district.
- Music classrooms should be in close proximity to one another.
- Auditorium, to be used as a shared space with the drama program, for band, orchestra, and choral performances.
- Faucets and sinks to clean the instruments

## **Drama**

### **Current**

The GMS Drama Department follows the Massachusetts Curriculum framework to provide performing arts education in grades 7 and 8. In grade 7, all students take an Introduction to Theatre course, in which students are introduced to acting and the theatre arts. This fast-paced, dynamic class allows students to gain experience in public speaking, creative expression, and collaborative problem solving. Performing subjects include improvisation, drama games, and scene work. In grade 8, all students take a Theater Arts Exploration course. Students continue to learn Acting and Technical Theatre including exploring play study, scene work, and aspects of Technical Theatre such as Costume Design, Hair & Makeup, Set Construction, Sound & Lighting, and Prop Making. By the end of this course students develop greater self-confidence, empathy, and a strong sense of community with their classmates. The drama program also provides a vital opportunity for the development of students' 21st century skills, including communication, collaboration, creativity, and critical thinking. Students also develop social emotional learning skills through the drama program, including self-awareness and social awareness, through drama games and role playing.

All students are encouraged to audition for the GMS musical, which occurs after school. Auditions are in November and rehearsals run through January and February with the show opening in March. All students who audition are included in the show!

Currently at GMS there is inadequate space for the drama program. Drama classes occur in the cafetorium (a combined cafeteria-auditorium space), and classes may occur during grade-level lunches, separated only by a curtain, causing students in class difficulty to hear instructions, take part in games, and perform. In addition, there is inadequate seating for whole-class instruction, and no projector technology available for teacher use. There is also no teacher workspace in the cafetorium. When our school play is in session, the practice occurs in the cafeteria and on the stage while an after-school program for younger students happens simultaneously in the same space. The final production of the play cannot, at this time, occur at the middle school given the large audience it draws which exceeds fire code.

### **Proposed**

A new or renovated Galvin Middle School would include two separate performance spaces – a performance technology studio and an auditorium – to support the robust performing arts and the level of performance-based, exhibitionary experiences that occur in other core academic and special areas. In a 5-8 middle school model, we are considering expanding our performing arts offering to grade 6 as a way of further scaffolding student exposure to

specials and to support the public presentation aspect of the deeper and project based learning experience we are working to provide for students.

### ***The Performance Technology Studio***

The Performance Technology Studio would be the home base of the theater arts teacher and would also be a shared space with several other disciplines, including Technology, ELA, History, World Language, and Fine Arts. For example, the Performance Technology Studio would be used by the ELA department to bring plays and other literary texts to life, while also providing small performance spaces for drama, music and other core and unified arts performances. Currently, each grade level uses two or more performance-based texts each year. Grade 8 studies *A Midsummer Night's Dream*, *The Diary of Anne Frank*, and *Twelve Angry Men* over the course of four weeks. Grade 7 studies *The Monsters are Due on Maple Street* and *A Christmas Carol* over a six-week time period. For both of these units, the Studio could see daily use by three teachers, each teaching four sections. The space could be shared at times or signed out for small class uses such as poetry readings and performance. Additionally, each grade level does a unit on poetry.

The Performance Technology Studio creates utilization potential for up to 6 periods per week for use by teachers from other program areas. Our 1.0 drama teacher currently teaches 24 sections 7th and 8th grade drama over the course of four class periods. The classes currently happen on the stage at the GMS in the cafeteria. When the class meets during the lunch block because of the rotating schedule, the teacher relocates to a different classroom. In the proposed model, this class would extend to grade six, adding two more periods of usage to this space, bringing it to a total of 6 periods out of 7 per day. This space could also allow for use by specials classes, such as Chorus. This space would also be used by the robust Drama program that currently performs one musical each school year.

Design needs for the Performance Technology Studio include:

- Near other performing arts spaces
- Flexible seating for 150-200
- Sound system with sound board, receivers, mics
- Separate tech operator space, accessible from inside space
- Light board with lighting system
- Storage for props etc
- Changing rooms
- Close proximity to restrooms for BOH and FOH

- Dedicated backstage area
- Projector, white board
- Student chairs and chair storage

### ***Auditorium***

The auditorium would be used for the GMS musical performance, as well as a shared space with the GMS Music program. The auditorium would also provide an alternative space to the high school auditorium for performances and events and a key asset for community use. It will also provide a valuable space for grade-level assemblies with students. In particular, it will allow us to invite guest speakers and presenters who would have access to the presentational tools they would need for impactful messaging and performance.

Design needs for the auditorium include:

- Full stage, curtain
- Adequate wing space for ease of sets
- Light system
- Sound system to support 24 mic channels with receivers and full sound board, wireless mics, mic packs, mic stands, overhead mics
- Fly space above stage for full backdrops, with automated fly bars
- Dedicated changing areas, close to bathrooms backstage and FOH
- Costume storage closet
- Dedicated storage space for stands, risers, chairs
- Large Pit area
- Seating for a minimum of 500
- Tech operating booth at front of house
- Air conditioning
- Projector
- Concession area
- Ticketbooth
- Proximity to exterior entrance

- Moveable concert shells for acoustics
- Large wing space
- Projector, Projector screen
- Vestibule
- Space should be community welcoming, accessible, ramps to stage
- No bar in double doors, large doors for access of sets
- Close proximity to loading dock

## 11. VISUAL ARTS

Students in grades 6-8 Visual Arts classes create artwork in our hands-on studio art program while engaging in a variety of art-making experiences through drawing, painting, mixed media, ceramics, and sculpture materials. Our curriculum aligns with the Massachusetts Visual Arts standards and nurtures creative thinking, self-expression, and artistic intent as key components for growth in the visual arts. Students find that our art studios are all inclusive learning spaces where every student can find individual success while learning to work collaboratively with their peers. Our vision for the space is one that is warm, welcoming, creative, collaborative, innovative, flexible lighting/furniture for teaching/students, fostering student ownership of the studio spaces - organized with easy access to materials and student storage. Spaces that make student learning in the arts visible and encourage active learning.

Additionally, model inclusion studio classrooms will have adaptive equipment for students with unique learning styles that support accommodations for OT, PT, SEL, and communication needs which will continue to foster and expand our working relationship with our school's ACCESS and Therapeutic programs.

At GMS, as we continue to build our vision for the future of Visual Arts, we envision more opportunities for students to explore expanded forms of art, from 2D and 3D art to digital art and graphic design. As such, we are looking for art rooms to have enough flexibility and robust technology to support multiple art forms. Though we cannot predict what technology will look like 3-5 years from now, we imagine that within a general art space, our students will also be able to use high powered digital devices (i.e. laptops, iPads, etc.) to create more digital and graphic forms of artistic expression.

Design needs for Visual Arts studios include:

*Art studio classrooms*

- (3) large art studio classrooms with windows, demonstration space/table/area, project tables and stools
  - To support digital/multimedia art, each room should also support the use of digital devices, color printer, scanner, 3D printers, Cricut machines, teacher workstation/desk and projector
  - To support high-powered digital devices for students (strong graphic cards, lots of processing power & RAM, HD/2K/4K monitors) with Adobe Creative Cloud software and networked for teacher supervision
- Ample classroom storage for student work and materials, ample counter space, hanging space for student work and instructional visuals, white board.
- 2-3+ sinks with multiple faucets in every studio classroom
- Teacher desk, color printer, and projector in each classroom.
- Easy access to common supply storage area and kiln room.
- Light blocking blinds to help with projection needs during instruction, and ample access to wall outlets for charging and equipment.
- Cubby area to store student belongings.
- Proper ventilation in all spaces to support kiln, electronics, clay dust, and fumes.
- Centralized project work tables
- Storage for equipment/materials,
- Hanging space for student work and instructional visuals, white board, projection screen, green screen, flat-file storage, counter space for materials/equipment.
- Supply storage area with open storage shelves and movable bins for organizing/transporting materials, large flat-file storage drawers, carts for transporting materials, and a prep/work area.
- Kiln Room with a large kiln and open shelves for drying student work.
- Dedicated display spaces/cases/enclosed bulletin boards throughout school to showcase student work.
- Multiple power outlets around the room and in a drop-down format, teacher workstations (for tools that require separation from students for safety purposes, such as paper cutters for example),



- Outdoor access would be optimal, to allow for environmental art as well as opportunities to use the landscape for potential projects,
- Furniture that is flexible by design with art in mind, including high top tables, stools for students, tables that can tilt and recline for drawing,
- Room for a variety of art-specific equipment like light tables and color printers,
- Design of the Art Rooms should have a studio quality, to emphasize the many career areas that incorporate the visual arts,
- Both the Art Rooms and the School should have multiple display areas for student work. The classroom would benefit from shelves or cases to showcase student models and exemplars. Additional spaces in the school should contain cases and bulletin boards to display student's artwork (both 2D and 3D work). Preferably in areas with high student traffic.

## **12. WELLNESS**

### **Current**

*The Canton Wellness Department will encourage, educate, and motivate our students to make positive daily decisions and develop healthy lifelong habits.*

The Wellness curriculum provides students with the opportunity to develop their physical, mental, and social well being. We provide students with critical learning experiences focused around how to pursue physical well-being, social/emotional learning, mental health, substance use prevention and awareness, human development, stress management, healthy coping skills, nutrition, bullying prevention, advocacy, and transferable life skills. Our program aims to help students develop in 8 unique dimensions of overall wellness in alignment with the SHAPE America National Health and Physical Education Standards. We challenge students to become aware of how their everyday choices impact their overall well-being and the well-being of those around them. Classes are designed to be fun, dynamic, and educational every day. We utilize project-based learning units across all classes, plt4m fitness education, Wayfinder SEL curriculum, and Break Free From Depression. This serves students in their everyday life and choices beyond the walls of class. Project Teammate and Access Health are also connected to Wellness.

Health classes use a project-based learning model and cover several sensitive, but appropriate topics for adolescents in the middle grades. We are hoping for an overall connected space where all things geared toward physical education are in the same area of the building together. We hope to have a fully functional gymnasium that will hold 60-90

or more students at a time to ensure it holds at least 3 physical education classes with storage space and student locker room/restrooms attached. The gymnasium and Wellness spaces are ideally on the first floor with immediate outdoor access for when classes utilize outdoor space. We hope to have a functional fitness and movement education space to facilitate student fitness education in grades 6-8. We also hope to have a space for adapted physical education and health to operate in as well that is independent from the other movement or classroom spaces so that proper equipment and resources can be kept directly in those spaces. Ideally, we would have three classrooms that can be dedicated to health education and that would include the appropriate appliances and set up to support food, cooking and nutrition units. We would greatly benefit from at least 3 health education classrooms to house health education for all students year round in grades 6-8 without the need for any teacher to travel to teach a health class beyond the Wellness classes or area.

### ***Health Room and Physical Education Gymnasium Utilization***

The GMS Wellness curriculum consists of both health and physical education. Our wide range of academic and active instruction requires staff to use gym and classroom space, or sometimes a combination of the two based on activities and curriculum.

Every student at the Galvin takes 2 days of health (a blend of movement- and academic-based activities) and 2 days of physical education in a seven day cycle for the full year. This translates to 12 sections of health and 12 sections of physical education for each grade level (6-8), which equates to at least two health classes and two physical education classes happening simultaneously. Given our schedule, there are also a few times when three of each course may be occurring at once. If fifth grade is added, at least three spaces for each will be needed to accommodate the additional grade receiving instruction at the same time as grades 6-8.

### **Proposed**

For the proposed Galvin Middle School building, several areas of the facility design are at the forefront of curriculum development and instruction in the Wellness Department:

- The Wellness Department needs physical movement space like a gymnasium or physical fitness space for 3 or more classes of 60-90 students to be in at a time, at least 3 health education classrooms to support health education for all students year round, adapted physical education/movement space, room for equipment, and staff meeting and planning space
- Gymnasium to support 60-90 or more students at once, fitness/physical movement space for fitness education, 3 or more health education classrooms, adapted physical education space, staff office space, equipment storage space, student locker room

space

- Open movement space, space for functional fitness education, classroom setting for health education
- A gymnasium with ample size (at least three - four teaching stations, separated by drop down curtains/dividers) to accommodate large groups of students is essential, and supplements the games and activities in the Physical Education curriculum. The gymnasium should have two full-courts with 9 basketball hoops. A climbing wall and other indoor Project Adventure elements (cargo net, hanging ropes) would also greatly enhance the team-building goals and objectives of the Wellness Department. Three - four teaching stations in the gymnasium will be critical in the 5-8 model for providing Wellness instruction as well as for community usage. The Canton High School athletics uses the middle school gymnasium space as well. Freshman basketball practices daily at the Galvin. In the fall and the spring, when weather requires indoor practices, other sports use the Galvin as well. As noted in the Community Usage section of this document, the current gymnasium at Galvin Middle School is a well-used, valued community asset that many community groups rely upon. Further detail is provided in that section.
- Bleachers for one of the full-court gymnasium spaces to accommodate our intramural and Unified Sports programming. Our students compete in basketball and cheerleading against other schools in the winter. Our teams travel and host teams in our home gym. Additionally, two years ago, we established a Unified Sports basketball team to support our inclusive programming. Our Unified team plays intramurally as well, hosting basketball games that are one of our most well-attended and supported student events.
- Adequate storage space (minimum of two indoor closets and outdoor storage containers) is of high priority. Adequate electrical outlets and a quality sound system in the Gym are two design elements that must also be addressed.
- Additionally, a true Fitness Center -- equipped with age-appropriate cardio and strength training equipment -- should be considered a "must have" in the design of the new building. This fitness center would also serve as an appropriate space for adaptive PE and OT/PT services for Special Education services. The current physical education curriculum includes strength-based units and capitalizes on the use of the PLT4M technology that builds a healthy and life-long love of fitness in students.

***Adaptive P.E./Fitness Center***

A well equipped fitness center is essential to meet the needs of Galvin's diverse student population. Canton prides itself on its effort to retain the maximum number of students possible within the District, minimizing out of District placements. Part of these school-based programs include occupational and physical therapy and adaptive PE. A fitness center would provide the appropriate space to meet the needs of students within our various substantially separate programs. Additionally, the fitness center would allow for greater inclusion and participation during general education wellness classes. Middle school is a challenging time for many students and playing games with peers can create anxiety which leads to low or no participation in physical activities. A fitness room that is directly adjacent to the gym would allow the wellness teachers to have individuals or small groups getting exercise in a smaller space during wellness classes. All open blocks would be available for use by Wellness Classes.

**13. SPECIAL EDUCATION****Review of the Special Education Rubric and Regulations**

Since the previous state review of Canton did not include facilities, the CPS Special Education Department reviewed the rubric for the purposes of this plan. Looking at the four standards for ensuring accessibility, it was found that none of the four standards is being met in full. Currently, there are few designated classroom spaces for inclusion services and substantially separate programs are located in corners of the building. They are close to the main office and nursing office but are not team- or grade-aligned. While the Canton Public Schools provide all necessary equipment for individual student needs, the District is unable to provide non-individualized audio or lighting treatments and must rely on individual FM systems and cloth coverings. For the standard of ensuring equity, the Canton also fails to meet the requirement of Special Education spaces being equal, in physical respects, to general education classrooms.

Most general education classrooms meet basic subject-specific designs; all Science classes are in Science Rooms; STEM Rooms have appropriate equipment. The ACCESS Program room is a prime example of how a space was reallocated without transitioning the space to the appropriate use. The ACCESS room used to be a home economics space, complete with several kitchen stations. Some of the stations were removed, and some left for use by the program, however, the room was not able to be redesigned to best fit the needs of the program. The current building does meet the standard for minimizing stigmatization by not isolating Special Education spaces in one place, and by only serving middle school aged children in the programs at Galvin Middle School.

## ***Current Special Education Program Offerings***

### **Inclusion**

The majority of students that receive Special Education services receive them in the inclusion setting. Each grade level has an inclusion program, and they are spread across all nine teams for maximum integration. Most inclusion students also have a scheduled academic support class that provides assistance in organization, test preparation, skill building and other needs that may be outlined on a student's Individual Education Program (IEP).

Design needs for the inclusion special education program would be:

- A half-size classroom embedded within each team for grade level academic support, including multiple white boards
- Private testing spaces connected to each team, with a window for viewing into the room for supervision, allowing students to focus on testing,
- Office space for itinerant staff members.
- Special education evaluation room

### **ACCESS Program**

Galvin Middle School houses five substantially separate programs. The depth of these programs allows us to retain the majority of all Special Education students within their home school and district, providing them access to their peers and educating them within their community. All of our programs are designed for maximum inclusion, which provides a meaningful educational experience for all of our middle school students. The All Students Can Expand Skill Sets (ACCESS) program provides a highly individualized and modified curriculum for students with Autism spectrum disorders, developmental disability, and/or intellectual impairment. In addition, students in this program exhibit significant impairment in some or all of the following areas:

- verbal communication
- social interaction and pragmatic skills
- comprehension
- behavioral and emotional regulation
- adaptive daily living skills

- ability to acquire new skills

The program utilizes a multi-disciplinary approach to enhance communication, socialization and sensory integration. Visual symbols and augmentative communication are used throughout the classroom to assist students in understanding of classroom activities, schedules and rules. Emphasis on behavioral based methodologies (i.e. discrete trial, applied behavioral analysis, multi-sensory etc) and the development/strengthening of functional skills are integral components of the program. Low student to teacher ratio maximizes the learning of new skills and reinforces appropriate behaviors. Students are integrated into the general education setting on an individual basis as determined by the team. Students practice activities of daily living, including Cooking, hygiene, access and mobility, and travel training. Students also engage in Engagement in curricular activities in the areas of ELA, math, science, and social studies. Opportunities for inclusion should be beneficial, meaningful, and tolerated by the student. A District behavioral specialist (BCBA), Occupational therapy, Physical therapy, and Speech and Language Pathology consult to the program regularly. These services are grid based according to the students' individual needs and educational plans.

Design needs for the ACCESS special education program would be:

- Flexible classroom space and furniture
- The program supports 8-12 or more students and 3-6 staff- the size of the space is important.
- 2 connected classrooms on the same floor; movable acoustic partition to allow for the rooms to be opened into one large space as appropriate given grouping
  - One room for activities of daily living, including a washer, dryer, sink, refrigerator, stove, and living space
  - One room for academics and groups
- Connected restroom for toileting needs
- Space for students to de-escalate, take breaks and regroup to rejoin the class.
- This program space should be near speech and language and occupational therapy rooms

### **Therapeutic Classroom**

The Therapeutic Classroom (TC) program is a District-wide academic and therapeutic program, addressing the emotional, behavioral and learning needs of students who have an

emotional impairment. The TC program provides specialized Instruction by design to target student learning profile, as well as consistent wrap-around therapeutic supports throughout the day. Placement in the TC program is determined by students' IEP goals. Students will have the opportunity to access inclusion classes and the opportunity to learn the same material in a setting with a smaller number of students.

Counseling, guidance, and student services are all connected to support students in this program. The Therapeutic Classroom space should provide a soothing environment to engage in academic growth while supporting emotional needs, a student breakout space, as well as inclusion opportunities with space to process and gain support.

Design needs for the TC special education program would be:

- 2 separate classrooms
- Access to the gym/ opportunities for movement breaks
- Close to single stall bathroom
- Rooms close to each other
- Centrally located between grade level teams

### **Homebase**

Homebase is a general education support to increase student access to the curriculum. It is used as a Tier II and Tier III intervention program. It is designed to aid in the transition back to school from an extended absence. Students entering Homebase receive informal academic support from a general education teacher. The Homebase program also addresses the need for a safe and supportive place when students are experiencing emotional distress. Students may receive short term or in the moment counseling and debriefing as needed.

Design needs for the Homebase program would be:

- Calming space with differentiated seating
- Near a restroom
- Near the nurse
- Close to guidance suite
- Quieter part of the building

### **Language-Based Program**

Language-based learning disability (LBLD) refers to a spectrum of difficulties related to the understanding and use of spoken and written language. LBLD is a common cause of students' academic struggles because weak language skills impede comprehension and communication, which are the basis for most school activity.

Design needs for the Language Based program would be:

- Working space for students access to inclusive environments.
  - Access to typically developing peers
- Ability to work in small break out groups
  - Targeting Phonemic awareness
  - Targeting receptive and expressive language (input and output)
  - Targeted time to work on reading fluency and comprehension
- Multi sensory working spaces
  - Instruction with a kinesthetic approach

### ***Related Services Offerings***

#### **Speech**

The Speech program is designed to provide social communication support, pragmatic language support, and movement and writing support. The Speech program is a pivotal support for our students with Autism Spectrum needs. These programs support students with other learning needs. Students will engage in small groups to generalize skills across peers. Staff include the speech pathologist and occupational therapist.

Design needs for the Speech program would be:

- A small classroom for small group work to generalize learned skills
- Near or attached to a sensory movement space
- Light and bright
- Access to technology



- A sink to clean up multi sensory activities

### **Occupational Therapy**

Occupational Therapy (OT) program is designed to provide support in the areas of sensory and motor development, manipulation and hand use, visual-perceptual skills, motor planning and coordination, daily living skills, work skills, organization, and the use of assistive technology and adaptive equipment.

Design needs for the OT program would be:

- A small classroom for small group work to generalize learned skills
- Near or attached to a sensory movement space
- Light and bright
- Access to technology
- A sink to clean up multi sensory activities

### **Physical Therapy**

The Physical Therapy (PT) program is designed to provide support in the areas of motor development, manipulation and hand use, motor planning/ coordination, and implementation and supported use of adaptive equipment. These therapies aid students in movement (gait and balance), flexibility, muscle strengthening, and range of motion.

Design needs for the PT program would be:

- A small classroom for small group work to generalize learned skills (this could be space shared with APE or a Fitness room with breakout space for therapies.)
- Space for storage and maintenance of specialized equipment
- Adjacent to or near space used by Adapted Physical Education or fitness room
- Near or attached to a sensory movement space
- Light and bright
- Access to specialized equipment individualized to students needs
- A sink to clean up multi sensory activities

### **Adapted Physical Education**

Adapted PE provides opportunities for a differentiated physical education experience to address needs with gross motor skills and/or developmental delays.

### **Counseling/Social Skills Groups**

School Psychologists, Adjustment Counselors, Home/School Interventions and Guidance Counselors are responsible for behavioral supports, social skills groups, small group and individualized counseling and consultation with staff and parents. In addition, the School Psychologists conduct psychological testing for evaluations.

### **Assistive Technology**

Assistive technology services directly assist with the selection, acquisition or use of technology devices such as: equipment or product system (software) that can be used to increase, maintain, or improve the functional capabilities of a student with disabilities.

### **Applied Behavior Analysis Services**

Individualized programming for children with Autism Spectrum Disorders using the principles of applied behavior analysis to increase skill acquisition and decrease maladaptive behaviors. Regular review of data and programming, training of staff and regular consultation to classroom and families is provided by a Board Certified Behavior Analyst.

### **Proposed**

There are no proposed programmatic changes for the substantially separate programs at GMS. No programs will be eliminated and no additional programs will be brought back into the District.

The proposed Galvin Middle School would allow for true integration of Special Education services. All inclusion academic support classrooms would be a part of their team pod, appearing as any other classroom in the neighborhood. There would be no signage designating that room for any type of specialized instruction. Galvin would have a half-size special education classroom included within each team to better support the students and allow for greater integration among the overall school design. Small group break out spaces in the team neighborhoods will also support the special education service delivery. Physical inclusion is equally important to inclusion within the classroom. Placement of all Special Education spaces would follow the design of peer and grade integration. Additional related service spaces would also be integrated throughout the building.

Additional Spaces Needed:

- Team Chair Office
- Conference Room for meetings (in addition to guidance and main office conference rooms)
- BCBA office adjacent an ACCESS classroom
- Room with suspension equipment (ability to hang suspension equipment)
- Spaces will be designated for related service providers in the areas of:
  - Speech and Language Pathologists
  - Occupational Therapists
  - Physical Therapists, access to APE space
  - Behavior Specialists, office
  - Adaptive Physical Education
  - School Adjustment Counselors, Counseling suite
  - School Psychologist, etc.
  - Team Chairperson
  - The following related service providers will use small-group spaces within each grade level team as they are shared staff throughout the District:
    - Vision and Hearing Specialists
    - Reading Specialists

The new middle school will include many smaller meeting rooms for individual and small group tutorials, outside therapists, and specialists. These rooms may be used for regular teacher/tutor meetings and for small group testing environments and will be fully immersed within the academic neighborhoods.

#### **14. TECHNOLOGY EDUCATION**

The GMS Technology and Engineering curriculum is built with a focus of developing conceptual understanding and real-world problem solving skills through a broad variety of hands-on projects and activities, based on the Project Lead the Way curricula. All GMS students take technology classes 2 days per cycle. Instruction is provided by 2 technology and engineering teachers. Using the Engineering Design Process through a project based

learning approach, students engage in relevant and rigorous learning experiences. Technology/engineering grades sixth through eighth students explore, engage and learn Computer Aided Design, Robotics, Transportation, Manufacturing and Communication Technologies. Teaching and learning experiences include, teacher directed content delivery, thoughtful hands-on activities, phenomena investigations, collaborative group work and projects, and design challenges. Technology and Engineering also allows students to develop 21st century skills, including collaboration, communication, critical thinking, and creativity; therefore tech and engineering can be connected to all programs at GMS.

Beginning in sixth grade with a rigorous Design and Modeling course, Project Lead the Way (PLTW) provides hands-on opportunities for our students to solve real world problems while working through the Engineering Design Process and to learn skills to promote confidence and curiosity. Learning that we can solve problems for others encourages empathy in all we do. With a strong foundation of the design process our students move onto more complex technology systems in seventh grade.

Seventh grade students follow the Energy and the Environment Curricula from PLTW. Students use their logical thinking and problem solving skills to form a deeper understanding of the world around them by exploring communication and transportation systems and technologies. We explore the history and evolution of technology as a way to share ideas, knowledge and materials with others while also focusing on logical problem solving and reasoning. Eighth graders follow the Computer Science for Innovators and Makers curricula from PLTW. By completion of eighth grade, students will demonstrate a fundamental understanding of the Engineering Design Process and necessary skills by participating in our Innovation Summit. Students will explore the world around them and improve or redesign solutions to share with the local community. Students complete 8th grade as competent problem solvers with a sound knowledge of technology, tools and programs and how they relate to and improve their world.

Currently, two technology classes are located on opposite ends of the building. One space is an old carpentry classroom with immobile desks and immobile, non-functioning carpentry equipment. The other classroom has pair desks with unattached chairs, but lacks any storage. In the new GMS, Technology & engineering learning spaces would allow students to create solutions to relevant real world questions and problems through engaging and exciting design challenges. A flexible technology & engineering learning space that would also allow for meaningful collaboration between teachers and students.

Based on this vision and current programming, design needs for the technology and engineering program include:

- Adaptable and flexible classrooms with convenient outdoor access
- Two tech/engineering classrooms close to each other
  - Functional and accessible storage closets for each classroom with space to store student projects mid-work
  - Moveable teacher station/demo table
  - Content delivery space with traditional student desks with unattached chairs
  - Multiple projection options
  - Student inquiry space with large flexible tables or islands
  - Convenient access to electrical outlets, preferably in floor
- 3D printing lab (3D printmaking is part of the PLTW curriculum)
- Convenient outdoor access
- Teacher refrigerator, cooktop, & oven
- Outdoor water feature for water wheel and similar testing

If grade five is brought into the middle school, we would look to add a fourth PLTW unit designed specifically for these students.

## **15. CLUBS**

GMS afterschool clubs are an afterschool extracurricular program that is run by staff members. Clubs provide a fun and engaging afterschool community where students can explore activities that interest them and create relationships with peers and staff. This provides an opportunity for students to stay after school to extend their school day. Clubs are currently offered during 3 sessions per school year (fall, winter and spring). Some clubs are 5 weeks, some are 10 weeks or for the entire school year. GMS clubs include many common teaching and learning experiences. Students stay after school and engage with staff members and peers to extend their school day. In the 2022 - 2023 school year we had over 300 students join at least one club. This year, our fall club session has 290 students registered to participate in 33 different club offerings. If needed students are supported by additional staff to meet their individual needs. Clubs utilize previously existing spaces and systems, including:

- At least 20 different classrooms support a variety of clubs

- Numerous gym spaces provide space for sports clubs (basketball, soccer, pickleball, volleyball, etc.)
- A separate auditorium provides space for performing arts clubs (theater, acting, singing, etc.)
- Numerous outdoor spaces provide space for outdoor sports clubs (soccer, flag football, wiffle ball, golf, etc.)
- Open collaborative spaces support STEAM activities (robotics, lego, art, rocket etc.)

After school buses transport students home.

## **16. STUDENT SUPPORT SERVICES & ADMINISTRATION**

### **Health Office**

Health Services supports student health and academic achievement. Space includes two full-time registered nurses in the Health Office. Mandated Health Screenings are conducted for all students in the Health Office annually. GMS nurses have up to 100 nurse visits a day, students are seen on an as needed basis for illness or injury as well as scheduled visits for medication administration and medical treatments. Health Office should be located close to the Guidance Office as the nurses work closely with the guidance counselors through student referrals

Nursing promotes wellness and health for students. Goals include reducing the time students spend in the Health Office and increasing classroom learning time, completing mandated screenings and health education. Other programs connected to this program are the Guidance Department, The Wellness Department, and Food Services. The vision is a welcoming, warm, comfortable environment with an emphasis on privacy and confidentiality. Students should feel safe and comfortable in the health office environment. Additionally, the health office should provide adequate space to isolate ill and contagious students from well students with ventilation. The nurse's space should be visible from the doorway entry. The health office should also include confidential accessible space for medical meetings. Design needs for the health office would include:

- Two desk/work spaces are needed for each nurse where they are able to view each other for collaboration
- A waiting room for students waiting for nurse assessment
- Two private exam/treatment rooms

- Separate space is needed for 4 beds for injured/ill students
- Private closed space to conduct scoliosis screenings, parent or staff meetings, student emotional support, etc. This can also be used for diabetic treatments. This space would need dividers for privacy
- 2 handicapped accessible restrooms with sinks
- Space for med lock boxes/medical records/medical equipment storage
- Built-in supply closets
- Ventilation and windows

### **Counseling Department**

The Counseling Department consists of seven counselors, three adjustment, three school counselors, a home-to-school interventionist (a certified adjustment counselor) as well as an annual counseling intern from a local graduate program. The counseling department supports our students through the critical middle school years when they are developing their identity and exploring social circles. Counselors play a critical role in supporting faculty in understanding student needs and how they impact students' abilities to be successful. Counselors partner with families to help them manage issues inside and outside of school so that a true partnership forms between school and home. Seven counselors see a wide population of students on a daily basis

Families frequently come in and meet with counselors and teachers to collaborate on student issues. Counselors work collaboratively to provide wraparound services to our most vulnerable youth

Counselors need to provide additional space for students to process emotions and work through issues that are troubling them. Students often come down in pairs when they need to talk about something difficult or troubling. The Counseling office should feel like a welcoming, warm, comfortable environment with an emphasis on privacy and confidentiality.

Design needs for the Counseling Office include:

- 7 counseling offices in the same office suite so that counselors can work collaboratively on student cases, with a waiting open space for students to come and wait for their counselor with an administrative assistant at the front.
- Two confidential, accessible meeting rooms, allowing multiple groups and meetings simultaneously, specifically during before and after school hours, as well as during X

block

- 2 extra offices for the director and interns
- A copier/storage room
- Private bathrooms for students who are crying or escalated, in order to process and deescalate before they go back to class
- A sensory room will provide space for meditation, calming, and de-escalation
- Small kitchen
- Counseling suite should be in proximity to students but also near the main office staff; the guidance suite should not be a direct part of administration, so that students feel safe and comfortable and discipline issues are not overlapping with counseling; ideally, the ideal design solution would include an internal connection between guidance and administration so students in crisis can move from guidance/counseling to the front door or administration in privacy

### **Administration**

The GMS administration is responsible for ensuring safety and operational consistency. The administrative team plans and delivers professional learning sessions for the faculty in order to foster a culture of innovation and dynamic learning. The team needs to be able to host meetings with various stakeholders in the school community on a regular basis in order to make decisions that advance the work of the school as a whole. The administration includes the academic and operational leadership team in the building. Principal, Assistant Principal, Dean of Students, Team Chair, Instructional Coach, and three administrative assistants. The main office of the building should be separate (but not necessarily detached) from the guidance and support offices in the building. Ideally, they would be adjacent to one another with a connecting feature. The main office should enable efficient and secure check-in of guests. Administrative office space should be designed to foster important conversations while ensuring a degree of privacy related to sensitive topics. The main office should include a large, bright reception area so that visitors and invited guests feel welcome.

Design needs for the administrative offices include:

- Each administrator needs a dedicated office space, not necessarily in the same suite
- A large multi-use conference space
- Administrative offices should be adjacent to guidance and support services



offices

## **17. TRANSPORTATION POLICY**

Canton Public School students in grades 5-8 who live more than 2 miles from school are provided bus transportation to their school at no cost. Students who live within 2 miles pay a fee for bus transportation. The number of students needing bus transportation will be determined each summer and could add to some additional bus traffic at the school.

Presently there are 20 buses, five mini-busses, and 25 passenger vans that transport approximately 1,000 regular and Special Education students daily for the Canton Public Schools. At the present time 107 grade five students get transported daily by the Canton Public Schools. We would anticipate this number increasing because students would no longer be attending their neighborhood school and may be traveling further in town to attend the middle school. Students are transported to their respective schools in three tiers, with middle school students picked up and dropped off first, high school students picked up and dropped off second, and elementary students transported to their schools last.

There is an expected increase in cost to moving grade five students to a new middle school because of the geographic location of the school. Mitigation for any increased traffic by buses or cars will be provided at a new Galvin Middle School with improved roadways, clearer signage, improved lighting, and better sight lines for vehicles and pedestrians. There are currently separated bus and car drop off and pick up areas at GMS. To maintain safety and relieve congestion a new Galvin Middle School should also have separate bus and parent/guardian pick up areas.

New or existing walking paths, sidewalks, and crosswalks will be built or upgraded. They will be well lit, clearly marked, and will provide students, staff, and community members safe passage into and out of the building. All transportation and access improvements will be ADA compliant.

Strategically placed bike racks will provide more opportunities for students and staff to use an alternative method of travel to school.

Parking at the new school will be adequate to serve the needs of the school during the day and will also be sufficient to serve the Canton community for town-wide events during out-of-school time.

Additionally, the Town of Canton and the Canton Public Schools will ensure that the Galvin Middle School is designed to ensure:

- Safe access for bus traffic that does not interfere with drop off and pick up traffic
- Safe and controlled access for deliveries
- Recess and recreation areas that are protected from traffic

## **18. FUNCTIONAL AND SPATIAL RELATIONSHIPS AND KEY ADJACENCIES**

### **Current**

Organizationally, Galvin Middle School faces a number of challenges. Originally designed to support departmental school organization, the building does not fit the middle school team structure that Galvin (and most modern middle schools) currently employs. Team or “neighborhood” organization of middle schools creates smaller, more personalized learning environments, which foster interdepartmental collaboration and support social-emotional learning. These teams also help provide a sense of belonging for students, helping them to foster an identity that unites them with their peers and makes them feel supported and secure. The existing building is not designed to support this teaming structure, and does not provide the neighborhood-based support spaces that make this model truly successful.

Furthermore, as the Galvin Middle School evolves its pedagogy to meet up-to-date learning criteria, the School has developed STEAM integration, as well as a robust teacher collaboration model, and is implementing more project-based, hands-on instruction. The current building layout provides no dedicated spaces for STEAM-integrated work, project-based work, teacher collaboration or student collaboration.

Building navigation and location of publicly accessible spaces are also problematic. A network of dark, circuitous internal corridors makes wayfinding in the existing Galvin Middle School difficult. Spaces that are often the destination of outside visitors and parents – such as the gymnasium and medical suite – are located far from the main entrance and create a security issue when visitors need to access these locations. Navigation and layout deficiencies also impact student support services. These services often end up being housed in smaller spaces that are unsuitable, and end up being tucked away in whatever spaces can be carved out for them in an already crowded building.

It is not only the corridors that are dark: The original building was constructed in 1972, at a time when it was considered acceptable to design classrooms without direct access to natural light and ventilation. We now know that student performance is negatively

impacted by the lack of fresh air and sunlight, yet many of the internal spaces in the existing building – classrooms, included – lack this access.

### **Proposed**

The educational visioning sessions provided much insight into the aspects of the proposed educational environment and its ability to support the desired educational program. Many of those concepts are captured in the above-defined requirements for specific program areas. However, there are also overall functional, spatial, and adjacency requirements not mentioned above that are documented below.

During Visioning Session 4, participants reviewed a list of design considerations and space needs identified by stakeholders throughout the visioning process. Using a prioritization strategy called “making the cut”, table groups placed items above or below the “cut line” based on whether or not they thought the item should become a guiding design principle or design feature for a future GMS. Items placed above the line made the cut, and those below the line, did not.

The following guiding design principles and design features are listed in priority order, with those items placed above the cut line receiving one point.

- True teaming via community pods centered around a collaborative space
- Architectural elements to support a calming environment (quiet spaces to compress; softened sightlines in transition spaces; no sharp corners)
- Alternative cafeteria spaces; smaller dining spaces
- Spaces for displaying student work in creative ways
- Breakout spaces in and out of classrooms
- Flexible classrooms spaces that can combine and separate; collapsible walls
- Use of outdoors for more than just learning (eating / breaks)
- Independent workstations outside of classrooms
- Centralized open spaces for gathering with working spaces adjacent
- Culturally-responsive building
- Small group spaces near or attached to classrooms for small breakout
- Teacher planning space

- Accessible building during off times
- Performance space for large and small groups
- Ample gym space to support clubs and interests
- Students entering MS have more defined sensory options
- Multimodal learning stations within classrooms
- PE dedicated outdoor space

The overall functional and spatial layout of the building is built upon the following key concepts and is rooted in our overarching project goals:

- Creation of team learning communities to provide smaller learning environments that will better support personalized learning as well as social, emotional and academic student support.
- Creation of a variety of flexible, adaptable learning spaces within team communities and throughout the building that can be utilized to support teacher collaboration, student collaboration, and hands-on, project-based learning.
- Specials centralized yet adjacent to grade level learning communities to support collaboration and interdisciplinary opportunities among specials and core academic classes
- Media as connective tissue among each learning community
- Visible learning beyond display cases
- Maximize access to natural light and ventilation and create ample opportunities to access outdoor learning spaces.

### ***Team Learning Communities***

With the research showing an overwhelming benefit to having more personalized learning environments for students – particularly in the middle school years, the strategy many districts find themselves employing is balancing the operational need to maintain “fewer and newer” buildings by consolidating populations into one location with the educational/social need to create smaller, more personal learning environments that can cater to individual students’ needs.

The foundational organizational unit of Galvin Middle School is the Grade Level Team. While GMS has employed a team structure for some time now, the physical layout of the current building does not support it. The proposed Middle School will provide each team with its own academic learning community. Each of these neighborhoods will serve as the “home base” for their team, providing a more personalized learning and social environment within the context of the larger school.

Each learning community will consist of the following:

- (4) learning studios to support core subjects with a visual presence on the learning commons
- (1) Science lab and associated prep space (grades 6-8 only) Grade 5 science will happen in the learning studio and the PBL media commons.
- Special Education-related rooms as required by District programs
- (3) Small group rooms with a visual connection to the learning commons for student collaboration, teacher collaboration, interventions, and testing
- Collaboration space, including PBL Media Commons
- Teacher collaboration and planning space to serve as home base for faculty, specialists, and paraprofessionals
- Bathrooms
- Direct access to an outdoor learning area
- When possible, paired classrooms in each learning community have opportunities to open up to one another via acoustic and magnetic writable movable partitions (specific design to be further explored in later design phases).

Centralized but adjacent to team/grade level learning communities will be the following:

- Instructional and office spaces for professionals delivering support services
- Specials rooms and their associated support spaces – Art, STEAM, etc.

Within each team, classes are assigned neither a teacher nor subject – and educators can choose what space they want to use on a given day. One room per team should have a

dedicated kitchen area to support cooking as project-based, interactive learning. For example, a world language class may use the room so students can learn to cook in their native language and health wellness courses can implement food and nutrition units of study.

The three learning communities within each grade level will be organized through a stacked vertical separation. This organization allows for teams within the same grade level to collaborate vertically, and it allows for teams across grade levels to collaborate as well. Though in this model there is not a specific delineation between a lower (5-6) and upper (7-8) school, the district has directed the design team to look for design strategies that will create more synergy among grades 5-6 and 7-8.

### ***Creation of a Variety of Flexible Learning Spaces***

A key component of the team neighborhoods is the inclusion of a variety of spaces that support the pedagogical goals of the school. One example provided during visioning was the potential for collaboration between Social Studies, Science, and ELA departments during the 8th grade capstone Civics project. In this months-long inquiry project, students investigate an environmental or social justice issue of their choice and its impacts on both a community level and national or global level. Students then research possible solutions and develop pitches to change community behavior. Ultimately, students create multimedia presentations in small groups which are presented to parents, community, and local government stakeholders during a grade-wide public convention. Open flexible learning spaces could provide a place where the departments could work together to create, practice, and deliver presentations.

The move towards a more project-based instructional style is dependent upon the provision of spaces that support collaborative group work both for students and teachers. The proposed Galvin Middle School will provide a variety of these types of spaces. Academic learning communities will be home to several breakout spaces and design features allowing for learning and collaboration to happen beyond the four walls of the classroom. These spaces and features include the following:

- Small Group Rooms -3 per grade level team for individuals or groups of 2-4 students that may want to spill directly from the classroom or from the larger collaboration space.
- Project-based Learning (PBL) Media Commons - one large collaboration space per team learning community; the district and design team envision these as dynamic, multi-use spaces that serve as environments for breakout, small and large group instruction, team assemblies, workshops, indoor sensory pathways, student

presentations, dramatic performances, and “messy” creative projects. Book stacks and other media and STEAM resources (i.e. sinks and low-tech equipment) related to making and project-based learning would also be located here.

- The use of transparency and adjacency will ensure that these spaces are open, welcoming, well-supervised, and acoustically controlled; movable partitions between classrooms and between classrooms and the large PBL media commons will be explored further in the design process but preference will be made to varying the size and transparency of openings to allow some rooms within each learning community to be more extroverted than others.

In our educational vision, flexibility doesn't end within core academic spaces and the small learning communities. Rather, shared spaces (i.e., gym, cafeteria, auditorium, and performance technology studio) should also be flexible enough to accommodate the needs of the educational program and the community before, during, and after the school day ends. For example, the cafeteria should be flexible enough to serve as a place to eat but also as a place for collaborative, project-based work or professional development. Project-based media commons should be flexible enough to accommodate individual or group study and research and be a place where students can exhibit work and their work for parents and community to see. Since performance-based assessments will be an integral part of our teaching and learning model, any proposed design should allow for the community to interact with students as they demonstrate their command of subject matter and skills through project-based learning exhibitions.

### ***Connection to Outdoor Learning Spaces***

The benefits of learning outdoors have been well documented: students perform better academically, have better health, decreased stress, and decreased behavioral issues, to name a few. Connecting curriculum and instruction to outdoor spaces enriches education by providing expanded opportunities to engage students in hands-on, real-world learning.

In addition to taking advantage of on-site outdoor learning spaces, the current Galvin Middle School is situated directly adjacent to a number of athletic fields and surrounding woodland- a town resource which offers a variety of other outdoor learning opportunities, walking paths, and a single outdoor classroom space.

Team Neighborhoods should have direct access to outdoor learning spaces, which will provide additional project space, social space, classrooms, performance space, study areas, recreational space, and other support areas for the educational environment.

Other outdoor learning connections to be incorporated include student dining, Visual Arts, Music and Wellness.

***Additional Considerations***

Within the public zone, design alternative should support the following:

- Administrative suite immediately adjacent to the main entry of the facility with direct visual access to the building approach and the main entry
- Guidance above administration but connected with an internal stair to support privacy of students in crisis
- Some distribution of administration offices may be desired. This distribution of resources is believed to have some potential benefits in controlling security and discipline.
- Auditorium and performing arts spaces located near the front entry to put programs on display

Within the private zone, design alternative should support the following:

- Each grade level organized into clearly marked but not entirely isolated teams; design should separate students by grade level but still allow for some level of connectivity and collaboration
- When possible, specials classes should be centralized for easy access to grade levels yet still located at the entry to grade level teams to allow interdisciplinary opportunities and collaboration
- Special education distributed throughout all grade level teams to maximize inclusive practices, allow for effective delivery of support services, and reduce travel times for students
- Spatial relationships to support flexibility, student choice, and project-based learning

**19.ACCESS AND SECURITY**

The security design of the new Galvin Middle School will build upon the current safety and security design of the other buildings across the District. Cameras will be placed



throughout the inside and outside of the building and will be tied into the central camera recording system and software for the District. All exterior doors will be electrified, along with specified interior doors and tied into the district-wide access control system currently in use in other buildings. The security equipment that will be put into place will be designed to be non-intrusive to student learning, while also creating a safe environment that can be secured and monitored both from a central command center and inside the school itself. This equipment will include:

- **Access Control System**

All exterior doors and a select number of interior doors will be electrified, and will be controlled by the same access control system used throughout the District. Staff members will receive identification key cards that will provide access to their building. Specific access schedules will be assigned to staff members based on their job type and access needs. The doors will also be connected to multiple panic buttons in the school and police station, in case of emergency and need for remote lockdown.

- **Security Camera System**

Security cameras will be installed around the entire outdoor perimeter of the school building as well as in entryways, hallways, stairwells, and other select high-traffic interior areas of the school. The School will work with school administrators, school resource officers and the Facilities Department to identify and select the areas in need of security camera installation. Access to the cameras will be given to a select group of administrators and installed on select computers in the School Department. All cameras will be tied into Canton's district camera system, in which a minimum of 30 days of recording will be stored. Access to the camera system will also be available in the Facilities Command Center, as well as the dispatch command center in the Canton Police Department.

- **Intrusion Detection System**

The School will also include an intrusion alarm system that includes motion detection, window and door contacts. Multiple alarm zones will be set up around the building with keypad panels. Access to security codes will be given to specific employees dependent upon job function and access needs. When an alarm is triggered, a notification will be sent to the Canton Police Department, as well as to members of Facility Director and school administrators.

- **School Emergency Notification System**

The School will install an emergency notification system that will interface with the VOIP phone system, PA system and school computers, which will allow for

emergency notifications to reach the entire school population instantly in the event of a school emergency, lockdown or evacuation event.

- **Community Entrance**

There is a desire to have a designated entrance for community use for the auditorium and gymnasium, so there is appropriate access to the facilities but keeps the remainder of the building secure.

## **20. COMMUNITY USAGE**

Galvin's facilities are a heavily utilized school site in the District and are used year-round by several Town and community organizations for residents of all ages. The Gymnasium, Cafetorium, and athletic fields in particular are indispensable community assets. The Cafetorium is the home of the Cole-Harrington after school care program which hosts more than 50 students a day until as late as 6pm. For the Galvin Gymnasium, usage is also very high. The current gym is 9,900 SF and allows for multiple activities to take place simultaneously. For the 2021-2022 fiscal year, there were a total of 457 events scheduled for evenings and weekends throughout the school year and over the course of the summer. For the 2022-2023 year that number was 481.

Based on community feedback, there is a strong desire to have multiple fields established -- turf and grass -- with lights on the site of Galvin Middle School. Additionally, there is a desire to have walking trails, playgrounds for multiple age groups, basketball courts and community gardens.

During the summer, the gym is used every weekday from 8 am until 3 pm by the Town Recreation Department and Cole Harrington for summer camp. During the school year, the gymnasium is consistently scheduled for usage by a variety of organizations for the majority of the day on most Saturdays and Sundays, and multiple evenings a week from 3 pm to 9 pm. Often during the school year, multiple events are scheduled for overlapping times.

Town and community organizations that utilize the Galvin include:

- The Recreation Department
- The Health Department
- Canton Youth Soccer
- Canton Youth Basketball
- St Gerard's annual Kids' Camp

Kids' Camp is a longstanding tradition in Canton, involving over a thousand Canton children and young adults and hundreds of families. The weeklong outdoor camp, which generally runs in the first week of July and is open to every Canton resident, is free of charge. There are a number of adult supervisors and coordinators, but it is largely student-led by counselors who work with different camper age groups. Every section of the Galvin field space is used, including the large hill in the front as a water slide, affectionately named Splash Mountain.

Canton Youth Soccer uses the Galvin fields throughout the fall and spring, for practices and games. In Fall 2023, there are 480 participants on the travel team and 455 involved on the in-town teams, for a total of 935 participants. Last year, the total was 885. Last spring, Canton Youth Soccer had 834 participants.

Additionally, the Fine Arts and Athletic Departments use the Galvin for several different community events (concerts, rehearsals, practices, games, meets, etc.) for grades elementary through middle school.

The various youth leagues identified in the list above rely heavily on the Gym and outdoor space at the Galvin. Without being able to utilize a Gym the size Galvin currently has, and the number of fields currently offered, the sports programming for youth in Canton will be negatively impacted. Space is already a scarce commodity in Canton, between the various Town and community organizations that are seeking safe places to provide programming to residents and students. More space for these programs is needed, not less.

The first two organizations on this list -- the Recreation Department and the Health Department -- are especially strong partners and collaborators of Canton Public Schools. They work with CPS to bring programming, resources, and opportunities to our students as well as to the broader community.

The Recreation Department works with Cole-Harrington to offer after school programming for elementary school students, half-day enrichment programs on early dismissal days, and intramural sport options. CPS also offers a number of middle school interscholastic athletic programs including cross-country, cheerleading, and basketball so this partnership is key in providing students opportunities and exposure to athletics. We are looking to expand offerings middle school athletic offerings in the spring as well. The Recreation Department also offers basketball clinics and volleyball clinics, bringing together the coaches at the Canton High school with Galvin Middle School students interested in those programs. Additionally, the Recreation Department runs Community Service groups targeting middle school students and requires space at Galvin after school to do this.

The Recreation Department uses the Galvin site for most of their summer camps and programs that run from the end of June until mid- August. There are between 250-300 students weekly, grades K-8th grade, involved in these summer programs at the Galvin site. Without all these spaces, the offering of the Recreation Department to the town's youth would be impacted.

The Canton After School Program currently conducts programs for elementary students at the middle school. After school options for middle school students exist through our menu of staff-supervised extracurricular clubs and teams. Recently, discussions have begun to create a middle school academic support program after school at the Galvin. The afterschool program will need to be extended to the new building. The program would be able to use the existing spaces in the new building and any storage needs could be emotional regulation programming to the youth at Galvin (for example: yoga, fitness programming, meditation). Ideally having more breakout spaces with more flexible seating or a Wellness Center would help after school programming achieve its community-wide goals.

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## 3.1.3 INITIAL SPACE SUMMARY

# 3

### Space Summary Narrative

As identified during the Eligibility Period, the project team will carry two grade level configurations forward to allow the appropriate amount of time for the District to fully analyze and evaluate the best fit for the Canton Community. These grade level configurations are grades 6 thru 8 (760 students) and grades 5 thru 8 (1,020 students). The grade level configuration decision will occur prior to the Preferred Schematic Report submission as required by the MSBA.

For the Module 3 Preliminary Design Program submission, the project team generated eight unique space summaries customized to each grade level configuration and whether the program would include an auditorium or not. Enrollment for each configuration was provided by the MSBA. These space summaries are included in this report following this narrative section and the existing building floor plans.

The quantities and required areas identified for each program space were generated through a collaborative effort involving all stakeholders including; District Administration, select members of the Middle School and Elementary School staff, School Committee, School Building Committee, and all members of the project team including the Designer and OPM. As the options are further developed during the next phase, building organization and efficiency will be further reviewed and updated.

The following space summaries were developed in parallel with the visioning process and the Educational Program.

**Option 2** - Grades 6-8, Addition/  
Renovation (NO Auditorium)

**Option 3** - Grades 6-8, Addition/  
Renovation (with Auditorium)

**Option 4** - Grades 6-8, New  
Construction (NO Auditorium)

**Option 5** - Grades 6-8, New  
Construction (with Auditorium)

**Option 6** - Grades 5-8, Addition/  
Renovation (NO Auditorium)

**Option 7** - Grades 5-8, Addition/  
Renovation (with Auditorium)

**Option 8** - Grades 5-8, New  
Construction (NO Auditorium)

**Option 9** - Grades 5-8, New  
Construction (with Auditorium)

Note that Option 1 refers to the code upgrade/base repairs only option and therefore does not include a Space Summary. More information can be found in the "Preliminary Evaluation of Alternatives" section of this PDP report.

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## **E**xisting Floor Plans

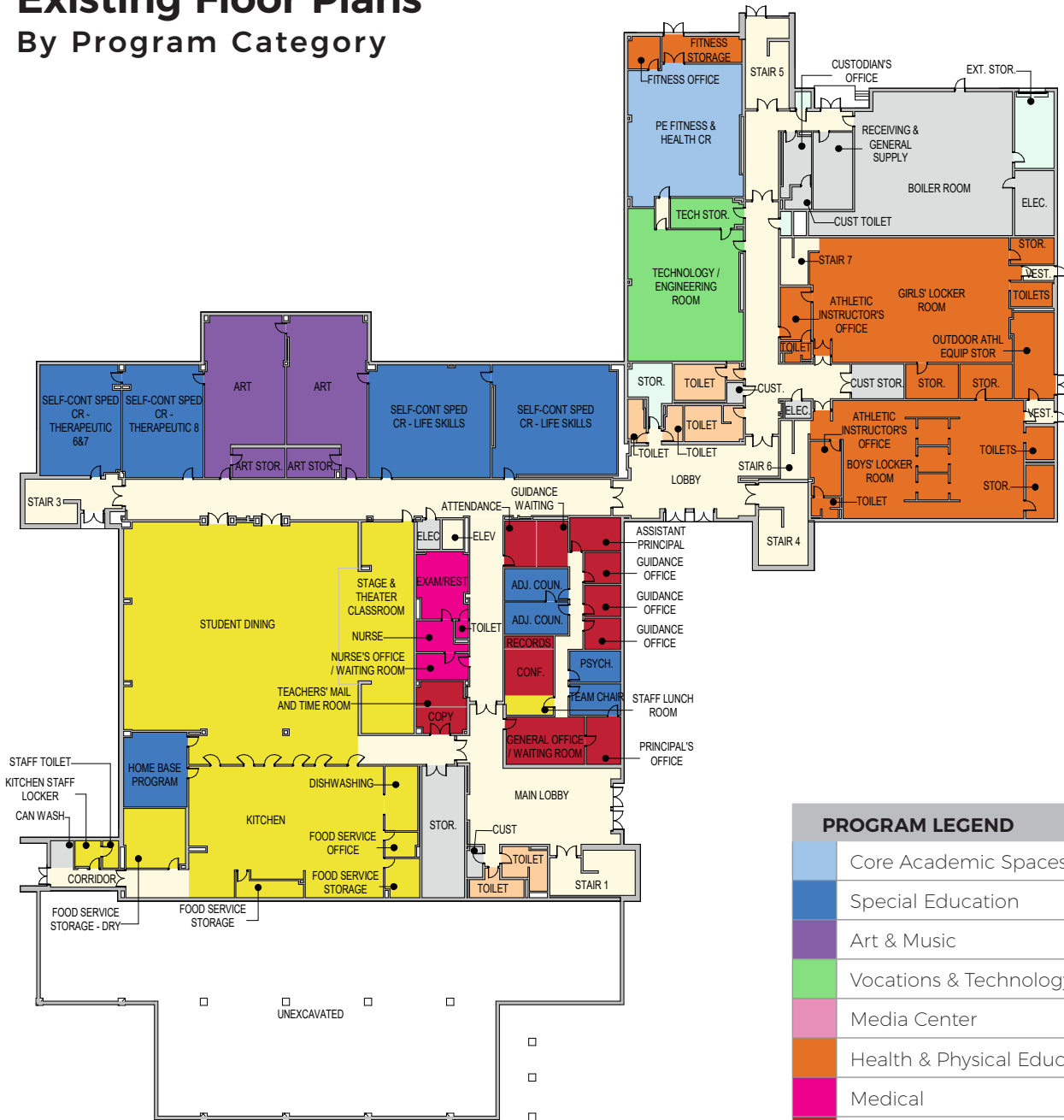
Integral to understanding the space summaries and deviations to the MSBA's recommended guidelines are the existing floor plans.

The following floor plans represent Galvin Middle School today, with a 6-8 grade configuration, and its existing program. Two versions have been provided: the first color codes per program category identified in the MSBA Space Summary Template, and the second compares the area of each existing space to the recommended area identified in the MSBA Space Summary Template. Program not identified in the MSBA space summary guidelines remains unshaded. District administration and staff of Galvin Middle School assisted in the identification of each space.



# INITIAL SPACE SUMMARY

## Existing Floor Plans By Program Category



PROGRAM LEGEND	
[Light Blue]	Core Academic Spaces
[Dark Blue]	Special Education
[Purple]	Art & Music
[Green]	Vocations & Technology
[Pink]	Media Center
[Orange]	Health & Physical Education
[Magenta]	Medical
[Red]	Administration & Guidance
[Yellow]	Dining & Food Service
[Light Yellow]	Circulation
[Grey]	Custodial / Service
[Light Orange]	Toilet Rooms
[Light Green]	Storage

**FLOOR 1 SCALE 1/50" = 1'-0"**

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

# INITIAL SPACE SUMMARY



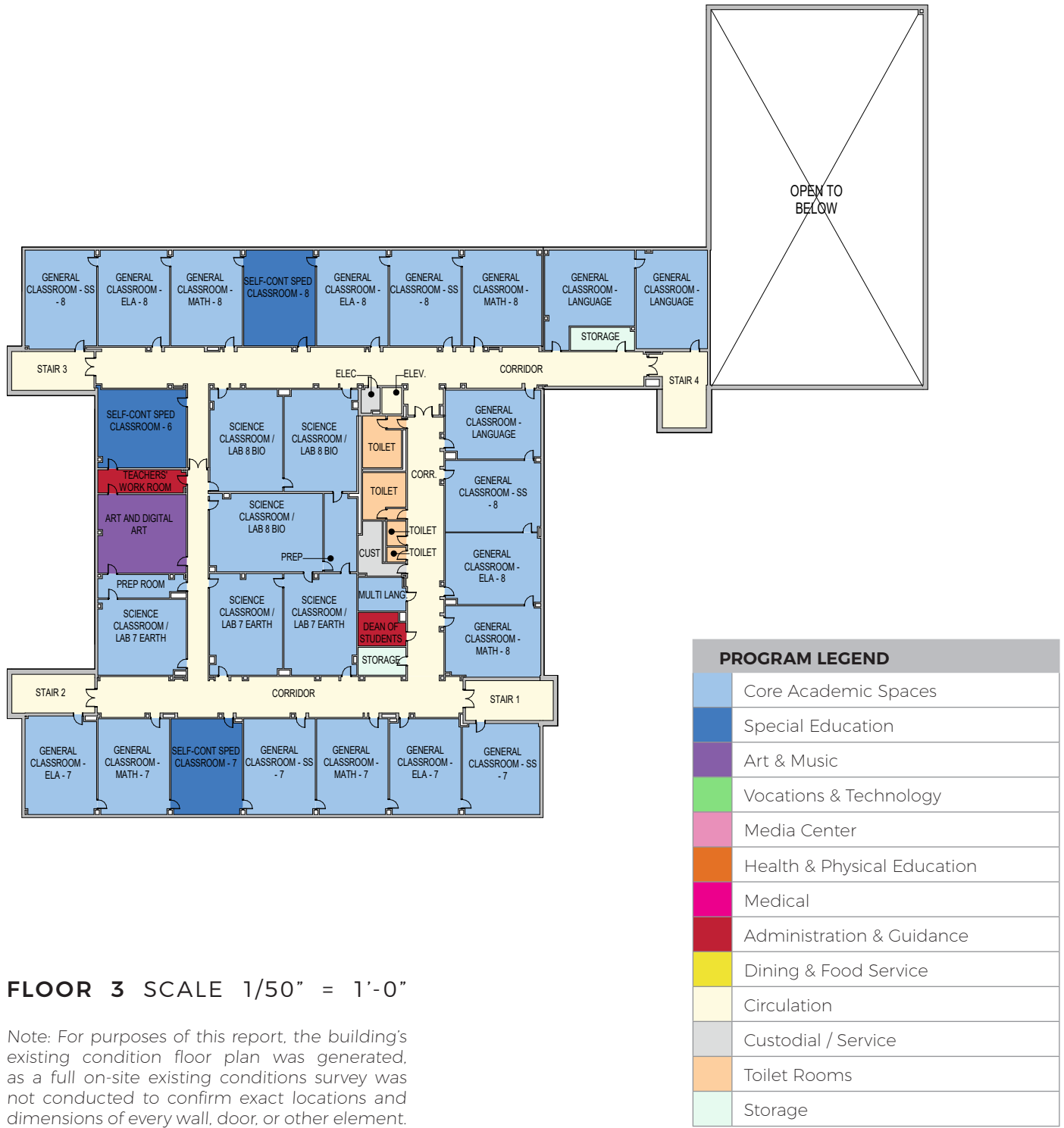
PROGRAM LEGEND	
	Core Academic Spaces
	Special Education
	Art & Music
	Vocations & Technology
	Media Center
	Health & Physical Education
	Medical
	Administration & Guidance
	Dining & Food Service
	Circulation
	Custodial / Service
	Toilet Rooms
	Storage

## FLOOR 2 SCALE 1/50" = 1'-0"

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

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# INITIAL SPACE SUMMARY

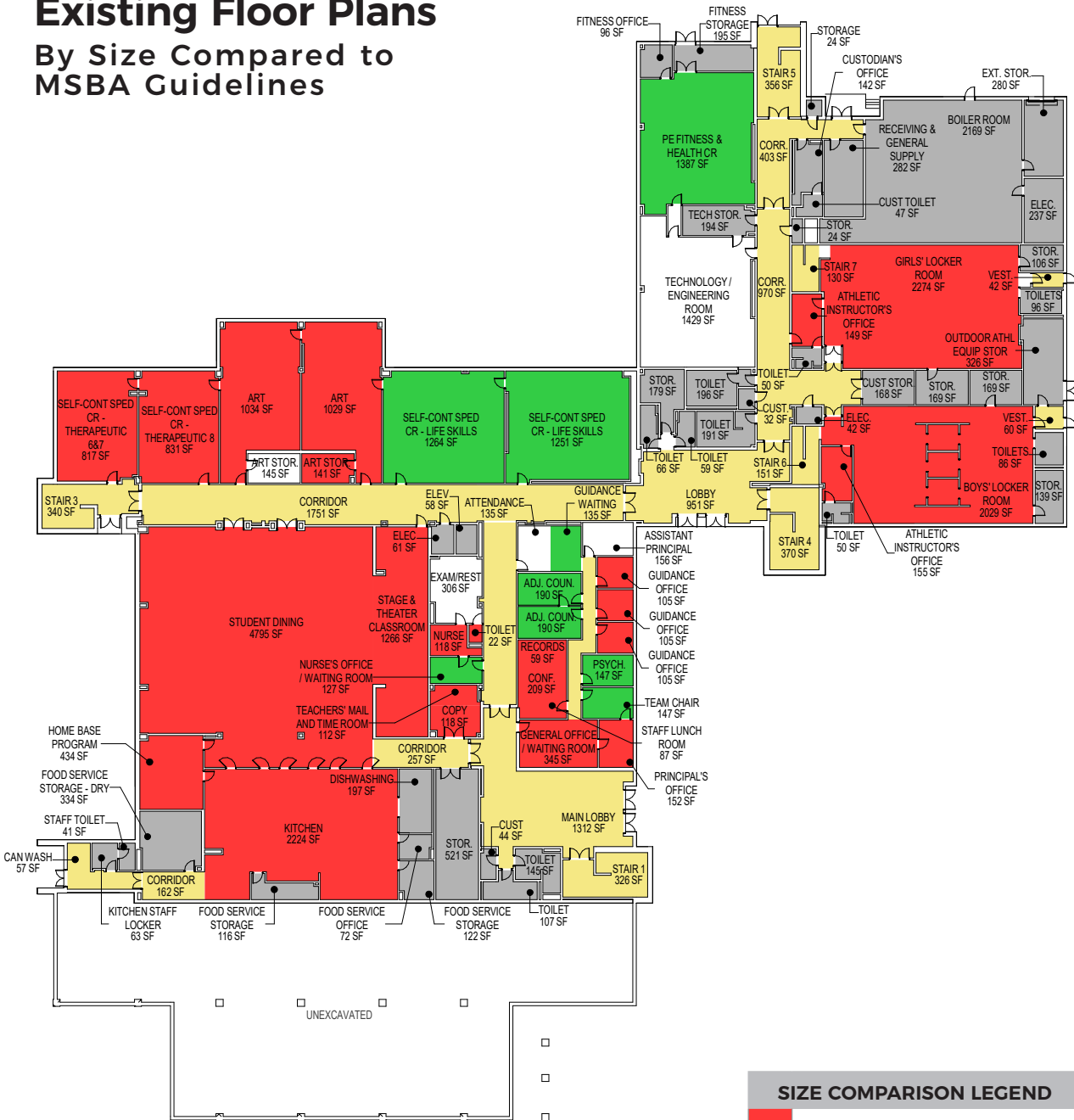


**FLOOR 3 SCALE 1/50" = 1'-0"**

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

# INITIAL SPACE SUMMARY

## Existing Floor Plans By Size Compared to MSBA Guidelines



**FLOOR 1 SCALE 1/50" = 1'-0"**

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

SIZE COMPARISON LEGEND	
	>5% Less than MSBA Guidelines
	<5% Greater than MSBA Guidelines
	Acceptable per MSBA Guidelines
	Circulation
	Space Accounted in Crossing Factor
	Not included in MSBA Guidelines

# INITIAL SPACE SUMMARY



SIZE COMPARISON LEGEND	
	>5% Less than MSBA Guidelines
	<5% Greater than MSBA Guidelines
	Acceptable per MSBA Guidelines
	Circulation
	Space Accounted in Crossing Factor
	Not included in MSBA Guidelines

## FLOOR 2 SCALE 1/50" = 1'-0"

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.

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# INITIAL SPACE SUMMARY

## Existing Floor Plans By Size Compared to MSBA Guidelines



SIZE COMPARISON LEGEND	
	>5% Less than MSBA Guidelines
	<5% Greater than MSBA Guidelines
	Acceptable per MSBA Guidelines
	Circulation
	Space Accounted in Crossing Factor
	Not included in MSBA Guidelines

### FLOOR 3 SCALE 1/50" = 1'-0"

Note: For purposes of this report, the building's existing condition floor plan was generated, as a full on-site existing conditions survey was not conducted to confirm exact locations and dimensions of every wall, door, or other element.



# **S**pace Summary

**Option #2: Grades 6-8,  
Addition/Renovation (NO  
Auditorium)**

page 1

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL	EXISTING CONDITIONS			PROPOSED PROGRAM									VARIATION TO MSBA GUIDELINES	MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)									
	ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL			ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS			
<b>CORE ACADEMIC</b>				35,559	0			49,990			49,990			10,940			39,050				STE Guidelines Policy		
(List rooms of different sizes separately)																							
General Classroom	0	0	0																				
General Classroom	616	1	616																				
General Classroom	763	1	763																				
General Classroom	794	5	3,970																				
General Classroom	801	12	9,612																				
General Classroom	804	1	804																				
General Classroom	813	1	813																				
General Classroom	818	2	1,636																				
General Classroom	826	5	4,130																				
General Classroom	831	1	831																				
General Classroom	835	1	835																				
General Classroom	866	2	1,732																				
General Classroom	887	1	887																				
<b>Total Number of General Academic Classrooms</b>		<b>33</b>																					
Small Group Seminar (20-30 seats)	0	0	0																				
Science, Technology, Engineering (STE) Room (Grades 6)	794	1	794				1,080	3	3,240	1,080	3	3,240									1,080 NSF (minimum size); Refer to the <u>STE Guidelines</u> for additional information.		
Science, Technology, Engineering (STE) Room (Grades 6)	801	1	801																				
STE Storage Room	0	0	0				120	3	360	120	3	360									Minimum of (1) 120 NSF STE Storage Room required per STE Room; Refer to the <u>STE Guidelines</u> for additional information.		
Science Classroom / Lab (Grade 7)	777	1	777				1,440	3	4,320	1,440	3	4,320		-2	-2,880						Assumed schedule: 1 period per day per student; 1,440 NSF (minimum size); Refer to the <u>Science Lab Guidelines</u> for additional information		
Science Classroom / Lab (Grade 7)	855	2	1,710											-1,440	0	0							
Science Classroom / Lab (Grade 8)	863	2	1,726				1,440	3	4,320	1,440	3	4,320		0	3	4,320							
Science Classroom / Lab (Grade 8)	1,032	1	1,032											-1,440	0	0							
Prep Room - 7th	224	1	224				150	3	450	150	3	450		-50	-2	-550				5	1,000	(1) 200 NSF Prep Room required per Science Classroom / Lab	
Prep Room - 8th	295	1	295				150	3	450	150	3	450		-50	3	450							
Central Chemical Storage Room	0	0	0				200	1	200	200	1	200		50	0	50					1	150	(1) 150 NSF Central Chemical Storage Room required
Multi Language Classroom	184	1	184				500	2	1,000	500	2	1,000		500	2	1,000							
World Language	0	0	0				850	6	5,100	850	6	5,100		850	6	5,100							
World Language Lab	0	0	0				850	1	850	850	1	850		850	1	850							
Teacher Collaboration	0	0	0				600	9	5,400	600	9	5,400		600	9	5,400							
Student Collaboration	0	0	0				150	9	1,350	150	9	1,350		150	9	1,350							
Health Classroom	1,387	1	1,387				0	0	0	0	0	0		0	0	0							
<b>SPECIAL EDUCATION</b>				8,718	0			16,805			16,085			7,025			9,060				Special Education spaces require DESE review and approval.		
(List rooms of different sizes separately)																							
Self-Contained Special Education Classroom - Therapeutic 6 & 7	817	1	817				850	1	850	850	1	850		-100	-5	-4,850				6	5,700	850 NSF (minimum size) - 950 NSF; equal to the size of the proposed General Classrooms that serve the same student population.	
Self-Contained Special Education Classroom - Therapeutic 8	831	1	831				850	1	850	850	1	850		-100	1	850							
Self-Contained Special Education Classroom - Life Skills	1,264	1	1,264				1,000	2	2,000	1,000	2	2,000		50	2	2,000							
Self-Contained Special Education Classroom - Life Skills	1,251	1	1,251				0	0	0	0	0	0		-950	0	0							
Self-Contained Special Education Classroom - 6th	831	1	831				0	0	0	0	0	0		-950	0	0							
Self-Contained Special Education Classroom - 6th	813	1	813				0	0	0	0	0	0		-950	0	0							
Self-Contained Special Education Classroom - 7th	796	1	796				0	0	0	0	0	0		0	0	0							
Self-Contained Special Education Classroom - 8th	801	1	801				0	0	0	0	0	0		0	0	0							
Self-Contained Special Education Toilet Room	0	0	0				90	4	360	90	4	360		30	-2	0				6	360		
Resource Room	0	0	0				450	9	4,050	450	9	4,050		-50	5	2,050				4	2,000	1/2 size of a General Classroom	
Small Group Room	0	0	0				150	9	1,350	150	9	1,350		-350	7	350				2	1,000	1/2 size of a General Classroom	
Home Base Program	434	1	434				850	2	1,700	850	2	1,700		850	2	1,700							
Home Base Program Toilet Room							60	2	120														
Live Skills (ACCESS) Kitchen							600	1	600														

## **S**pace Summary

**Option #2: Grades 6-8,  
Addition/Renovation (NO  
Auditorium)**

page 2



## **S**pace Summary

**Option #2: Grades 6-8,  
Addition/Renovation (NO  
Auditorium)**

page 3

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>MEDIA CENTER</b>			<b>4,373</b>
Media Center / Reading Room	3,995	1	3,995
Media Office	73	1	73
Technology Office	305	1	305
Media Center Storage	0	0	0
Media Center - Commons	0	0	0
Media Center - Presentation	0	0	0
<b>DINING &amp; FOOD SERVICE</b>			<b>9,497</b>
Cafeteria / Dining	4,795	1	4,795
Stage & Theater Classroom	1,266	1	1,266
Chair / Table / Equipment Storage	0	0	0
Kitchen	2,224	1	2,224
Staff Lunch Room	87	1	87
Staff Lunch Room	180	1	180
Dishwashing	197	1	197
Food Service Office	72	1	72
Food Service Storage	122	1	122
Food Service Storage	116	1	116
Food Service Storage - Dry	334	1	334
Kitchen Staff Locker	63	1	63
Kitchen Staff Toilet	41	1	41
5/6 Student Dining	0	0	0
7/8 Student Dining	0	0	0
Supplemental Dining	0	0	0
<b>MEDICAL</b>			<b>573</b>
Medical Suite Toilet	22	1	22
Nurse's Office / Waiting Room	127	1	127
Nurse's Office	118	1	118
Examination Room / Resting	306	1	306
Isolated Resting	0	0	0
<b>ADMINISTRATION &amp; GUIDANCE</b>			<b>2,527</b>
General Office / Waiting Room with Toilet (no toilet)	345	1	345
Teachers' Mail and Time Room	112	1	112
Copy Room	118	1	118
Records Room	59	1	59
Principal's Office with Conference Area	152	1	152
Principal's Secretary / Waiting	0	0	0
Assistant Principal's Office - AP1	156	1	156
Assistant Principal's Office - AP2	0	0	0
Supervisory / Spare Office (Dean of Students)	179	1	179
Conference Room	209	1	209
Guidance Office	105	3	315
Guidance Waiting Room	135	1	135
Guidance Storeroom	0	0	0
Teachers' Work Room	300	1	300
Teachers' Work Room	239	1	239
Attendance	135	1	135
Instructional Coach	73	1	73
Guidance Conference Room	0	0	0
School Resource Officer	0	0	0
Adjustment Counselor	0	0	0
<b>CUSTODIAL &amp; MAINTENANCE</b>			<b>1,850</b>

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
		0			4,750			4,750
		0	1,000	1	1,000	1,000	1	1,000
		0	200	1	200	200	1	200
		0	300	1	300	300	1	300
		0	190	1	190	190	1	190
		0	170	9	1,530	170	9	1,530
		0	170	9	1,530	170	9	1,530
		3,000			5,990			8,990
		0	5,200	1	5,200	5,200	1	5,200
		0	2,000	0	0	2,000	0	0
500	1	500	0	0	0	500	1	500
2,500	1	2,500	0	0	0	2,500	1	2,500
		0	290	1	290	290	1	290
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	500	1	500	500	1	500
		0			710			710
		0	60	1	60	60	1	60
		0	100	1	100	100	1	100
		0	150	1	150	150	1	150
		0	300	1	300	300	1	300
		0	100	1	100	100	1	100
		0			3,560			3,560
		0	480	1	480	480	1	480
		0	100	1	100	100	1	100
		0	200	1	200	200	1	200
		0	100	1	100	100	1	100
		0	350	1	350	350	1	350
		0	125	1	125	125	1	125
		0	150	1	150	150	1	150
		0	0	0	0	0	0	0
		0	150	1	150	150	1	150
		0	150	1	150	150	1	150
		0	150	3	450	150	3	450
		0	100	1	100	100	1	100
		0	50	1	50	50	1	50
		0	0	1	0	0	1	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	125	1	125	125	1	125
		0	300	1	300	300	1	300
		0	125	1	125	125	1	125
		0	135	3	405	135	3	405
		4,542			300			4,842

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
		0
-3,750	0	-3,750
200	1	200
300	1	300
190	1	190
170	9	1,530
170	9	1,530
		-1,113
-500	0	-500
400	-1	-1,600
47	0	47
440	0	440
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
500	1	500
		0
0	0	0
-150	0	-150
150	1	150
200	-3	-100
100	1	100
		0
0	0	0
0	0	0
0	0	0
-100	0	-100
-25	0	-25
0	0	0
0	0	0
-150	-1	-150
0	0	0
0	0	0
0	-1	-150
0	0	0
0	0	0
-530	0	-530
		0
125	1	125
300	1	300
125	1	125
135	3	405
		2,607

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
		4,750	
4,750	1	4,750	
		10,103	
5,700	1	5,700	Based on 2 lunch seatings - 15 NSF per seat
1,600	1	1,600	
453	1	453	
2,060	1	2,060	1,600 NSF for first 300 students + 1 NSF per additional student
290	1	290	20 NSF per student
		710	20 NSF per student
		710	
60	1	60	
250	1	250	
		3,560	
480	1	480	
100	1	100	
200	1	200	
200	1	200	
375	1	375	
125	1	125	
150	1	150	
150	1	150	
150	1	150	
150	1	150	
350	1	350	
150	4	600	
100	1	100	
50	1	50	
530	1	530	
		2,235	

## **S**pace Summary

**Option #2: Grades 6-8,  
Addition/Renovation (NO  
Auditorium)**

page 4





## **S**pace Summary

**Option #3: Grades 6-8,  
Addition/Renovation (with  
Auditorium)**

page 1

<b>CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL</b>			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>CORE ACADEMIC</b>			<b>35,559</b>
(List rooms of different sizes separately)			
General Classroom	0	0	0
General Classroom	616	1	616
General Classroom	763	1	763
General Classroom	794	5	3,970
General Classroom	801	12	9,612
General Classroom	804	1	804
General Classroom	813	1	813
General Classroom	818	2	1,636
General Classroom	826	5	4,130
General Classroom	831	1	831
General Classroom	835	1	835
General Classroom	866	2	1,732
General Classroom	887	1	887
Total Number of General Academic Classrooms		<b>33</b>	
Small Group Seminar (20-30 seats)	0	0	0
Science, Technology, Engineering (STE) Room (Grades 6)	794	1	794
Science, Technology, Engineering (STE) Room (Grades 6)	801	1	801
STE Storage Room	0	0	0
Science Classroom / Lab (Grade 7)	777	1	777
Science Classroom / Lab (Grade 7)	855	2	1,710
Science Classroom / Lab (Grade 8)	863	2	1,726
Science Classroom / Lab (Grade 8)	1,032	1	1,032
Prep Room - 7th	224	1	224
Prep Room - 8th	295	1	295
Central Chemical Storage Room	0	0	0
Multi Language Classroom	184	1	184
World Language	0	0	0
World Language Lab	0	0	0
Teacher Collaboration	0	0	0
Student Collaboration	0	0	0
Health Classroom	1,387	1	1,387
<b>SPECIAL EDUCATION</b>			<b>8,718</b>
(List rooms of different sizes separately)			
Self-Contained Special Education Classroom - Therapeutic 6 & 7	817	1	817
Self-Contained Special Education Classroom - Therapeutic 8	831	1	831
Self-Contained Special Education Classroom - Life Skills	1,264	1	1,264
Self-Contained Special Education Classroom - Life Skills	1,251	1	1,251
Self-Contained Special Education Classroom - 6th	831	1	831
Self-Contained Special Education Classroom - 6th	813	1	813
Self-Contained Special Education Classroom - 7th	796	1	796
Self-Contained Special Education Classroom - 8th	801	1	801
Self-Contained Special Education Toilet Room	0	0	0
Resource Room	0	0	0
Small Group Room	0	0	0
Home Base Program	434	1	434
Home Base Program Toilet Room			
Live Skills (ACCESS) Kitchen			

<b>PROPOSED PROGRAM</b>								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
		<b>0</b>			<b>49,990</b>			<b>49,990</b>
		0	850	27	22,950	850	27	22,950
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0	1,080	3	3,240	1,080	3	3,240
		0			0	0	0	0
		0	120	3	360	120	3	360
		0	1,440	3	4,320	1,440	3	4,320
		0			0	0	0	0
		0	1,440	3	4,320	1,440	3	4,320
		0			0	0	0	0
		0	150	3	450	150	3	450
		0	150	3	450	150	3	450
		0	200	1	200	200	1	200
		0	500	2	1,000	500	2	1,000
		0	850	6	5,100	850	6	5,100
		0	850	1	850	850	1	850
		0	600	9	5,400	600	9	5,400
		0	150	9	1,350	150	9	1,350
		0	0	0	0	0	0	0
		<b>0</b>			<b>16,805</b>			<b>16,085</b>
		0	850	1	850	850	1	850
		0	850	1	850	850	1	850
		0	1,000	2	2,000	1,000	2	2,000
		0			0	0	0	0
		0	0	0	0	0	0	0
		0			0	0	0	0
		0	90	4	360	90	4	360
		0	450	9	4,050	450	9	4,050
		0	150	9	1,350	150	9	1,350
		0	850	2	1,700	850	2	1,700
		0	60	2	120			
		0	600	1	600			

<b>VARIATION TO MSBA GUIDELINES</b>		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>10,940</b>		
-50	-2	-3,150
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-500	-2	-1,000
0	0	0
-1,080	0	0
0	0	0
0	-2	-2,880
-1,440	0	0
0	3	4,320
-1,440	0	0
-50	-2	-550
-50	3	450
50	0	50
500	2	1,000
850	6	5,100
850	1	850
600	9	5,400
150	9	1,350
0	0	0
<b>7,025</b>		
-100	-5	-4,850
-100	1	850
50	2	2,000
-950	0	0
-950	0	0
-950	0	0
0	0	0
0	0	0
0	0	0
30	-2	0
-50	5	2,050
-350	7	350
850	2	1,700

<b>MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)</b>			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
		<b>39,050</b>	STE Guidelines Policy
900	29	26,100	850 NSF (minimum size) - 950 NSF (maximum size)
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
500	2	1,000	
1,080	3	3,240	1,080 NSF (minimum size); Refer to the STE Guidelines for additional information.
1,080			
120	3	360	Minimum of (1) 120 NSF STE Storage Room required per STE ROOM; Refer to the STE Guidelines for additional information.
1,440	5	7,200	Assumed schedule: 1 period per day per student; 1,440 NSF (minimum size); Refer to the Science Lab Guidelines for additional information
1,440			
1,440			
200	5	1,000	(1) 200 NSF Prep Room required per Science Classroom / Lab
200			
150	1	150	(1) 150 NSF Central Chemical Storage Room required
		<b>9,060</b>	Special Education spaces require DESE review and approval.
950	6	5,700	850 NSF (minimum size) - 950 NSF; equal to the size of the proposed General Classrooms that serve the same student population.
950			
950			
950			
0			
0			
60	6	360	
500	4	2,000	1/2 size of a General Classroom
500	2	1,000	1/2 size of a General Classroom

## **S**pace Summary

**Option #3: Grades 6-8,  
Addition/Renovation (with  
Auditorium)**

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CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL		EXISTING CONDITIONS		
ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	
Testing	206	1	206	
Team Chair	147	1	147	
Psychologist	147	1	147	
SPED Adaptive PE	0	0	0	
Department Head Office	0	0	0	
SPED Conference Room	0	0	0	
OT Teaching Space	0	0	0	
OT Office	0	0	0	
Speech & Language Teaching Space	0	0	0	
Speech & Language Office	0	0	0	
Adjustment Counselor	190	2	380	
PT Workroom	0	0	0	
SPED Collaboration	0	0	0	
Educational Assessment	0	0	0	
<b>Public Day Education Spaces</b> (List rooms separately below)				
<b>Collaborative Program Spaces</b> (List rooms separately below)				
[Enter room type here]				
<b>ART &amp; MUSIC</b> 6,771				
Art Classroom	1,034	1	1,034	
Art Classroom	1,029	1	1,029	
Art Workroom with Storage and Kiln	145	2	290	
Art Workroom with Storage and Kiln	141	2	282	
Art / Digital Art Classroom	816	1	816	
Band (100 seats)	945	1	945	
Music Practice / Ensemble	0	0	0	
Orchestra	1,040	1	1,040	
Orchestra Storage	217	1	217	
Chorus	834	1	834	
Band Storage	148	1	148	
Band Storage	68	2	136	
Music Lab	0	0	0	
<b>VOCATIONS &amp; TECHNOLOGY</b> 2,608				
Technology / Engineering Rooms	1,429	1	1,429	
Technology / Engineering Rooms	985	1	985	
Technology Storage	194	1	194	
Performance Technology Studio	0	0	0	
Engineering Storage	0	0	0	
<b>HEALTH &amp; PHYSICAL EDUCATION</b> 15,890				
Gymnasium	9,414	1	9,414	
Gym Storeroom	165	1	165	
Gym Storeroom	222	1	222	
Health Instructor's Office with Shower and Toilet	202	2	404	
Locker Room - Girls with Toilets	2,370	1	2,370	
Locker Rooms - Boys with Toilets	2,115	1	2,115	
Outdoor Athletic Equipment Storage	326	1	326	
Storage	169	2	338	
Storage	139	1	139	
Storage	106	1	106	
Fitness Office	96	1	96	
Fitness Storage	195	1	195	

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0	0	0	0	0	0	0	0	0
0	1	125	125	1	125	125	1	125
0	1	125	125	1	125	125	1	125
0	1	2,000	2,000	1	2,000	2,000	1	2,000
0	1	125	125	1	125	125	1	125
0	1	500	500	1	500	500	1	500
0	1	425	425	1	425	425	1	425
0	1	125	125	1	125	125	1	125
0	1	300	300	1	300	300	1	300
0	1	125	125	1	125	125	1	125
0	0	0	0	0	0	0	0	0
0	1	450	450	1	450	450	1	450
0	2	500	250	2	500	250	2	500
0	1	125	125	1	125	125	1	125
<b>7,600</b>								
0	3	3,000	1,000	3	3,000	1,000	3	3,000
0	3	450	150	3	450	150	3	450
0	0	0	0	0	0	0	0	0
0	1	1,300	1,300	1	1,300	1,300	1	1,300
0	3	300	100	3	300	100	3	300
0	1	1,300	1,300	1	1,300	1,300	1	1,300
0	1	150	150	1	150	150	1	150
0	1	900	900	1	900	900	1	900
0	1	200	200	1	200	200	1	200
0	0	0	0	0	0	0	0	0
0	0	0	850	0	0	850	0	0
<b>5,670</b>								
0	2	2,880	1,440	2	2,880	1,440	2	2,880
0	1	900	900	1	900	900	1	900
0	1	1,440	1,440	1	1,440	1,440	1	1,440
0	3	450	150	3	450	150	3	450
<b>11,034</b>								
9,414	1	9,414	0	1	0	9,414	2	9,414
165	1	165	0	1	0	165	2	165
222	1	222	0	1	0	222	1	222
202	1	202	0	1	0	202	2	202
0	1	1,000	1,000	1	1,000	1,000	1	1,000
0	1	1,000	1,000	1	1,000	1,000	1	1,000
326	1	326	0	1	326	326	1	326
169	1	169	0	1	169	169	1	169
139	1	139	0	1	139	139	1	139
106	1	106	0	1	106	106	1	106
96	1	96	0	1	96	96	1	96
195	1	195	0	1	195	195	1	195
<b>2,000</b>								
<b>13,034</b>								

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0	0	0
125	1	125
125	1	125
2,000	1	2,000
125	1	125
500	1	500
425	1	425
125	1	125
300	1	300
125	1	125
0	0	0
450	1	450
250	2	500
125	1	125
<b>3,000</b>		
-200	1	600
0	0	0
0	1	150
0	0	0
0	0	0
-200	0	-200
-100	1	-100
1,300	1	1,300
150	1	150
900	1	900
200	1	200
0	0	0
850	0	0
<b>1,350</b>		
0	-1	-1,440
900	1	900
0	0	0
1,440	1	1,440
150	3	450
<b>4,634</b>		
3,414	1	3,414
15	1	15
222	1	222
-48	1	-48
0	-1	-1,000
1,000	1	1,000
326	1	326
169	1	169
139	1	139
106	1	106
96	1	96
195	1	195

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
0	0	0	
125	1	125	
125	1	125	
2,000	1	2,000	
125	1	125	
500	1	500	
425	1	425	
125	1	125	
300	1	300	
125	1	125	
0	0	0	
450	1	450	
250	2	500	
125	1	125	
<b>4,600</b>			
1,200	2	2,400	Assumed schedule: 50% total enrollment; 2 times per week
150	2	300	no kiln, storage only
1,500	1	1,500	Assumed schedule: 50% total enrollment; 2 times per week
200	2	400	
<b>4,320</b> <u>STE Guidelines Policy</u>			
1,440	3	4,320	Assumed schedule: 50% total enrollment; 5 times per week; 850 NSF (minimum size) - 2,000 NSF (maximum size); Refer to the <u>STE Guidelines</u> for additional information.
900	1	900	
0	0	0	
1,440	1	1,440	
150	3	450	
<b>8,400</b> <u>Excess Physical Education Spaces Policy</u>			
6,000	1	6,000	
150	1	150	
222	1	222	
250	1	250	
1,000	2	2,000	

## **S**pace Summary

**Option #3: Grades 6-8,  
Addition/Renovation (with  
Auditorium)**

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CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>MEDIA CENTER</b>	<b>4,373</b>		
Media Center / Reading Room	3,995	1	3,995
Media Office	73	1	73
Technology Office	305	1	305
Media Center Storage	0	0	0
Media Center - Commons	0	0	0
Media Center - Presentation	0	0	0
<b>DINING &amp; FOOD SERVICE</b>	<b>9,497</b>		
Cafeteria / Dining	4,795	1	4,795
Stage & Theater Classroom	1,266	1	1,266
Chair / Table / Equipment Storage	0	0	0
Kitchen	2,224	1	2,224
Staff Lunch Room	87	1	87
Staff Lunch Room	180	1	180
Dishwashing	197	1	197
Food Service Office	72	1	72
Food Service Storage	122	1	122
Food Service Storage	116	1	116
Food Service Storage - Dry	334	1	334
Kitchen Staff Locker	63	1	63
Kitchen Staff Toilet	41	1	41
5/6 Student Dining	0	0	0
7/8 Student Dining	0	0	0
Supplemental Dining	0	0	0
<b>MEDICAL</b>	<b>573</b>		
Medical Suite Toilet	22	1	22
Nurse's Office / Waiting Room	127	1	127
Nurse's Office	118	1	118
Examination Room / Resting	306	1	306
Isolated Resting	0	0	0
<b>ADMINISTRATION &amp; GUIDANCE</b>	<b>2,527</b>		
General Office / Waiting Room with Toilet (no toilet)	345	1	345
Teachers' Mail and Time Room	112	1	112
Copy Room	118	1	118
Records Room	59	1	59
Principal's Office with Conference Area	152	1	152
Principal's Secretary / Waiting	0	0	0
Assistant Principal's Office - AP1	156	1	156
Assistant Principal's Office - AP2	0	0	0
Supervisory / Spare Office ( <i>Dean of Students</i> )	179	1	179
Conference Room	209	1	209
Guidance Office	105	3	315
Guidance Waiting Room	135	1	135
Guidance Storeroom	0	0	0
Teachers' Work Room	300	1	300
Teachers' Work Room	239	1	239
Attendance	135	1	135
Instructional Coach	73	1	73
Guidance Conference Room	0	0	0
School Resource Officer	0	0	0
Adjustment Counselor	0	0	0
<b>CUSTODIAL &amp; MAINTENANCE</b>	<b>1,850</b>		

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0			4,750			4,750		
		0	1,000	1	1,000	1,000	1	1,000
		0	200	1	200	200	1	200
		0	300	1	300	300	1	300
		0	190	1	190	190	1	190
		0	170	9	1,530	170	9	1,530
		0	170	9	1,530	170	9	1,530
3,000			5,990			8,990		
		0	5,200	1	5,200	5,200	1	5,200
		0			0	0	0	0
500	1	500	0	0	0	500	1	500
2,500	1	2,500	0	0	0	2,500	1	2,500
		0	290	1	290	290	1	290
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0	500	1	500	500	1	500
0			710			710		
		0	60	1	60	60	1	60
		0	100	1	100	100	1	100
		0	150	1	150	150	1	150
		0	300	1	300	300	1	300
		0	100	1	100	100	1	100
0			3,560			3,560		
		0	480	1	480	480	1	480
		0	100	1	100	100	1	100
		0	200	1	200	200	1	200
		0	100	1	100	100	1	100
		0	350	1	350	350	1	350
		0	125	1	125	125	1	125
		0	150	1	150	150	1	150
		0	0	0	0	0	0	0
		0	150	1	150	150	1	150
		0	150	1	150	150	1	150
		0	350	1	350	350	1	350
		0	150	3	450	150	3	450
		0	100	1	100	100	1	100
		0	50	1	50	50	1	50
		0	0	1	0	0	1	0
		0			0	0	0	0
		0			0	0	0	0
		0	125	1	125	125	1	125
		0	300	1	300	300	1	300
		0	125	1	125	125	1	125
		0	135	3	405	135	3	405
4,542			300			4,842		

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0		
-3,750	0	-3,750
200	1	200
300	1	300
190	1	190
170	9	1,530
170	9	1,530
-1,113		
-500	0	-500
-1,600	-1	-1,600
47	0	47
440	0	440
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
500	1	500
0		
0	0	0
-150	0	-150
150	1	150
200	-3	-100
100	1	100
0		
0	0	0
0	0	0
0	0	0
-100	0	-100
-25	0	-25
0	0	0
0	0	0
-150	-1	-150
0	0	0
0	0	0
0	-1	-150
0	0	0
0	0	0
0	0	0
0	0	0
-530	0	-530
2,607		

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)				
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS	
4,750				
4,750	1	4,750		
10,103				
5,700	1	5,700	Based on 2 lunch seatings - 15 NSF per seat	
1,600	1	1,600		
453	1	453		
2,060	1	2,060	1,600 NSF for first 300 students + 1 NSF per additional student	
290	1	290	20 NSF per student	
			20 NSF per student	
710				
60	1	60		
250	1	250		
3,560				
480	1	480		
100	1	100		
200	1	200		
200	1	200		
375	1	375		
125	1	125		
150	1	150		
150	1	150		
150	1	150		
350	1	350		
150	4	600		
100	1	100		
50	1	50		
530	1	530		
2,235				

## **S**pace Summary

**Option #3: Grades 6-8,  
Addition/Renovation (with  
Auditorium)**

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CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
Custodian's Office with Toilet	189	1	189
Custodian's Workshop	0	0	0
Custodian's Storage	168	1	168
Recycling Room / Trash	0	0	0
Receiving and General Supply	282	1	282
Storeroom	521	1	521
Network / Telecom Room)	170	1	170
Custodial Closets w mop sink (total of 5)	463	1	463
Can Wash	57	1	57
Custodian's Break Room	0	0	0
Toilet/Shower	0	0	0
Satellite Storage	0	0	0
<b>OTHER</b>	<b>0</b>		
(List rooms separately below)			
Auditorium (600 Seat)	0	0	0
Stage	0	0	0
Stage Storage	0	0	0
Total Building Net Floor Area (NFA)			<b>88,366</b>
Proposed Student Capacity / Enrollment			
<b>NON-PROGRAMMED SPACES</b>	<b>32,177</b>		
<b>Other Occupied Rooms</b> (List rooms separately below)			
Unoccupied MEP / FP Spaces	2,721	1	2,721
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182
Toilet Rooms	2,415	1	2,415
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859
Remaining <sup>3</sup>			
Total Building Gross Floor Area (GFA) <sup>2</sup>			<b>131,903</b>
Grossing Factor (GFA / NFA)			<b>1.49</b>

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
200	1	200	0	0	0	200	1	200
800	1	800	0	0	0	800	1	800
935	1	935	0	0	0	935	1	935
400	1	400	0	0	0	400	1	400
800	1	800	0	0	0	800	1	800
800	1	800	0	0	0	800	1	800
300	1	300	0	0	0	300	1	300
57	1	57	0	0	0	57	1	57
250	1	250	0	0	0	250	1	250
0	0	0	0	0	0	0	0	0
0	0	0	100	3	300	100	3	300
<b>0</b>					<b>9,400</b>			<b>9,400</b>
0	0	0	7,000	1	7,000	7,000	1	7,000
			2,000	1	2,000	2,000	1	2,000
			400	1	400	400	1	400
<b>18,576</b>					<b>106,775</b>			<b>124,631</b>
<b>% of GFA</b>	<b>21,024</b>		<b>% of GFA</b>	<b>63,380</b>		<b>% of GFA</b>	<b>85,124</b>	
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	53.1%	<b>21,024</b>	-	37.2%	<b>63,380</b>	-	40.6%	<b>85,124</b>
<b>39,600</b>			<b>170,155</b>			<b>209,755</b>		
<b>2.13</b>			<b>1.59</b>			<b>1.68</b>		

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
50	0	50
550	0	550
560	0	560
0	0	0
447	0	447
293	0	293
100	0	100
0	0	0
57	1	57
250	1	250
0	0	0
100	3	300
<b>9,400</b>		
5,800	1	7,000
2,000	1	2,000
400	1	400
<b>37,843</b>		
<b>85,124</b>		
<b>88,155</b>		
<b>0.28</b>		

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
150	1	150	
250	1	250	
375	1	375	
400	1	400	
353	1	353	
507	1	507	
200	1	200	
<b>0</b>			
1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)
<b>86,788</b>			<b>Total Building Net Floor Area (NFA)</b>
<b># of Grades</b>	<b>3</b>		
Grade 5	0	<b>760</b>	<b>Total Enrollment (Enter Design Enrollment)</b>
Grade 6	1	<b>250</b>	Lower Middle School Enrollment (Grades 5-6)
Grade 7	1	<b>510</b>	Upper Middle School Enrollment (Grades 7-8)
Grade 8	1		
			Complete this category with Schematic Design Submittal
<b>121,600</b>			<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>
<b>1.40</b>			<b>Grossing Factor (GFA / NFA)</b>

<sup>1</sup> Individual Room Net Floor Area (NFA)

Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

46404

<sup>2</sup> Total Building Gross Floor Area (GFA)

Includes the entire building gross square footage measured from the outside face of exterior walls.

49458

36041

<sup>3</sup> Remaining

Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

131903

Architect Certification

I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.

Name of Architecture Firm: Ai3 Architects, LLC

Name of Principal Architect: Justin P. Thibeault, AIA, NCARB

Signature of Principal Architect:

Date: October 27, 2023



## **S**pace Summary

**Option #4: Grades 6-8, New  
Construction (NO Auditorium)**

page 1

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>CORE ACADEMIC</b>			<b>35,559</b>
(List rooms of different sizes separately)			
General Classroom	0	0	0
General Classroom	616	1	616
General Classroom	763	1	763
General Classroom	794	5	3,970
General Classroom	801	12	9,612
General Classroom	804	1	804
General Classroom	813	1	813
General Classroom	818	2	1,636
General Classroom	826	5	4,130
General Classroom	831	1	831
General Classroom	835	1	835
General Classroom	866	2	1,732
General Classroom	887	1	887
Total Number of General Academic Classrooms		<b>33</b>	
Small Group Seminar (20-30 seats)	0	0	0
Science, Technology, Engineering (STE) Room (Grades 6)	794	1	794
Science, Technology, Engineering (STE) Room (Grades 6)	801	1	801
STE Storage Room	0	0	0
Science Classroom / Lab (Grade 7)	777	1	777
Science Classroom / Lab (Grade 7)	855	2	1,710
Science Classroom / Lab (Grade 8)	863	2	1,726
Science Classroom / Lab (Grade 8)	1,032	1	1,032
Prep Room - 7th	224	1	224
Prep Room - 8th	295	1	295
Central Chemical Storage Room	0	0	0
Multi Language Classroom	184	1	184
World Language	0	0	0
World Language Lab	0	0	0
Teacher Collaboration	0	0	0
Student Collaboration	0	0	0
Health Classroom	1,387	1	1,387
<b>SPECIAL EDUCATION</b>			<b>8,718</b>
(List rooms of different sizes separately)			
Self-Contained Special Education Classroom - Therapeutic 6 & 7	817	1	817
Self-Contained Special Education Classroom - Therapeutic 8	831	1	831
Self-Contained Special Education Classroom - Life Skills	1,264	1	1,264
Self-Contained Special Education Classroom - Life Skills	1,251	1	1,251
Self-Contained Special Education Classroom -6th	831	1	831
Self-Contained Special Education Classroom - 6th	813	1	813
Self-Contained Special Education Classroom - 7th	796	1	796
Self-Contained Special Education Classroom - 8th	801	1	801
Self-Contained Special Education Toilet Room	0	0	0
Resource Room	0	0	0
Small Group Room	0	0	0
Home Base Program	434	1	434
Home Base Program Toilet Room			
Live Skills (ACCESS) Kitchen			

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0			49,990			49,990		
		0	850	27	22,950	850	27	22,950
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0			0	0	0	0
		0	1,080	3	3,240	1,080	3	3,240
		0			0	0	0	0
		0	120	3	360	120	3	360
		0			0	0	0	0
		0	1,440	3	4,320	1,440	3	4,320
		0			0	0	0	0
		0	1,440	3	4,320	1,440	3	4,320
		0			0	0	0	0
		0	150	3	450	150	3	450
		0	150	3	450	150	3	450
		0	200	1	200	200	1	200
		0	500	2	1,000	500	2	1,000
		0	850	6	5,100	850	6	5,100
		0	850	1	850	850	1	850
		0	600	9	5,400	600	9	5,400
		0	150	9	1,350	150	9	1,350
		0			0	0	0	0
0			16,805			16,085		
		0	850	1	850	850	1	850
		0	850	1	850	850	1	850
		0	1,000	2	2,000	1,000	2	2,000
		0			0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	0	0	0	0	0	0
		0	90	4	360	90	4	360
		0	450	9	4,050	450	9	4,050
		0	150	9	1,350	150	9	1,350
		0	850	2	1,700	850	2	1,700
		0	60	2	120			
		0	600	1	600			

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
10,940		
-50	-2	-3,150
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-900	0	0
-500	-2	-1,000
0	0	0
-1,080	0	0
0	0	0
0	-2	-2,880
-1,440	0	0
0	3	4,320
-1,440	0	0
-50	-2	-550
-50	3	450
50	0	50
500	2	1,000
850	6	5,100
850	1	850
600	9	5,400
150	9	1,350
0	0	0
7,025		
-100	-5	-4,850
-100	1	850
50	2	2,000
-950	0	0
-950	0	0
-950	0	0
0	0	0
0	0	0
30	-2	90
-50	5	2,050
-350	7	350
850	2	1,700

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
39,050			<a href="#">STE Guidelines Policy</a>
900	29	26,100	850 NSF (minimum size) - 950 NSF (maximum size)
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
900			
500	2	1,000	
1,080	3	3,240	1,080 NSF (minimum size); Refer to the <a href="#">STE Guidelines</a> for additional information.
1,080			
120	3	360	Minimum of (1) 120 NSF STE Storage Room required per STE Room; Refer to the <a href="#">STE Guidelines</a> for additional information.
1,440	5	7,200	Assumed schedule: 1 period per day per student; 1,440 NSF (minimum size); Refer to the <a href="#">Science Lab Guidelines</a> for additional information
1,440			
1,440			
200	5	1,000	(1) 200 NSF Prep Room required per Science Classroom / Lab
200			
150	1	150	(1) 150 NSF Central Chemical Storage Room required
9,060			Special Education spaces require DESE review and approval.
950	6	5,700	850 NSF (minimum size) - 950 NSF; equal to the size of the proposed General Classrooms that serve the same student population.
950			
950			
950			
950			
0			
0			
60	6	360	
500	4	2,000	1/2 size of a General Classroom
500	2	1,000	1/2 size of a General Classroom

**Option #4: Grades 6-8, New  
Construction (NO Auditorium)**

page 2



**Option #4: Grades 6-8, New  
Construction (NO Auditorium)**

page 3

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
EXISTING CONDITIONS			
ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>MEDIA CENTER</b>			<b>4,373</b>
Media Center / Reading Room	3,995	1	3,995
Media Office	73	1	73
Technology Office	305	1	305
Media Center Storage	0	0	0
Media Center - Commons	0	0	0
Media Center - Presentation	0	0	0
<b>DINING &amp; FOOD SERVICE</b>			<b>9,497</b>
Cafeteria / Dining	4,795	1	4,795
Stage & Theater Classroom	1,266	1	1,266
Chair / Table / Equipment Storage	0	0	0
Kitchen	2,224	1	2,224
Staff Lunch Room	87	1	87
Staff Lunch Room	180	1	180
Dishwashing	197	1	197
Food Service Office	72	1	72
Food Service Storage	122	1	122
Food Service Storage	116	1	116
Food Service Storage - Dry	334	1	334
Kitchen Staff Locker	63	1	63
Kitchen Staff Toilet	41	1	41
5/6 Student Dining	0	0	0
7/8 Student Dining	0	0	0
Supplemental Dining	0	0	0
<b>MEDICAL</b>			<b>573</b>
Medical Suite Toilet	22	1	22
Nurse's Office / Waiting Room	127	1	127
Nurse's Office	118	1	118
Examination Room / Resting	306	1	306
Isolated Resting	0	0	0
<b>ADMINISTRATION &amp; GUIDANCE</b>			<b>2,527</b>
General Office / Waiting Room with Toilet (no toilet)	345	1	345
Teachers' Mail and Time Room	112	1	112
Copy Room	118	1	118
Records Room	59	1	59
Principal's Office with Conference Area	152	1	152
Principal's Secretary / Waiting	0	0	0
Assistant Principal's Office - AP1	156	1	156
Assistant Principal's Office - AP2	0	0	0
Supervisory / Spare Office (Dean of Students)	179	1	179
Conference Room	209	1	209
Guidance Office	105	3	315
Guidance Waiting Room	135	1	135
Guidance Storeroom	0	0	0
Teachers' Work Room	300	1	300
Teachers' Work Room	239	1	239
Attendance	135	1	135
Instructional Coach	73	1	73
Guidance Conference Room	0	0	0
School Resource Officer	0	0	0
Adjustment Counselor	0	0	0
<b>CUSTODIAL &amp; MAINTENANCE</b>			<b>1,850</b>

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0			4,750			4,750		
0		0	1,000	1	1,000	1,000	1	1,000
0		0	200	1	200	200	1	200
0		0	300	1	300	300	1	300
0		0	190	1	190	190	1	190
0		0	170	9	1,530	170	9	1,530
0		0	170	9	1,530	170	9	1,530
0			10,503			10,503		
0		0	5,200	1	5,200	5,200	1	5,200
0		0	2,000	1	2,000	2,000	1	2,000
0		0	453	1	453	453	1	453
0		0	2,060	1	2,060	2,060	1	2,060
0		0	290	1	290	290	1	290
0		0			0	0	0	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0	500	1	500	500	1	500
0			710			710		
0		0	60	1	60	60	1	60
0		0	100	1	100	100	1	100
0		0	150	1	150	150	1	150
0		0	300	1	300	300	1	300
0		0	100	1	100	100	1	100
0			3,560			3,560		
0		0	480	1	480	480	1	480
0		0	100	1	100	100	1	100
0		0	200	1	200	200	1	200
0		0	100	1	100	100	1	100
0		0	350	1	350	350	1	350
0		0	125	1	125	125	1	125
0		0	150	1	150	150	1	150
0		0	0	0	0	0	0	0
0		0	150	1	150	150	1	150
0		0	350	1	350	350	1	350
0		0	150	3	450	150	3	450
0		0	100	1	100	100	1	100
0		0	50	1	50	50	1	50
0		0	0	1	0	0	1	0
0		0			0	0	0	0
0		0			0	0	0	0
0		0	125	1	125	125	1	125
0		0	300	1	300	300	1	300
0		0	125	1	125	125	1	125
0		0	135	3	405	135	3	405
0			2,235			2,235		

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0		
-3,750	0	-3,750
200	1	200
300	1	300
190	1	190
170	9	1,530
170	9	1,530
400		
-500	0	-500
400	0	400
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
0	0	0
500	1	500
0		
0	0	0
-150	0	-150
150	1	150
200	-3	-100
100	1	100
0		
0	0	0
0	0	0
0	0	0
-100	0	-100
-25	0	-25
0	0	0
0	0	0
-150	-1	-150
0	0	0
0	-1	-150
0	0	0
0	0	0
0	0	0
-530	0	-530
0		
125	1	125
300	1	300
125	1	125
135	3	405
0		

MSBA GUIDELINES (DO NOT MODIFY) <i>(Refer to Educational Facility Planning for additional information)</i>			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
4,750			
4,750	1	4,750	
10,103			
5,700	1	5,700	Based on 2 lunch seatings - 15 NSF per seat
1,600	1	1,600	
453	1	453	
2,060	1	2,060	1,600 NSF for first 300 students + 1 NSF per additional student
290	1	290	20 NSF per student
			20 NSF per student
710			
60	1	60	
250	1	250	
3,560			
480	1	480	
100	1	100	
200	1	200	
200	1	200	
375	1	375	
125	1	125	
150	1	150	
150	1	150	
150	1	150	
350	1	350	
150	4	600	
100	1	100	
50	1	50	
530	1	530	
2,235			

**Option #4: Grades 6-8, New  
Construction (NO Auditorium)**

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Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL	EXISTING CONDITIONS			PROPOSED PROGRAM									VARIATION TO MSBA GUIDELINES			MSBA GUIDELINES (DO NOT MODIFY) <small>(Refer to Educational Facility Planning for additional information)</small>				
	ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
Custodian's Office <i>with Toilet</i>	189	1	189	0	120	1	120	120	1	120	-30	0	-30	150	1	150				
Custodian's Workshop	0	0	0	0	200	1	200	200	1	200	-50	0	-50	250	1	250				
Custodian's Storage	168	1	168	0	350	1	350	350	1	350	-25	0	-25	375	1	375				
Recycling Room / Trash	0	0	0	0	340	1	340	340	1	340	-60	0	-60	400	1	400				
Receiving and General Supply	282	1	282	0	340	1	340	340	1	340	-13	0	-13	353	1	353				
Storeroom	521	1	521	0	150	1	150	150	1	150	-357	0	-357	507	1	507				
Network / Telecom Room)	170	1	170	0	200	1	200	200	1	200	0	0	0	200	1	200				
<i>Custodial Closets w mop sink (total of 5)</i>	463	1	463	0			0	0	0	0	0	0	0							
Can Wash	57	1	57	0			0	0	0	0	0	0	0							
Custodian's Break Room	0	0	0	0	150	1	150	150	1	150	150	1	150							
Toilet/Shower	0	0	0	0	85	1	85	85	1	85	85	1	85							
Satellite Storage	0	0	0	0	100	3	300	100	3	300	100	3	300							
<b>OTHER</b>			<b>0</b>				<b>400</b>			<b>400</b>			<b>400</b>			<b>0</b>				
(List rooms separately below)																				
Auditorium (600 Seat)	0	0	0	0	0	0	0	0	0	0	-1,200	0	0	1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)			
Stage	0	0	0	0	0	0	0	0	0	0	0	0	0							
Stage Storage	0	0	0	0	400	1	400	400	1	400	400	1	400							
<b>Total Building Net Floor Area (NFA)</b>			<b>88,366</b>	<b>0</b>			<b>116,623</b>			<b>115,903</b>			<b>29,115</b>			<b>86,788</b>	<b>Total Building Net Floor Area (NFA)</b>			
Proposed Student Capacity / Enrollment																				
<b>NON-PROGRAMMED SPACES</b>			<b>32,177</b>	<b>% of GFA</b>	<b>0</b>	<b>% of GFA</b>	<b>58,312</b>	<b>% of GFA</b>	<b>59,032</b>	<b>59,032</b>			<b>59,032</b>							
<b>Other Occupied Rooms</b> (List rooms separately below)																				
Unoccupied MEP / FP Spaces	2,721	1	2,721	-	#DIV/0!		-	0.0%		-	0.0%		0							
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182	-	#DIV/0!		-	0.0%		-	0.0%		0							
Toilet Rooms	2,415	1	2,415	-	#DIV/0!		-	0.0%		-	0.0%		0							
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859	-	#DIV/0!		-	0.0%		-	0.0%		0							
Remaining <sup>3</sup>				-	#DIV/0!	<b>0</b>	-	33.3%	<b>58,312</b>	-	33.7%	<b>59,032</b>								
<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>			<b>131,903</b>	<b>0</b>			<b>174,935</b>			<b>174,935</b>			<b>53,335</b>			<b>121,600</b>	<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>			
Grossing Factor (GFA / NFA)			<b>1.49</b>	<b>#DIV/0!</b>			<b>1.50</b>			<b>1.51</b>			<b>0.11</b>			<b>1.40</b>	<b>Grossing Factor (GFA / NFA)</b>			

<sup>1</sup> **Individual Room Net Floor Area (NFA)** Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

<sup>2</sup> **Total Building Gross Floor Area (GFA)** Includes the entire building gross square footage measured from the outside face of exterior walls.

<sup>3</sup> **Remaining** Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

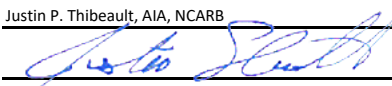
46404  
49458  
36041  
131903

**Architect Certification**

I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.

Name of Architecture Firm: Ai3 Architects, LLC

Name of Principal Architect: Justin P. Thibeault, AIA, NCARB

Signature of Principal Architect: 

Date: October 27, 2023



## **S**pace Summary

**Option #5: Grades 6-8, New  
Construction (with Auditorium)**

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**Option #5: Grades 6-8, New  
Construction (with Auditorium)**

page 2

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL				EXISTING CONDITIONS			PROPOSED PROGRAM									VARIATION TO MSBA GUIDELINES			MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)						
ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL			ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
Testing	206	1	206	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
Team Chair	147	1	147	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
Psychologist	147	1	147	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
SPED Adaptive PE	0	0	0	0	2,000	1	2,000	2,000	1	2,000	2,000	1	2,000	2,000	1	2,000	2,000	1	2,000	2,000	1	2,000	2,000		
Department Head Office	0	0	0	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
SPED Conference Room	0	0	0	0	500	1	500	500	1	500	500	1	500	500	1	500	500	1	500	500	1	500	500		
OT Teaching Space	0	0	0	0	425	1	425	425	1	425	425	1	425	425	1	425	425	1	425	425	1	425	425		
OT Office	0	0	0	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
Speech & Language Teaching Space	0	0	0	0	300	1	300	300	1	300	300	1	300	300	1	300	300	1	300	300	1	300	300		
Speech & Language Office	0	0	0	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
Adjustment Counselor	190	2	380	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
PT Workroom	0	0	0	0	450	1	450	450	1	450	450	1	450	450	1	450	450	1	450	450	1	450	450		
SPED Collaboration	0	0	0	0	250	2	500	250	2	500	250	2	500	250	2	500	250	2	500	250	2	500	500		
Educational Assessment	0	0	0	0	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125	1	125	125		
<b>Public Day Education Spaces (List rooms separately below)</b>																									
<b>Collaborative Program Spaces (List rooms separately below)</b>																									
[Enter room type here]			0				0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0		
<b>ART &amp; MUSIC</b>			<b>6,771</b>	<b>0</b>			<b>7,600</b>			<b>7,600</b>			<b>3,000</b>												
Art Classroom	1,034	1	1,034	0	1,000	3	3,000	1,000	3	3,000	-200	1	600	1,200	2	2,400	Assumed schedule: 50% total enrollment; 2 times per week								
Art Classroom	1,029	1	1,029	0			0	0	0	0	0	0	0												
Art Workroom with Storage and Kiln	145	2	290	0	150	3	450	150	3	450	0	1	150	150	2	300	no kiln, storage only								
Art Workroom with Storage and Kiln	141	2	282	0			0	0	0	0	0	0	0												
Art / Digital Art Classroom	816	1	816	0			0	0	0	0	0	0	0												
Band (100 seats)	945	1	945	0	1,300	1	1,300	1,300	1	1,300	-200	0	-200	1,500	1	1,500	Assumed schedule: 50% total enrollment; 2 times per week								
Music Practice / Ensemble	0	0	0	0	100	3	300	100	3	300	-100	1	-100	200	2	400									
Orchestra	1,040	1	1,040	0	1,300	1	1,300	1,300	1	1,300	1,300	1	1,300												
Orchestra Storage	217	1	217	0	150	1	150	150	1	150	150	1	150												
Chorus	834	1	834	0	900	1	900	900	1	900	900	1	900												
Band Storage	148	1	148	0	200	1	200	200	1	200	200	1	200												
Band Storage	68	2	136	0			0	0	0	0	0	0	0												
Music Lab	0	0	0	0	850	0	0	850	0	0	850	0	0												
<b>VOCATIONS &amp; TECHNOLOGY</b>			<b>2,608</b>	<b>0</b>			<b>5,670</b>			<b>5,670</b>			<b>1,350</b>												
Technology / Engineering Rooms	1,429	1	1,429	0	1,440	2	2,880	1,440	2	2,880	0	-1	-1,440	1,440	3	4,320	STE Guidelines Policy Assumed schedule: 50% total enrollment; 5 times per week; 850 NSF (minimum size) - 2,000 NSF (maximum size); Refer to the STE Guidelines for additional information.								
Technology / Engineering Rooms	985	1	985	0	900	1	900	900	1	900	900	1	900												
Technology Storage	194	1	194	0			0	0	0	0	0	0	0												
Performance Technology Studio	0	0	0	0	1,440	1	1,440	1,440	1	1,440	1,440	1	1,440												
Engineering Storage	0	0	0	0	150	3	450	150	3	450	150	3	450												
<b>HEALTH &amp; PHYSICAL EDUCATION</b>			<b>15,890</b>	<b>0</b>			<b>14,400</b>			<b>14,400</b>			<b>6,000</b>												
Gymnasium	9,414	1	9,414	0	12,000	1	12,000	12,000	1	12,000	6,000	0	6,000	6,000	1	6,000	Excess Physical Education Spaces Policy								
Gym Storeroom	165	1	165	0	450	1	450	450	1	450	300	0	300	150	1	150									
Gym Storeroom	222	1	222	0			0	0	0	0	0	0	0												
Health Instructor's Office with Shower and Toilet	202	2	404	0	350	1	350	350	1	350	100	0	100	250	1	250									
Locker Room - Girls with Toilets	2,370	1	2,370	0	800	1	800	800	1	800	-200	-1	-1,200	1,000	2	2,000									
Locker Rooms - Boys with Toilets	2,115	1	2,115	0	800	1	800	800	1	800	800	1	800												
Outdoor Athletic Equipment Storage	326	1	326	0			0	0	0	0	0	0	0												
Storage	169	2	338	0			0	0	0	0	0	0	0												
Storage	139	1	139	0			0	0	0	0	0	0	0												
Storage	106	1	106	0			0	0	0	0	0	0	0												
Fitness Office	96	1	96	0			0	0	0	0	0	0	0												
Fitness Storage	195	1	195	0			0	0	0	0	0	0	0												

**Option #5: Grades 6-8, New  
Construction (with Auditorium)**

page 3



**Option #5: Grades 6-8, New  
Construction (with Auditorium)**

page 4

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL				EXISTING CONDITIONS			PROPOSED PROGRAM									VARIATION TO MSBA GUIDELINES			MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)						
ROOM TYPE	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL			ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
Custodian's Office with Toilet	189	1	189				120	1	120	120	1	120	-30	0	-30				150	1	150				
Custodian's Workshop	0	0	0				200	1	200	200	1	200	-50	0	-50				250	1	250				
Custodian's Storage	168	1	168				350	1	350	350	1	350	-25	0	-25				375	1	375				
Recycling Room / Trash	0	0	0				340	1	340	340	1	340	-60	0	-60				400	1	400				
Receiving and General Supply	282	1	282				340	1	340	340	1	340	-13	0	-13				353	1	353				
Storeroom	521	1	521				150	1	150	150	1	150	-357	0	-357				507	1	507				
Network / Telecom Room)	170	1	170				200	1	200	200	1	200	0	0	0				200	1	200				
Custodial Closets w mop sink (total of 5)	463	1	463						0	0	0	0	0	0	0										
Can Wash	57	1	57						0	0	0	0	0	0	0										
Custodian's Break Room	0	0	0				150	1	150	150	1	150	150	1	150										
Toilet/Shower	0	0	0				85	1	85	85	1	85	85	1	85										
Satelitte Storage	0	0	0				100	3	300	100	3	300	100	3	300										
<b>OTHER</b>			<b>0</b>						<b>9,400</b>			<b>9,400</b>			<b>9,400</b>						<b>0</b>				
(List rooms separately below)																									
Auditorium (600 Seat)	0	0	0				7,000	1	7,000	7,000	1	7,000	5,800	1	7,000				1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)			
Stage	0	0	0				2,000	1	2,000	2,000	1	2,000	2,000	1	2,000										
Stage Storage	0	0	0				400	1	400	400	1	400	400	1	400										
Total Building Net Floor Area (NFA)			<b>88,366</b>			<b>0</b>			<b>123,623</b>			<b>123,623</b>			<b>36,835</b>						<b>86,788</b>	Total Building Net Floor Area (NFA)			
Proposed Student Capacity / Enrollment																					<b>3</b>	# of Grades			
																					<b>0</b>	<b>760</b>	Total Enrollment (Enter Design Enrollment)		
																					<b>1</b>	<b>250</b>	Lower Middle School Enrollment (Grades 5-6)		
																					<b>1</b>	<b>510</b>	Upper Middle School Enrollment (Grades 7-8)		
																					<b>1</b>				
<b>NON-PROGRAMMED SPACES</b>			<b>32,177</b>				<b>% of GFA 0</b>		<b>% of GFA 61,812</b>			<b>% of GFA 61,812</b>			<b>61,812</b>							Complete this category with Schematic Design Submittal			
<b>Other Occupied Rooms (List rooms separately below)</b>																									
Unoccupied MEP / FP Spaces	2,721	1	2,721				-	#DIV/0!	-	0.0%	-	0.0%	-	0.0%	0										
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182				-	#DIV/0!	-	0.0%	-	0.0%	-	0.0%	0										
Toilet Rooms	2,415	1	2,415				-	#DIV/0!	-	0.0%	-	0.0%	-	0.0%	0										
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859				-	#DIV/0!	-	0.0%	-	0.0%	-	0.0%	0										
Remaining <sup>3</sup>							-	#DIV/0!	0	-	33.3%	61,812	-	33.3%	61,812										
Total Building Gross Floor Area (GFA) <sup>2</sup>			<b>131,903</b>			<b>0</b>			<b>185,435</b>			<b>185,435</b>			<b>63,835</b>						<b>121,600</b>	Total Building Gross Floor Area (GFA) <sup>2</sup>			
Grossing Factor (GFA / NFA)			<b>1.49</b>			<b>#DIV/0!</b>			<b>1.50</b>			<b>1.50</b>			<b>0.10</b>						<b>1.40</b>	Grossing Factor (GFA / NFA)			

<sup>1</sup> Individual Room Net Floor Area (NFA) Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

<sup>2</sup> Total Building Gross Floor Area (GFA) Includes the entire building gross square footage measured from the outside face of exterior walls.

<sup>3</sup> Remaining Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

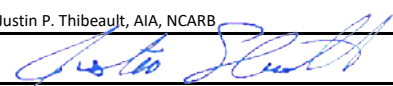
46404  
49458  
36041  
131903

**Architect Certification**

I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.

Name of Architecture Firm: Ai3 Architects, LLC

Name of Principal Architect: Justin P. Thibeault, AIA, NCARB

Signature of Principal Architect: 

Date: October 27, 2023



## **S**pace Summary

**Option #6: Grades 5-8,  
Addition/Renovation (NO  
Auditorium)**

page 1



## **S**pace Summary

**Option #6: Grades 5-8,  
Addition/Renovation (NO  
Auditorium)**

page 2



## **S**pace Summary

**Option #6: Grades 5-8,  
Addition/Renovation (NO  
Auditorium)**

page 3



## **S**pace Summary

**Option #6: Grades 5-8,  
Addition/Renovation (NO  
Auditorium)**

page 4

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
Can Wash	57	1	57
Custodian's Break Room	0	0	0
Toilet/Shower	0	0	0
Satellite Storage	0	0	0
<b>OTHER</b>	<b>0</b>		
(List rooms separately below)			
Auditorium (600 Seat)	0	0	0
Stage	0	0	0
Stage Storage	0	0	0
Total Building Net Floor Area (NFA)			88,366
Proposed Student Capacity / Enrollment			
<b>NON-PROGRAMMED SPACES</b> 32,177			
Other Occupied Rooms (List rooms separately below)			
Unoccupied MEP / FP Spaces	2,721	1	2,721
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182
Toilet Rooms	2,415	1	2,415
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859
Remaining <sup>3</sup>			
Total Building Gross Floor Area (GFA) <sup>2</sup>			131,903
Grossing Factor (GFA / NFA)			1.49

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
57	1	57			0	57	1	57
250	1	250	0	0	0	250	1	250
		0	0	0	0	0	0	0
		0	100	3	300	100	3	300
<b>0</b>			<b>400</b>			<b>400</b>		
		0	0	1	0	0	1	0
			0	1	0	0	1	0
			400	1	400	400	1	400
18,576			118,670			137,246		
% of GFA 21,024			% of GFA 70,130			% of GFA 91,154		
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	53.1%	21,024	-	37.1%	70,130	-	39.9%	91,154
39,600			188,800			228,400		
2.13			1.59			1.66		

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
57	1	57
250	1	250
0	0	0
100	3	300
<b>400</b>		
-1,200	1	0
0	1	0
400	1	400
<b>27,081</b>		
<b>91,154</b>		
<b>65,200</b>		
<b>0.18</b>		

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)
110,165			Total Building Net Floor Area (NFA)
# of Grades	4		
Grade 5	1	1,020	Total Enrollment (Enter Design Enrollment)
Grade 6	1	510	Lower Middle School Enrollment (Grades 5-6)
Grade 7	1	510	Upper Middle School Enrollment (Grades 7-8)
Grade 8	1		
			Complete this category with Schematic Design Submittal
163,200			Total Building Gross Floor Area (GFA) <sup>2</sup>
1.48			Grossing Factor (GFA / NFA)

<sup>1</sup> Individual Room Net Floor Area (NFA)

Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

46404

<sup>2</sup> Total Building Gross Floor Area (GFA)

Includes the entire building gross square footage measured from the outside face of exterior walls.

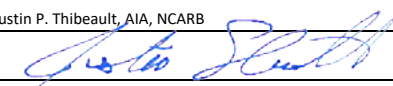
49458

<sup>3</sup> Remaining

Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

36041

131903

<b>Architect Certification</b>	<p>I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.</p> <p style="text-align: center;">Name of Architecture Firm: <u>Ai3 Architects, LLC</u></p> <p style="text-align: center;">Name of Principal Architect: <u>Justin P. Thibeault, AIA, NCARB</u></p> <p style="text-align: center;">Signature of Principal Architect: </p> <p style="text-align: center;">Date: <u>October 27, 2023</u></p>
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## **S**pace Summary

**Option #7: Grades 5-8,  
Addition/Renovation (with  
Auditorium)**

page 1



## **S**pace Summary

**Option #7: Grades 5-8,  
Addition/Renovation (with  
Auditorium)**

page 2



## **S**pace Summary

**Option #7: Grades 5-8,  
Addition/Renovation (with  
Auditorium)**

page 3



## **S**pace Summary

**Option #7: Grades 5-8,  
Addition/Renovation (with  
Auditorium)**

page 4

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
Can Wash	57	1	57
Custodian's Break Room	0	0	0
Toilet/Shower	0	0	0
Satellite Storage	0	0	0
<b>OTHER</b>	<b>0</b>		
(List rooms separately below)			
Auditorium (600 Seat)	0	0	0
Stage	0	0	0
Stage Storage	0	0	0
Total Building Net Floor Area (NFA)			<b>88,366</b>
Proposed Student Capacity / Enrollment			
<b>NON-PROGRAMMED SPACES</b> <b>32,177</b>			
Other Occupied Rooms (List rooms separately below)			
Unoccupied MEP / FP Spaces	2,721	1	2,721
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182
Toilet Rooms	2,415	1	2,415
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859
Remaining <sup>3</sup>			
Total Building Gross Floor Area (GFA) <sup>2</sup>			<b>131,903</b>
Grossing Factor (GFA / NFA)			<b>1.49</b>

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
57	1	57			0	57	1	57
250	1	250	0	0	0	250	1	250
		0	0	0	0	0	0	0
		0	100	3	300	100	3	300
<b>0</b>			<b>9,400</b>			<b>9,400</b>		
		0	7,000	1	7,000	7,000	1	7,000
			2,000	1	2,000	2,000	1	2,000
			400	1	400	400	1	400
<b>18,576</b>			<b>125,670</b>			<b>144,246</b>		
<b>% of GFA 21,024</b>			<b>% of GFA 73,630</b>			<b>% of GFA 94,654</b>		
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	0.0%		-	0.0%		-	0.0%	0
-	53.1%	<b>21,024</b>	-	36.9%	<b>73,630</b>	-	39.6%	<b>94,654</b>
<b>39,600</b>			<b>199,300</b>			<b>238,900</b>		
<b>2.13</b>			<b>1.59</b>			<b>1.66</b>		

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
57	1	57
250	1	250
0	0	0
100	3	300
<b>9,400</b>		
5,800	1	7,000
2,000	1	2,000
400	1	400
<b>34,081</b>		
<b>94,654</b>		
<b>75,700</b>		
<b>0.17</b>		

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)
<b>110,165</b>			<b>Total Building Net Floor Area (NFA)</b>
<b># of Grades</b>	<b>4</b>		
Grade 5	1	<b>1,020</b>	<b>Total Enrollment (Enter Design Enrollment)</b>
Grade 6	1	<b>510</b>	Lower Middle School Enrollment (Grades 5-6)
Grade 7	1	<b>510</b>	Upper Middle School Enrollment (Grades 7-8)
Grade 8	1		
			Complete this category with Schematic Design Submittal
<b>163,200</b>			<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>
<b>1.48</b>			<b>Grossing Factor (GFA / NFA)</b>

<sup>1</sup> Individual Room Net Floor Area (NFA)

Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

46404

<sup>2</sup> Total Building Gross Floor Area (GFA)

Includes the entire building gross square footage measured from the outside face of exterior walls.

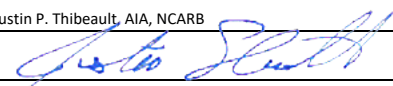
49458

<sup>3</sup> Remaining

Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

36041

131903

<b>Architect Certification</b>	<p>I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.</p> <p style="text-align: center;">Name of Architecture Firm: <u>Ai3 Architects, LLC</u></p> <p style="text-align: center;">Name of Principal Architect: <u>Justin P. Thibeault, AIA, NCARB</u></p> <p style="text-align: center;">Signature of Principal Architect: </p> <p style="text-align: center;">Date: <u>October 27, 2023</u></p>
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## **S**pace Summary

**Option #8: Grades 5-8, New  
Construction (NO Auditorium)**

page 1



**Option #8: Grades 5-8, New  
Construction (NO Auditorium)**

page 2



**Option #8: Grades 5-8, New  
Construction (NO Auditorium)**

page 3



**Option #8: Grades 5-8, New  
Construction (NO Auditorium)**

page 4

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL			
ROOM TYPE	EXISTING CONDITIONS		
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
<b>CUSTODIAL &amp; MAINTENANCE</b>			<b>1,850</b>
Custodian's Office with Toilet	189	1	189
Custodian's Workshop	0	0	0
Custodian's Storage	168	1	168
Recycling Room / Trash	0	0	0
Receiving and General Supply	282	1	282
Storeroom	521	1	521
Network / Telecom Room)	170	1	170
Custodial Closets w mop sink (total of 5)	463	1	463
Can Wash	57	1	57
Custodian's Break Room	0	0	0
Toilet/Shower	0	0	0
Satelitte Storage	0	0	0
<b>OTHER</b>			<b>0</b>
(List rooms separately below)			
Auditorium (600 Seat)	0	0	0
Stage	0	0	0
Stage Storage	0	0	0
Total Building Net Floor Area (NFA)			<b>88,366</b>
Proposed Student Capacity / Enrollment			
<b>NON-PROGRAMMED SPACES</b>			<b>32,177</b>
Other Occupied Rooms (List rooms separately below)			
Unoccupied MEP / FP Spaces	2,721	1	2,721
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182
Toilet Rooms	2,415	1	2,415
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859
Remaining <sup>3</sup>			
Total Building Gross Floor Area (GFA) <sup>2</sup>			<b>131,903</b>
Grossing Factor (GFA / NFA)			<b>1.49</b>

PROPOSED PROGRAM								
EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0			2,495		2,495	2,495		2,495
0		0	120	1	120	120	1	120
0		0	200	1	200	200	1	200
0		0	350	1	350	350	1	350
0		0	340	1	340	340	1	340
0		0	400	1	400	400	1	400
0		0	200	1	200	200	1	200
0		0	200	1	200	200	1	200
0		0	0		0	0		0
0		0	0		0	0		0
0		0	200	1	200	200	1	200
0		0	85	1	85	85	1	85
0		0	100	4	400	100	4	400
0		0	400		400	400		400
0		0	0		0	0		0
0		0	0		0	0		0
0		0	400	1	400	400	1	400
0		0						
0		0			136,265			135,420
% of GFA	0		% of GFA	68,135		% of GFA	68,980	
-	#DIV/0!		-	0.0%		-	0.0%	0
-	#DIV/0!		-	0.0%		-	0.0%	0
-	#DIV/0!		-	0.0%		-	0.0%	0
-	#DIV/0!		-	0.0%		-	0.0%	0
-	#DIV/0!	0	-	33.3%	68,135	-	33.7%	68,980
0		0			204,400			204,400
#DIV/0!					1.50			1.51

VARIATION TO MSBA GUIDELINES		
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS
0		0
-30	0	-30
-50	0	-50
-25	0	-25
-60	0	-60
-40	0	-40
-480	0	-480
0	0	0
0	0	0
200	1	200
85	1	85
100	4	400
400		400
-1,200	0	0
0	0	0
400	1	400
		25,255
		68,980
		41,200
		0.03

MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)			
ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
2,495		2,495	
150	1	150	
250	1	250	
375	1	375	
400	1	400	
440	1	440	
680	1	680	
200	1	200	
1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)
		110,165	Total Building Net Floor Area (NFA)
# of Grades	4		Total Enrollment (Enter Design Enrollment)
Grade 5	1	1,020	Lower Middle School Enrollment (Grades 5-6)
Grade 6	1	510	Upper Middle School Enrollment (Grades 7-8)
Grade 7	1	510	
Grade 8	1		
			Complete this category with Schematic Design Submittal
		163,200	Total Building Gross Floor Area (GFA) <sup>2</sup>
		1.48	Grossing Factor (GFA / NFA)

<sup>1</sup> Individual Room Net Floor Area (NFA)

Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

46404

<sup>2</sup> Total Building Gross Floor Area (GFA)

Includes the entire building gross square footage measured from the outside face of exterior walls.

49458

<sup>3</sup> Remaining

Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

36041

131903

Architect Certification

I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.

Name of Architecture Firm: A13 Architects, LLC

Name of Principal Architect: Justin P. Thibeault, AIA, NCARB

Signature of Principal Architect:

Date: October 27, 2023



## **S**pace Summary

**Option #9: Grades 5-8, New  
Construction (with Auditorium)**

page 1



**Option #9: Grades 5-8, New  
Construction (with Auditorium)**

page 2



**Option #9: Grades 5-8, New  
Construction (with Auditorium)**

page 3



**Option #9: Grades 5-8, New  
Construction (with Auditorium)**

page 4

Proposed Space Summary - Middle School

Date: 10/27/2023 Preliminary Design Program

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL				PROPOSED PROGRAM									VARIATION TO MSBA GUIDELINES			MSBA GUIDELINES (DO NOT MODIFY) (Refer to Educational Facility Planning for additional information)									
ROOM TYPE	EXISTING CONDITIONS			EXISTING TO REMAIN / RENOVATED			NEW CONSTRUCTION			TOTAL			ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>1</sup>	# OF ROOMS	AREA TOTALS													
<b>CUSTODIAL &amp; MAINTENANCE</b>	<b>1,850</b>			<b>0</b>			<b>2,495</b>			<b>2,495</b>			<b>0</b>			<b>2,495</b>									
Custodian's Office with Toilet	189	1	189				120	1	120	120	1	120	-30	0	-30	150	1	150							
Custodian's Workshop	0	0	0				200	1	200	200	1	200	-50	0	-50	250	1	250							
Custodian's Storage	168	1	168				350	1	350	350	1	350	-25	0	-25	375	1	375							
Recycling Room / Trash	0	0	0				340	1	340	340	1	340	-60	0	-60	400	1	400							
Receiving and General Supply	282	1	282				400	1	400	400	1	400	-40	0	-40	440	1	440							
Storeroom	521	1	521				200	1	200	200	1	200	-480	0	-480	680	1	680							
Network / Telecom Room)	170	1	170				200	1	200	200	1	200	0	0	0	200	1	200							
Custodial Closets w mop sink (total of 5)	463	1	463						0	0	0	0	0	0	0										
Can Wash	57	1	57						0	0	0	0	0	0	0										
Custodian's Break Room	0	0	0				200	1	200	200	1	200	200	1	200										
Toilet/Shower	0	0	0				85	1	85	85	1	85	85	1	85										
Satelitte Storage	0	0	0				100	4	400	100	4	400	100	4	400										
<b>OTHER</b>	<b>0</b>			<b>0</b>			<b>9,400</b>			<b>9,400</b>			<b>9,400</b>			<b>0</b>									
(List rooms separately below)																									
Auditorium (600 Seat)	0	0	0				7,000	1	7,000	7,000	1	7,000	5,800	1	7,000	1,200	0	-	1,100 NSF (minimum size) - 1,300 NSF (maximum size)						
Stage	0	0	0				2,000	1	2,000	2,000	1	2,000	2,000	1	2,000										
Stage Storage	0	0	0				400	1	400	400	1	400	400	1	400										
<b>Total Building Net Floor Area (NFA)</b>			<b>88,366</b>			<b>0</b>			<b>143,265</b>			<b>143,265</b>			<b>33,100</b>			<b>110,165</b>	<b>Total Building Net Floor Area (NFA)</b>						
Proposed Student Capacity / Enrollment																									
<b>NON-PROGRAMMED SPACES</b>	<b>32,177</b>			<b>% of GFA 0</b>			<b>% of GFA 71,835</b>			<b>% of GFA 71,835</b>			<b>71,835</b>												
<b>Other Occupied Rooms</b> (List rooms separately below)																									
Unoccupied MEP / FP Spaces	2,721	1	2,721	-	#DIV/0!		-	0.0%		-	0.0%	0													
Unoccupied Closets, Supply Rooms, and Storage Rooms	1,182	1	1,182	-	#DIV/0!		-	0.0%		-	0.0%	0													
Toilet Rooms	2,415	1	2,415	-	#DIV/0!		-	0.0%		-	0.0%	0													
Circulation (corridors, stairs, ramps and elevators)	25,859	1	25,859	-	#DIV/0!		-	0.0%		-	0.0%	0													
Remaining <sup>3</sup>				-	#DIV/0!	0		33.4%	71,835	-	33.4%	71,835													
<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>			<b>131,903</b>			<b>0</b>			<b>215,100</b>			<b>215,100</b>			<b>51,900</b>			<b>163,200</b>	<b>Total Building Gross Floor Area (GFA)<sup>2</sup></b>						
Grossing Factor (GFA / NFA)			<b>1.49</b>			<b>#DIV/0!</b>			<b>1.50</b>			<b>1.50</b>			<b>0.02</b>			<b>1.48</b>	<b>Grossing Factor (GFA / NFA)</b>						

<sup>1</sup> Individual Room Net Floor Area (NFA)

Includes the net square footage measured from the inside face of the perimeter walls and includes all specific spaces assigned to a particular program area including such spaces as non-communal toilets and storage rooms.

46404

<sup>2</sup> Total Building Gross Floor Area (GFA)

Includes the entire building gross square footage measured from the outside face of exterior walls.

49458

<sup>3</sup> Remaining

Includes exterior walls, interior partitions, chases, and other areas not listed above. Do not calculate this area, it is assumed to equal the difference between the Total Building Gross Floor Area and area not accounted for above.

36041

131903

Architect Certification

I hereby certify that all of the information provided in this "Proposed Space Summary" is true, complete and accurate and, except as agreed to in writing by the Massachusetts School Building Authority, in accordance with the guidelines, rules, regulations and policies of the Massachusetts School Building Authority to the best of my knowledge and belief. A true statement, made under the penalties of perjury.

Name of Architecture Firm: A13 Architects, LLC

Name of Principal Architect: Justin P. Thibeault, AIA, NCARB

Signature of Principal Architect:

Date: October 27, 2023



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# Space Summary Template Deviation

## Comparison to MSBA Guidelines

The eight space summaries included in this report are in direct response to the Educational Visioning sessions and the development of the Educational Program. All spaces included in the space summaries correlate directly with the Educational Program and are required to support 21st Century learning throughout the District.

There are some categories within the space summary that deviate from the MSBA Guidelines, including: Core Academic Spaces, Special Education, Art & Music, Vocations & Technology, Health & Physical Education, Dining & Food Service, Administration & Guidance, and Other. Each of these categories are summarized in the chart on the following pages, noting why the documented spaces are required to support 21st Century learning specific to this District.

This analysis of deviations uses Option #5 (Grades 6-8 New Construction with an Auditorium) and Option #9 (Grades 5-8 New Construction with an Auditorium) for comparison to the MSBA's Space Summary guidelines, as these represent the ideal and most efficient space quantities to fulfill the proposed Educational Program for either grade configuration. Program categories resulting in a greater total area than the guidelines are highlighted in red, those less than the guidelines are highlighted in yellow, and those that equal the guidelines are highlighted in gray.

Areas greater than MSBA Guidelines	
Areas less than MSBA Guidelines	
Areas equal to MSBA Guidelines	

## **Core Academic Spaces**

The proposed Galvin Middle School space summary includes overages in the Core Academic category. These overages are primarily due to the quantity of general classrooms and the inclusion of world language classrooms, health classrooms, teacher planning and collaboration rooms, and student collaboration rooms.

### Grade-Level Classrooms

The use of grade-level academic neighborhoods, or teams, at the middle

## **Core Academic Spaces**

### **6-8 Grade Configuration**

<b>SPACE SUMMARY</b>	49,990 sf
<b>MSBA GUIDELINES</b>	39,050 sf
<b>DIFFERENCE</b>	10,940 sf

### **5-8 Grade Configuration**

<b>SPACE SUMMARY</b>	62,440 sf
<b>MSBA GUIDELINES</b>	53,650 sf
<b>DIFFERENCE</b>	8,790 sf

INITIAL SPACE SUMMARY

**Space Summary Deviation**

**Option #5: Grades 6-8 New Construction (with Auditorium)**

<b>Space Summary Category</b>	<b>Area per GMS Edu. Program</b>	<b>Allowable Area per MSBA</b>	<b>Difference (in sf)</b>
<b>CORE ACADEMIC SPACES</b>	<b>49,990 sf</b>	<b>39,050 sf</b>	<b>10,940 sf</b>
<b>SPECIAL EDUCATION</b>	<b>16,805 sf</b>	<b>9,060 sf</b>	<b>7,745 sf</b>
<b>ART &amp; MUSIC</b>	<b>7,600 sf</b>	<b>4,600 sf</b>	<b>3,000 sf</b>
<b>VOCATIONS &amp; TECHNOLOGY</b>	<b>5,670 sf</b>	<b>4,320 sf</b>	<b>1,350 sf</b>
<b>HEALTH &amp; PHYSICAL EDU.</b>	<b>14,400 sf</b>	<b>8,400 sf</b>	<b>6,000 sf</b>
<b>MEDIA CENTER</b>	<b>4,750 sf</b>	<b>4,750 sf</b>	<b>0 sf</b>
<b>DINING &amp; FOOD SERVICE</b>	<b>8,503 sf</b>	<b>10,103 sf</b>	<b>-1,600 sf</b>
<b>MEDICAL</b>	<b>710 sf</b>	<b>710 sf</b>	<b>0 sf</b>
<b>ADMIN. &amp; GUIDANCE</b>	<b>3,560 sf</b>	<b>3,560 sf</b>	<b>0 sf</b>
<b>CUSTODIAL &amp; MAINTENANCE</b>	<b>2,235 sf</b>	<b>2,235 sf</b>	<b>0 sf</b>
<b>OTHER</b>	<b>9,400 sf</b>	<b>0 sf</b>	<b>9,400 sf</b>
	<b>Totals</b>		<b>Difference</b>
<i>BUILDING NET AREA (NFA)</i>	<b>123,623 nsf</b>	<b>86,788 nsf</b>	<b>36,835</b>
<i>GROSSING FACTOR</i>	<b>1.50</b>	<b>1.4</b>	
<b>BUILDING GROSS AREA (GFA)</b>	<b>185,435 gsf</b>	<b>121,600 gsf</b>	<b>63,835</b>

## INITIAL SPACE SUMMARY

**Space Summary Deviation****Option #9: Grades 5-8 New Construction (with Auditorium)**

<b>Space Summary Category</b>	<b>Area per GMS Edu. Program</b>	<b>Allowable Area per MSBA</b>	<b>Difference (in sf)</b>
<b>CORE ACADEMIC SPACES</b>	<b>62,440 sf</b>	<b>53,650 sf</b>	<b>8,790 sf</b>
<b>SPECIAL EDUCATION</b>	<b>19,180 sf</b>	<b>11,070 sf</b>	<b>8,110 sf</b>
<b>ART &amp; MUSIC</b>	<b>7,850 sf</b>	<b>5,000 sf</b>	<b>2,850 sf</b>
<b>VOCATIONS &amp; TECHNOLOGY</b>	<b>5,760 sf</b>	<b>5,760 sf</b>	<b>0 sf</b>
<b>HEALTH &amp; PHYSICAL EDU.</b>	<b>14,400 sf</b>	<b>8,400 sf</b>	<b>6,000 sf</b>
<b>MEDIA CENTER</b>	<b>6,245 sf</b>	<b>6,245 sf</b>	<b>0 sf</b>
<b>DINING &amp; FOOD SERVICE</b>	<b>10,865 sf</b>	<b>12,465 sf</b>	<b>-1,600 sf</b>
<b>MEDICAL</b>	<b>810 sf</b>	<b>810 sf</b>	<b>0 sf</b>
<b>ADMIN. &amp; GUIDANCE</b>	<b>3,820 sf</b>	<b>4,270 sf</b>	<b>-450 sf</b>
<b>CUSTODIAL &amp; MAINTENANCE</b>	<b>2,495 sf</b>	<b>2,495 sf</b>	<b>0 sf</b>
<b>OTHER</b>	<b>9,400 sf</b>	<b>0 sf</b>	<b>9,400 sf</b>
	<b>Totals</b>		<b>Difference</b>
<i>BUILDING NET AREA (NFA)</i>	<b>143,265 nsf</b>	<b>110,165 nsf</b>	<b>33,100</b>
<i>GROSSING FACTOR</i>	<b>1.50</b>	<b>1.48</b>	
<b>BUILDING GROSS AREA (GFA)</b>	<b>215,100 gsf</b>	<b>163,200 gsf</b>	<b>51,900 sf</b>

## INITIAL SPACE SUMMARY

school age is a research-based practice known to have three benefits: 1) it creates a small school atmosphere within a larger school setting while allowing for fluctuations in enrollment; 2) it allows for dedicated common planning time for teachers from the same team; and 3) it maintains a structure that allows for the specific needs of middle school groups to be prioritized.

The current middle school utilizes a team-based model to help divide a large population of students into smaller, more personal groupings. In the current model, each team is made up of five content teachers: Math, Science, Social Studies, English Language Arts, and World Language as well as a supporting special educator. This configuration allows each team to have between 80 and 85 students each year. The offering of World Language as content curriculum increases the number of classrooms to teams of five. World Language is a critical component of 21st Century education and the educational values for Canton Public Schools. Providing students with a greater understanding of themselves, others, the community, and the world, this curriculum is instrumental to the development of a global citizen. The five content teachers account for a portion of the area deviation in the space summaries for both grade configurations studied.

### **Teacher Planning & Collaboration**

A bulk of the remaining space summary deviation within the core academic category is attributed to providing staff with appropriate teacher collaboration and workspace. To support the educators, each team would include a space for teachers to interact, create, plan, collaborate, and complete their work in the professional environment

they deserve. This space is critical to the successful implementation of a co-teaching and teaming model as well as to ensure appropriate levels of service are provided for all students.

Strategically locating teacher collaboration spaces within each team provides an additional layer of oversight and visual observation of students who may be working or circulating within the neighborhoods, project labs, or work areas. These spaces would allow for full integration of Special Education and project-based learning in both a horizontal and vertical interdisciplinary manner.

### **Student Collaboration**

Student collaboration spaces were identified in the Educational Program as an element required to support curriculum-based projects. These more generalized collaboration spaces will provide the space and resources needed to foster discussions and group projects, without disturbance to simultaneously occurring lessons, with the goal of creating prepared, well-rounded students. The student collaboration spaces would be flexible to allow for reconfiguration based on group size and projects. These spaces would be located within the teams to promote use and ease of access.

### **Special Education**

Galvin Middle School is the only middle school serving the Town of Canton. This proposal includes the space needed to offer services as required under state and federal special education laws. The current building does meet the standard for minimizing stigmatization, as it isolates Special Education outside of the academic teams and on the lowest level.

## INITIAL SPACE SUMMARY

**Special Education****6-8 Grade Configuration**

<b>SPACE SUMMARY</b>	16,805 sf
<b>MSBA GUIDELINES</b>	9,060 sf
<b>DIFFERENCE</b>	7,745 sf

**5-8 Grade Configuration**

<b>SPACE SUMMARY</b>	19,180 sf
<b>MSBA GUIDELINES</b>	11,070 sf
<b>DIFFERENCE</b>	8,110 sf

The proposed building project will allow for true integration of Special Education services already offered. The depth of services allows the majority of all Special Education students to remain within their home school and district, providing them access to their peers and educating them within their community. All inclusion academic support classrooms would be a part of their team pod, appearing as any other classroom in the neighborhood. Galvin would have a half-size special education classroom included within each team to better support the students and allow for greater integration among the overall school design. Small group break out spaces in the team neighborhoods will also support the special education service delivery. Adequately equipped sub-separate spaces with bathrooms, speech, occupational, and physical therapy rooms, and one adaptive physical education space are included to fully support the programs offered.

Refer to the Educational Program for additional information on the offered programs.

**Art & Music**

The overage in the Art & Music category of the MSBA guidelines is a response to the district's current curriculum and staffing, which is in alignment with the 2019 Massachusetts Arts Curriculum Framework. The existing Galvin Middle School includes three separate spaces for choral, band, and orchestra. General music is also offered and is scheduled to utilize one of the three existing performance arts spaces. There are currently three staff members providing these offerings. There are currently three separate spaces for fine arts. The proposed project would replicate this by providing three spaces to support the current staff employed.

To maintain the curriculum in place, the proposed space summary provides rooms for all existing programs.

**Art & Music****6-8 Grade Configuration**

<b>SPACE SUMMARY</b>	7,600 sf
<b>MSBA GUIDELINES</b>	4,600 sf
<b>DIFFERENCE</b>	3,000 sf

**5-8 Grade Configuration**

<b>SPACE SUMMARY</b>	7,850 sf
<b>MSBA GUIDELINES</b>	5,000 sf
<b>DIFFERENCE</b>	2,850 sf

## INITIAL SPACE SUMMARY

<b>Vocations &amp; Technology</b>	
<b>6-8 Grade Configuration</b>	
<b>SPACE SUMMARY</b>	5,670 sf
<b>MSBA GUIDELINES</b>	4,320 sf
<b>DIFFERENCE</b>	1,350 sf
<b>5-8 Grade Configuration</b>	
<b>SPACE SUMMARY</b>	5,670 sf
<b>MSBA GUIDELINES</b>	5,670 sf
<b>DIFFERENCE</b>	0 sf

### **Vocations & Technology**

The vocational offerings at Galvin Middle School will provide students with a correlation between the academic subjects they are studying, the projects and hands-on experiences they are developing, and the professional careers that are evolving in a global world. The specific program spaces dedicated to vocations and technology should be highly flexible and relatively local to the neighborhood teams. Ideally, they'd be placed in an area of the school that allows for use during and after hours, as they could support many of the clubs and extracurriculars that exist for Canton students.

The vocational and technology spaces required at Galvin Middle School are the following:

#### **Performance Technology Studio**

The Performance Technology Studio would be a shared space across most

disciplines including ELA, Social Studies, World Language, and the Related Arts. The need for students to demonstrate and present their ideas is critical in their development as future professionals. This flexible space would be designed for use as a black box theater, a small group music stage, and/or a sound/recording studio. Sound and lighting considerations would be more comprehensive than that of a regular classroom so that performance, recording, and video production can be conducted properly.

#### **Technology / Engineering Room**

With the continued advancements in technology and to develop conceptual understanding and real world problem solving skills, these spaces would be designed with flexibility in mind. These spaces would require a robust technology infrastructure to support the current demands of virtual and augmented reality, but also be able to adapt to future devices not yet conceived. Dedicated computers associated with the technology would be located in this space to support the use. These spaces would be an improved version of what is in the existing school, which is a reconfigured wood shop and modified classroom. The space would support activities like coding and graphic design, provide space for hands on engineering projects, and support interdisciplinary activities. Furniture within the space would be mobile to allow large, open areas for moving models, materials, or robots.

The total area of these four dedicated spaces, one performance tech studio and three tech engineering rooms, aligns with MSBA guidelines for the 5-8 grade level configuration but is one teaching space more than the guidelines indicate for the 6-8 grade level configuration. For the

## INITIAL SPACE SUMMARY

continued delivery of current programs, these four spaces are necessary.

### Health & Physical Education

#### 6-8 Grade Configuration

<b>SPACE SUMMARY</b>	14,400 sf
<b>MSBA GUIDELINES</b>	8,400 sf
<b>DIFFERENCE</b>	6,000 sf

#### 5-8 Grade Configuration

<b>SPACE SUMMARY</b>	14,400 sf
<b>MSBA GUIDELINES</b>	8,400 sf
<b>DIFFERENCE</b>	6,000 sf

### Health & Physical Education

The proposed Galvin Middle School space summary includes additional area in the Health & Physical Education category, which is directly related to the size of the gymnasium.

The wellness curriculum consists of both health and physical education components requiring the use of classroom and gymnasium space. Every student takes 2 days of health and 2 days of physical education in a seven-day cycle for the full year. This equates to at least two health and two physical education classes happening simultaneously. There are also a few times when three of each course are occurring at once, requiring at minimum a 9,000 sf gymnasium. The existing gymnasium is 9,400 sf. A 12,000 sf gymnasium is included in both grade

configuration space summaries. With the added enrollment if 5th grade moves to Galvin, the typical wellness schedule would be three sessions of health and physical education simultaneously, with the possibility to expand to four in select occurrences.

The existing Galvin Middle School gymnasium is heavily used by both the school and community during and after school hours. The larger gymnasium included would support the educators and the community at large.

### Dining & Food Service

The deficit in the Dining and Food Service category is directly attributed to the removal of the 1,600 sf stage from this category and including it in the Other category where the auditorium is located.

### Dining & Food Service

#### 6-8 Grade Configuration

<b>SPACE SUMMARY</b>	8,503 sf
<b>MSBA GUIDELINES</b>	10,103 sf
<b>DIFFERENCE</b>	-1,600 sf

#### 5-8 Grade Configuration

<b>SPACE SUMMARY</b>	10,865 sf
<b>MSBA GUIDELINES</b>	12,465 sf
<b>DIFFERENCE</b>	-1,600 sf



## INITIAL SPACE SUMMARY

### Administration & Guidance

#### 6-8 Grade Configuration

<b>SPACE SUMMARY</b>	3,560 sf
<b>MSBA GUIDELINES</b>	3,560 sf
<b>DIFFERENCE</b>	0 sf

#### 5-8 Grade Configuration

<b>SPACE SUMMARY</b>	3,820 sf
<b>MSBA GUIDELINES</b>	4,270 sf
<b>DIFFERENCE</b>	-450 sf

### Administration & Guidance

The grade 5-8 space summary includes three guidance offices which is half of the quantity identified in the MSBA guidelines. The quantity of offices identified within the administration and guidance section has been vetted with the district to ensure all support staff are accounted for and can support the student enrollment numbers. This is why there is a deficit in this category.

### Other

#### Auditorium

If the district were to include an auditorium, a 7,000 sf space with 600 seats would serve both grade configurations. This capacity was identified based upon historical attendance at reoccurring, major middle school events already occurring.

Further analysis and discussion of the appropriate capacity of the auditorium for the Town of Canton will continue during the next phase when a formal vote will occur on inclusion as well as capacity.

A stage at 2,000 sf is also included in the Other category for either configuration, as it is directly related. The proposed auditorium would provide space for both school and community assembly, provide the already established drama and performing arts programs an appropriate space to rehearse and perform, and prove to be a useful resource for special education.

An auditorium would add an extra layer of community involvement not currently possible, including opportunities for the elementary schools.

### Other

#### 6-8 Grade Configuration

<b>SPACE SUMMARY</b>	9,400 sf
<b>MSBA GUIDELINES</b>	0 sf
<b>DIFFERENCE</b>	9,400 sf

#### 5-8 Grade Configuration

<b>SPACE SUMMARY</b>	9,400 sf
<b>MSBA GUIDELINES</b>	0 sf
<b>DIFFERENCE</b>	9,400 sf



## 3.1.4 EVALUATION OF EXISTING CONDITIONS

### **E**valuation of Building Code Compliance

#### **Massachusetts State Building Code: 780 CMR, Life Safety and Interior Environment Issues**

The Massachusetts State Building Code (780 CMR) has been updated and amended several times since the construction of the Galvin Middle School building. The State Board of Building Regulations and Standards frequently updates and amends its regulations. These codes are in place to maintain life safety and occupancy comfort. Based on these regulations, the following items were found to be in non-compliance:

- Occupied spaces (classrooms) currently provide a single entrance from within an egress stairway
- Fire separation assembly between Use Group E (Educational) and Use Group A-3 (Assembly - Cafeteria, Gymnasium) (one hour fire separation required).
- Handrail and guardrail at egress stairways
- Electrical panels in cafetorium, kitchen, health classroom, and corridors
- Boiler and adjacent electrical room do not have a tested one-hour rated fire separation assembly from each other and existing spaces above.
- Occupied spaces without natural ventilation (780 CMR 1203.4)
- Occupied spaces without natural

light (780 CMR 1205.0)

- Air-borne sound that does not meet the minimum sound transmission class (780 CMR 1207.0)
- Egress stairway enclosures, including door assemblies, require a minimum one-hour fire separation assembly
- Two means of egress from spaces having an occupant load of greater than 50
- No sprinkler system in the building
- Wired glass in doors

#### **Code Requirements for Alterations to Existing Building**

Massachusetts State Building Code (2015 International Existing Building Code with Massachusetts Amendments (IEBC)) states that it is the intent of the Code to provide flexibility to permit the use of alternative approaches to achieve compliance with the minimum requirements to safeguard the public's health, safety, and welfare in-so-far as they are affected by the repair, alteration, or addition of an existing building.

Section 104.4.2 of the IEBC states that for buildings previously occupied, "The legal occupancy of any building existing on the date of the adoption of this Code shall be permitted to continue without change, except as is specifically covered in this Code, the International Fire Code,

## CODE COMPLIANCE EVALUATION

or the International Property Maintenance Code, or as is deemed necessary by the code official for the general safety and welfare of the occupants and the public.”

The goal of the code review is to assess the Middle School's existing conditions, noting what would be required to be updated in the event of a comprehensive renovation, as well as the building's ability to expand in a manner necessary to meet the programmatic needs of a middle school serving either 515 students (for a 6-8 configuration) or 1020 students (for a 5-8 configuration). Further code analysis should be performed as the project develops.

### **Applicable Codes**

#### **Building**

780 CMR, Massachusetts State Building Code (MSBC) 9th Edition (2015 International Building Code (IBC) and 2015 International Existing Building Code (IEBC))

#### **Energy Efficiency**

2015 International Energy Conservation Code with Massachusetts Amendments (IECC)

Buildings shall be designed and constructed in accordance with the 2015 International Energy Conservation Code (IECC), as amended by the Massachusetts State Building Code 780 CMR 13.00. These amendments apply to the IECC and to ANSI/ASHRAE/IESNA 90.1-2013. IECC Chapter 4 (Commercial Energy Efficiency) must be adhered to as this building is a Commercial Building.

#### **Accessibility**

521 CMR: Massachusetts Architectural Access Board Regulations

#### **Elevator**

524 CMR: Massachusetts Elevator Code (2004 ASMEA17.1)

#### **Fire Prevention**

527 CMR: Massachusetts Fire Prevention Regulations (2012 NFPA 1)

#### **Plumbing Code**

248 CMR: Massachusetts Plumbing Code

#### **Electrical Code**

527 CMR 12.00: Massachusetts Electrical Code (2017 National Electrical Code)

#### **Mechanical Code**

2009 International Mechanical Code (IMC)

#### **Use And Occupancy Classification**

Educational (E), Assembly (A-1, A-2, and A-3)

#### **Current Construction**

Type 2A, Unprotected, Non-Combustible, Non-Separated Mixed Use (original building)

Type 5B, Combustible, sprinklered (modular classrooms)

**Building Height and Allowable Stories**  
**(Table 504)**

This is measured from the Grade Plane to the average height of the highest roof surface. The original building can be classified as a three-story building which complies with the maximum allowable height of 65 feet for Type 2A Construction.

Refer to the Architectural Evaluation within this report for details and photos related to code issues.



# Accessibility Evaluation

## Overview

Requirements for handicap accessibility in building planning and design were non-existent in the 1970s when this building was originally designed. However, on January 26, 1992, the Department of Justice implemented Title III of the Americans with Disabilities Act (ADA) into Public Law.

This legislation “prohibits discrimination on the basis of disability by private entities in places of public accommodation.” The legislation requires all new places of public accommodation, including schools, to be designed and constructed so as to be readily accessible to and usable by persons with disabilities.

Existing structures being renovated that exceed 30% of the equitized assessment of the building or its replacement value must fully comply with the regulations for new construction. Additionally, on September 1, 1996, the Commonwealth of Massachusetts developed its own accessibility regulations: 521 CMR Architectural Access Board (AAB), which in some instances is more restrictive than ADA guidelines. The ADA and AAB regularly update and amend their regulations.

As defined in the AAB Regulations, the Galvin Middle School building is defined as an “Educational Facility”. The access regulations in section 12.1 define an “Educational Facility” as a public and private school, nursery, pre-school, day care facility, colleges and universities, libraries, galleries, museums, and training facilities. All Educational Buildings with spaces that are open to the public are required to be accessible.

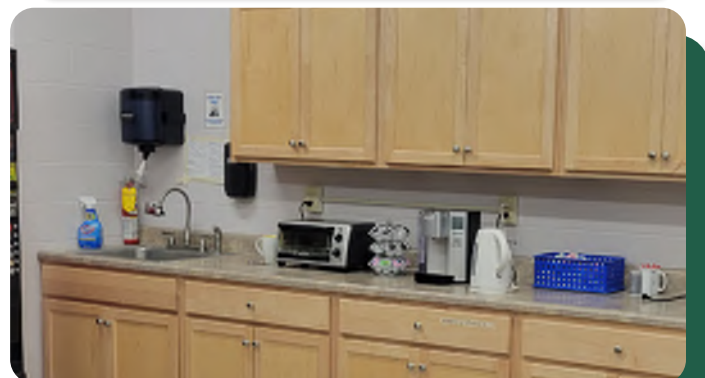
“Full Compliance” in the AAB

Regulations requires that all public entrances and at least two exits from the building be accessible, that there be an accessible route throughout all public areas of the building, and that classrooms and offices be in full compliance with the AAB Regulations. In addition, synchronized fire alarm strobe lights are required throughout the building, and assisted listening devices must be available for the hearing impaired.

Over the years, building maintenance and capital improvements have provided the Galvin Middle School with incremental accessibility upgrades. It now has a higher level of accessibility



*Science sinks that do not meet accessibility req's*



*Office sink that does not meet accessibility req's*

## ACCESSIBILITY EVALUATION

than when it was built, however there are still many non-compliant items.

Based on the federal and state regulations described above, the following items were found to be in non-compliance or not accessible to the disabled:

### **521 CMR 6.00: Space Allowance and Reach Ranges**

#### **Forward Reach**

If the clear floor space only allows forward approach to an object, the maximum high forward reach allowed shall be 48 inches. Hardware to operate awning windows in classrooms exceeds acceptable reach range height.



*Range controls in Life Skills classroom*



*Exposed piping under sink in Life Skills classroom*

### **521 CMR 12.00 Educational Facilities**

#### **Sinks, Counters, and Other Work Areas**

At least 5%, with a minimum of one of each type of element, must be made accessible within a space. Countertops and sinks in classrooms must provide clear floor space, knee clearances, and meet specific height requirements to be considered accessible. Countertop heights for sinks are adequate; however, none of the fixtures meet knee clearance requirements due to exposed piping. The majority of faucets provide accessible lever type hardware, but a few faucets still require upgrade.

The technology education class-room does not provide an accessible height workstation. The range/oven unit in the Life Skills classroom does not provide accessible controls.

Where sinks are provided in teacher break rooms, accessible height and knee clearances are not provided.

The check-in counter at the Library circulation desk does not meet the accessible height or knee clearance requirements.

### **521 CMR 14.00 Places of Assembly**

#### **Accessible Seating and Wheelchair Spaces**

No accessible seating is provided at the retractable spectator bleachers in the gymnasium.

#### **Assisted Listening Systems**

Places of assembly within the existing school are the gymnasium and cafeteria. An assembly area that accommodates at

## ACCESSIBILITY EVALUATION

least 50 people must have a permanently installed assistive listening system and signage to notify of the system. No signage is visible, and no listening system is installed.

### **521 CMR 19.00 Recreational Facilities**

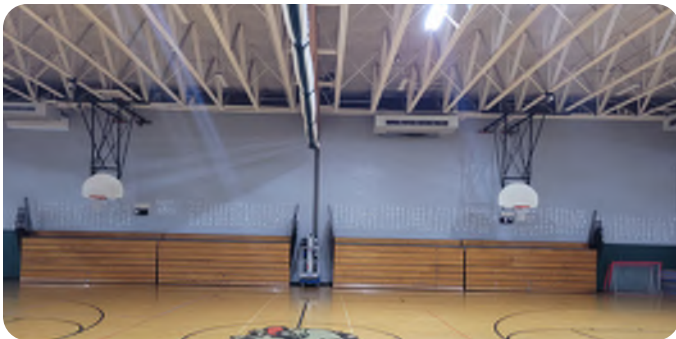
#### **Locker Rooms**

There must be a 36" wide accessible route around all lockers, including between benches and lockers. In the Girl's and Boy's Locker Rooms, either non-compliant, or no benches exist. No accessible bench seats are provided. There are no accessible showers in either the girls' or boys' locker rooms.

### **521 CMR 20.00 Accessible Route**

#### **Accessible Route from Parking Lot**

Every building should have clear identifiable designated accessible parking spaces (number based on max building occupants) within a certain distance from the main entrance. The existing site includes 148 lined parking spaces, of which 7 are accessible. Additional coordination with the Town is required to confirm the appropriate required parking capacity, but for the current number of overall spaces provided, the 7 accessible spaces meet and exceed the AAB requirements for accessible spaces. The route from those spaces to the main entrance should be fully ADA compliant and follow the guidelines set



*No accessible seating at Gymnasium bleachers*



*Slope and cross slope at exterior approach to main entrance*



*Lack of door operators at main building entrance*



## ACCESSIBILITY EVALUATION

forth by the International Building Code. An accessible route from the parking lot to the main building entrance has been identified, but it appears to exceed the maximum allowable slope, and in some locations, maximum allowable cross slope as well. In addition, there are non-ADA compliant drain covers present in walkways and paved areas.

### Area of Rescue Assistance

Each area of rescue assistance shall be identified by a sign that states "area of rescue assistance" and displays the international symbol of accessibility. The sign shall be illuminated when exit sign illumination is required. No areas of rescue assistance are currently identified. Signage shall also be installed at all inaccessible exits and where otherwise necessary to clearly indicate the direction to areas of rescue assistance. This signage is not provided. Stair 2 lacks fire separation from corridors and provides no

area of rescue.

### Protruding Objects

Objects projecting from walls with their leading edges between 27 inches and 80 inches above the finished floor shall protrude no more than 4 inches into walks, halls, corridors, passageways, or aisles and shall not have sharp or abrupt edges. A wall-mounted fire extinguisher protrudes more than 4" into the path of travel.

Free-standing objects mounted on posts or pylons may have a maximum overhang of 12 inches measured between 27 inches and 80 inches above the finished floor. A display case utilizes posts but protrudes more than 12" from the corridor wall. While many drinking fountains have been upgraded to accessible models, in some locations these accessible models have been installed in such a manner that they protrude more than 4" into the path of travel.



*Non-compliant paving at ramp*



*Display case protruding >12" from corridor wall*

## ACCESSIBILITY EVALUATION

### 521 CMR 21.00 Floor Surfaces

#### Level Changes

Changes in level grade are not allowed unless a ramp, walkway, or other means of vertical access is provided. The single elevator in an inaccessible location makes the connections between floors non-complaint due to lack of accessible means of egress.

The existing interior ramp at stair 5 exceeds a slope of 1 in 12, and the ramp railing is interrupted by a cabinet unit heater.

Several exterior egress doors do not discharge to an accessible route due to elevated concrete landing pads at these exits.

### 521 CMR 26.00 Doors & Doorways

#### Maneuvering Clearance

All entries into classrooms require clear floor space adjacent to latch side of door for entry and exit. For the pull side, the requirement is 18 inches of clear floor space, while on the push side of a door the requirement is 12 inches of clear floor space. Additionally, doors located in a recess of more than 6 inches deep shall have clear floor space. Said clear floor



Egress utilizes a 4" step, making it inaccessible



Excessive ramp slope and interrupted railing



Drinking fountain projects >4" into path of travel

## ACCESSIBILITY EVALUATION

space shall be measured within 6 inches of the door.

Many doorways in the building, including classroom entries and doors to access toilet rooms do not provide the required approach clearances. In some locations, door actuators have been installed.

### Door Hardware

Door hardware has been upgraded throughout the building to compliant lever-type hardware. Doors opening into hazardous areas shall have door-opening hardware which is knurled or has a roughened surface to give tactile warning to persons with visual impairments. Existing door hardware leading to spaces



*Classroom entry lacks push clearance*



*Existing stair railings*



*Classroom entry lacking pull clearance*



*Safety stripes lacking at stair runs*

## ACCESSIBILITY EVALUATION

such as the loading dock, mechanical rooms, and electrical rooms that are non-compliant must be revised.

### **521 CMR 27.00 Stairs**

#### **Handrails and guardrails**

Stairs lack complaint guardrails and uninterrupted continuous inner rails. Safety stripes are lacking at the top and bottom of stair runs.

### **521 CMR 30.00 Public Toilet Rooms**

Many toilet rooms appear to have accessible toilet stalls with the required clear floor space, grab bars, water closet, and appropriate height of controls and accessories. However, the single-user toilet room in the nurse's suite lacks a lavatory, clear floor space, and door approach clearance.

In many locations, hot water and drain pipes for lavatories are not insulated or guarded.



*Toilet sinks are not fully accessible and lack pipe guards*

### **521 CMR 36.00 Drinking Fountains**

Where only one drinking fountain is provided on a floor it shall be accessible. A single drinking fountain can be installed by the use of a "high-low" fountain. Where more than one drinking fountain is provided on a floor, one in each location shall be accessible and shall be on an accessible route. Where a drinking



*Typical toilet room interior*



*Non-accessible drinking fountain with signage*

## ACCESSIBILITY EVALUATION

fountain is cantilevered in a recess, the recess shall be not less than 30 inches wide.

The exterior drinking fountain is not accessible and is not on an accessible route. Most interior drinking fountains have been upgraded to accessible models. The six remaining non-accessible fountains have signage directing users to the nearest accessible fountain.

Each of the inaccessible features listed above has an impact on the ability of disabled students or members of the community to access various spaces throughout the school independently. Disabled persons may include students with permanent handicap conditions, students that are temporarily disabled from athletic activity, and parents, staff, or other visitors that could have any form of disability.

# Architectural Evaluation

## Overview

The Galvin Middle School building was completed in 1971. The building is located on a 20.3 acre site that also hosts the Cole-Harrington Kindergarten Enrichment Center and the Lieutenant Peter M. Hansen Elementary School. The building shares its site with fields used by multiple community organizations, an outdoor skating rink, baseball field, two basketball courts, and two playgrounds. The site is located off Pecunit Street, an arterial street connecting Washington Street and Elm Street on a northwest-southeast axis. The Galvin Middle School is organized along the same axis and faces the primary approach drive, fields, and the neighboring elementary school. The site is abutted by heavily wooded residential neighborhoods, wetlands, open space, and a country club, all of which provide a variety of attractive green vistas. There are parking lots to the northwest and southeast of the school, so a visitor's approach enjoys views of the fields and the main entrance to the school. The specific parameters and amenities of the site are further detailed within the specific site report herein.

## The following capital improvements have occurred since initial construction:

1997 - The main building's roofs were replaced.

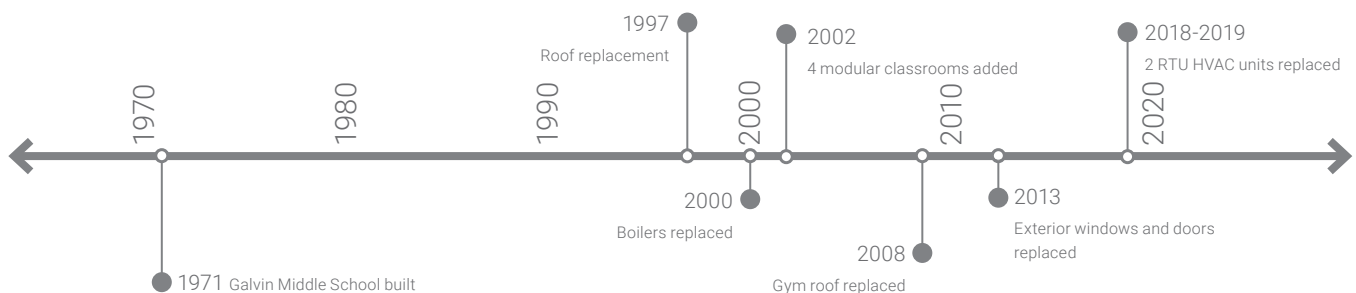
2000 - Boiler replacement.

2002 - Modular classrooms were added to address capacity issues.

2008 - Gymnasium roof replacement.

2013 - All exterior windows and doors were replaced (except for loading dock door).

2018/19 - 2 of the 3 RTU units were replaced.



## ARCHITECTURAL EVALUATION

### Exterior Review

#### **Foundation**

The building is constructed on a cast-in-place reinforced concrete slab with drop panels on a foundation consisting of reinforced cast-in-place concrete spread footings. The lowest level consists of a five inch thick concrete slab on grade. Intermediate level slabs are 4" thick reinforced concrete. Steel beams rest on interior steel columns and on bearing plates at perimeter locations. The roof of the main school building is cast in place concrete. The gymnasium roof is precast concrete planks. The structural evaluation

in this report should be referred to for additional information. Concrete pads at exterior building exits cause a 4" level offset in some egress locations. This would need to be addressed with additional ramping as part of a comprehensive renovation. Deterioration is occurring at the top of some foundation walls, and there is concrete spalling in some locations. There is impact damage at the southeast corner of the foundation. Repairs to damaged areas should be addressed as part of major renovations. Repairs and increased redundancy in the roof drainage system may reduce future deterioration of the foundation walls if water falling from roof edges is contributing to damage at the top of foundation walls.



*Concrete spalling at foundation*



*Concrete foundation wall*



*Staining on concrete*



*Damage at loading dock*

## ARCHITECTURAL EVALUATION

### Exterior Walls

The original construction documents indicate that the exterior envelope of the building consists of face brick, one inch air cavity, and concrete masonry unit back-up support with a 1/2" parge coat. Some repointing has been performed on the northwest elevation. The mortar in many of the rowlock joints at window sill locations has failed, allowing moisture to infiltrate below the sill. The exterior is due for major exterior restoration including repointing on selected facades, repointing of rowlock joints at window sills, resealing of control joints, repair/replacement of failed lintels, and resealing

above lintels. Cleaning of stained areas/mold growth on north-facing facades is also recommended. Observed areas of



*Failed mortar & moisture infiltration at rowlock sill*



*Lintel with failed sealant*



*Mold and staining on bricks*



*Example of bricks that require repointing*



*Complete failure of control joint sealant*



## ARCHITECTURAL EVALUATION



*Damage at precast mitered corner*

efflorescence were very limited, and it is likely that roof replacement, flashing and sealant maintenance, and the required lintel and sill repairs would address the underlying moisture issues causing the efflorescence. These activities, combined with a modest amount of repairs and renovations to damaged areas of masonry and precast panels, would allow the building's exterior wall system to perform in a water-tight manner for many years.

The lack of insulation at the exterior walls is insufficient for protecting against heat loss and gain. For the temperate climate of Massachusetts, exterior wall insulation should be at least three inches



*Damage to precast at southeast corner*

thick to provide the required R-Value for an exterior wall. Not only is this important in reducing heating loads in the winter, but it would also reduce drafts, temperature swings, and inconsistent temperatures within the building. It would also reduce cooling loads in warmer months and generally provide a more energy efficient and comfortable interior building environment. The lack of insulation in the exterior wall system would need to be addressed to meet



*Damaged brick*



*Patch/repair requiring remediation*

## ARCHITECTURAL EVALUATION

current energy code requirements as part of any proposed comprehensive renovation of the building, although to do so would reduce the size of interior rooms by several inches at every exterior wall, and require the services of a building envelope consultant to avoid common problems encountered when retrofitting insulation to masonry buildings in a climate zone that experiences freeze-thaw cycles.

### Roof

The entire roof area of the main academic building was replaced in 1997 with a Sarnafil white PVC roof system. The same system was used to replace the gymnasium roof in 2008. The original building roof was not insulated, but it is presumed that insulation was added during these replacement projects.

This type of PVC roofing membrane lasts approximately 30 years. The main roof is now 27 years old, and the gymnasium roof is 15 years old.

Any plans for a comprehensive renovation in the future should include complete replacement of the main academic building's roof system. While the current roof membrane material is at 90% of its expected life, it is not yet

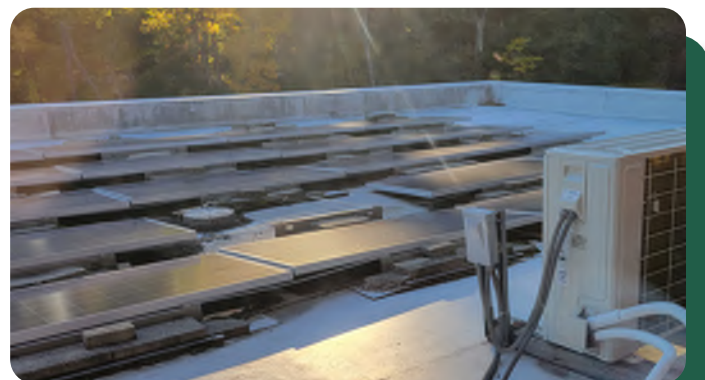
failing in multiple locations. However, the roof can only perform as well as the joints, seams, edges, and penetrations are detailed and installed. The school currently has numerous roof leaks indicated by stained, buckling, and damaged ceiling tiles and trash cans placed to collect water in various spaces including classrooms. Poorly sealed penetrations can be observed at the roof.

The ballasted solar panel system appears to be causing ponding on the roof which calls into question the adequacy of the roof structure to support the weight of the panels and ballast. It is also possible that no recovery board was installed over the insulation. Without this rigid overlay to distribute loads, the insulation cannot properly support the weight of solar panels without compressing and deforming.

Any roof replacement work would need to include investigation into the root cause of the sanding and ponding so that it can be addressed. Roof replacement would also provide an opportunity to increase the quantity of insulation at the roof, as energy code performance standards have increased since 1997.



*Damaged bricks*



*Ponding and sagging on roof*

## ARCHITECTURAL EVALUATION

The numerous leaks and associated water intrusion into the building is causing not just water damage, but also problems with mold, humidity, and indoor air quality which can trigger asthma and other health problems. This leads to increased staff and student absenteeism and poorer learning outcomes.

In addition, water intrusion under the roof fascia at the library entrance has caused staining of the precast panels in that location.

At the time of construction, the gymnasium roof will be at 2/3 of its expected life; more detailed evaluation is needed to determine if replacement

should be included or deferred as part of this project.

The modular addition (4 classrooms) was added in 2002 and has its original roof.

### Windows

In 2013, the exterior windows of the building were replaced with thermally-broken fixed and operable (awning) aluminum windows and aluminum storefront IGUs (insulated glazing units). The extended aluminum sills cover a large portion of the row lock masonry sills, but do not fully extend to the edge of the brick, leaving some of the mortar exposed



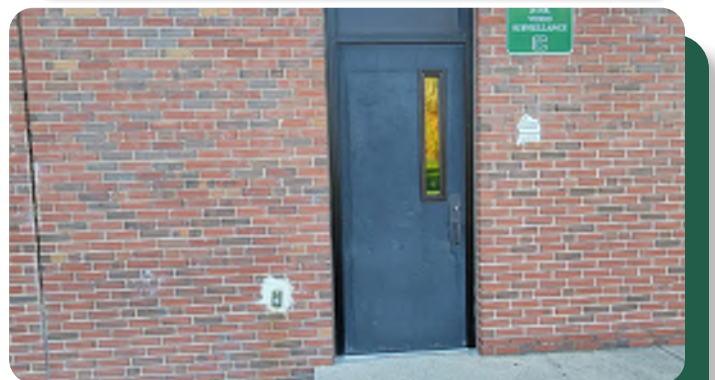
*Replacement window with sill extension*



*Replacement window and doors at main entrance*



*Classroom replacement windows*



*Typical exterior service door showing some fading*

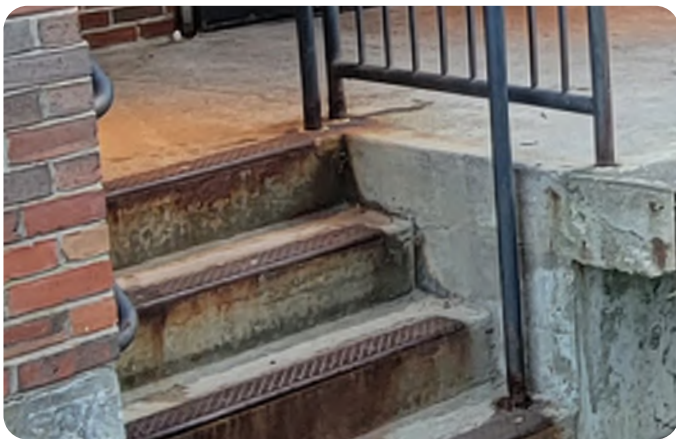
to weathering and deterioration that has caused leaks.

The windows remain in excellent condition and are candidates for preservation/re-use in a comprehensive renovation unless they are determined to not meet current energy standards.

### **Exterior Doors**

With the exception of the original loading dock door, all the exterior doors were replaced in 2013. Doors incorporating glazed sidelights and transoms were replaced with thermally broken aluminum storefront units with

insulated glazing. Solid and vision panel doors were replaced with FRP (fiber reinforced polymer) doors in the original hollow metal frames. The doors are in good condition with light signs of wear including faded paint, dents and chips. The original hollow metal frame at the loading dock door has minimal rust. Many doors do not have a canopy, which exposes them to the harsh New England elements. This accelerates deterioration and increases water incursion during wind-blown rain events. There are few card readers and no operators at exterior doors. The addition of canopies,



*Rust at loading dock railings*



*Mechanical louver in good condition*



*Original door at loading dock*



*Failing sealant at grille*

security enhancements, and accessibility upgrades are recommended as part of a comprehensive renovation.

### **Louvers and Grilles**

Louvers include grilles for classroom unit ventilators and intake/exhaust lovers for the kitchen and mechanical areas. Most louvers are in good condition. Some have new sealant; some have failing sealant that needs replacement.

### **Ladders and Railings**

There is surface rust on roof ladders. Metal railings at the loading dock have significant rust and deterioration at post bases. ♦

## ARCHITECTURAL EVALUATION

**Interior Review****Floors**

The majority of the building's original floor finishes included 9" x 9" Vinyl Asbestos Tile (VAT) in the corridors, classrooms, cafeteria, and offices. Although efforts by the maintenance staff have kept these floors in generally good condition, the overall appearance of this 50+ year old flooring is dingy and aged. Moreover, asbestos is considered a hazardous material when not fully intact. Areas of tile showing cracking, chipping, and settling are of special concern. Especially for a school, abatement is recommended

in order to avoid the possibility of the product becoming friable. Some heavy traffic areas and classrooms have replaced the VAT with modern, non-hazardous 12" x 12" VCT. With the exception of where it is used in toilet rooms, the replacement VCT is generally in good condition.

Other flooring in the building includes broadloom carpet in a few classrooms and the library, painted concrete in the larger technology classroom and maintenance areas, quarry tile in the kitchen/food service areas, and ceramic tile in the toilet rooms. A few toilet rooms have VCT instead of ceramic tile flooring. In these toilet rooms, the VCT is lifting up due to water damage.

The carpet in the library and adjacent upper technology classroom is at least 8 years old. There are tears, damage, and buckling in a few locations. High traffic areas are showing wear. It is broadloom carpet, and would require complete replacement with a comprehensive renovation.

The stairs are a combination of scored steel tread edges with flush inlaid VAT and VAT at landings. Conditions are generally good, with some cracked VAT



*Tripping hazard at stair*



*VAT in lobby with cracking*



*Damaged VAT at threshold*

## ARCHITECTURAL EVALUATION

due to settling or age. In one location, large portions of tiles are missing on a landing, creating a tripping hazard. There is some light rust on treads and risers.

Painted concrete flooring in the fitness and lower technology classroom is in fair to poor condition. The concrete is relatively smooth and only requires minor patching, but the paint is completely worn away in many locations.

Ceramic tile flooring ranges from good to failed conditions. Tile flooring is failed in the locker room showers and there are extensive areas of mortar patching. In toilet rooms, the original mosaic tile flooring is still sound in many locations,

but there is also settling of the substrate which has caused cracking and loose/missing tiles in many locations, especially at floor drains.

The original quarry tile in the kitchen/food service areas is still in good condition but requires a deep cleaning.

The composition gymnasium floor was replaced approximately 10 years ago with a hardwood sports floor that is in very good condition. The new floor is slightly higher than adjacent corridor, stair, and room flooring. Floor transition spaces within the gym at each door compromise the total available area for exercise. In a comprehensive renovation, it may be



*Lifting VAT in toilet room*



*Damaged floor tile in toilet room*



*Painted concrete floor in Tech Ed. classroom*



*Damaged tile at toilet room drain*

## ARCHITECTURAL EVALUATION

possible to raise or feather the flooring levels in the two adjacent gym storerooms, stair landings, and entry corridors to address this condition and create a fully level athletic floor in the gym.

The original parquet wood stage floor shows signs of wear and staining but is otherwise in good condition. It would likely remain but receive refinishing as part of a comprehensive renovation project.

### Interior Walls

Interior walls are primarily painted concrete masonry units (CMU). In most locations, any modern retrofitted

amenities requiring power or data (such as interactive whiteboards) all have surface raceway or conduit. Classroom and office CMU walls often have exposed piping as well. The presence of so many surface-mounted items on classroom walls limits teaching and display space, which are paramount in learning spaces. The interior CMU surfaces throughout the building are generally in very good condition and appear to have been recently painted. In very limited cases, there is minor cracking or damage which can be patched or sealed and repainted.

A few interior partition walls are plaster on metal studs. Four classrooms and two offices have operable walls.



Wood athletic floor in gym with level transitions



CMU classroom teaching wall



Original parquet stage floor in cafeteria



Operable classroom divider with surface damage



## ARCHITECTURAL EVALUATION

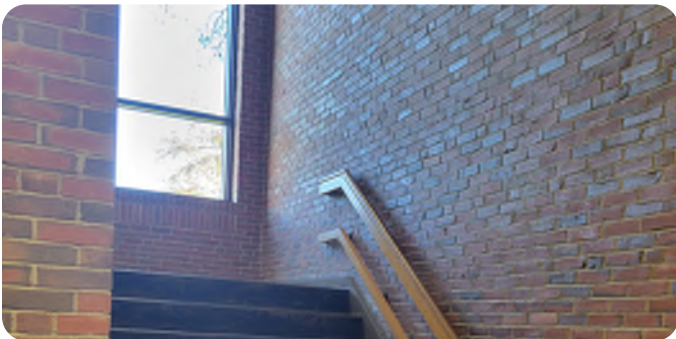
The classroom partitions have a dark woodgrain vinyl finish that is dented and peeling in various locations. The office partition has a light fabric-textured vinyl finish in generally good condition.

Lobbies and stair enclosures have interior brick veneer over CMU. The majority of the brick is in very good condition. In the few locations with damage or cracking, cracks may be sealed or damaged bricks replaced with attic stock.

Water fountain niches, toilet rooms, and the kitchen have floor to ceiling ceramic tile, all generally in good condition. In some toilet rooms, the tile

has been painted and the paint is peeling off, especially near the floor.

Except for the music classrooms, which have sand-filled CMU partitions, the majority of classrooms have hollow CMU partitions. Additional evaluation would be required during a comprehensive renovation to determine both acoustical separation needs to limit sound transmission, and acoustical treatment needs to reduce excessive reverberation in learning spaces. Some classrooms have acoustic panels on walls near the ceiling, but staff have covered them with posters and teaching materials, reducing their efficacy. Commissioning activities following a comprehensive renovation



*Brick interior walls at stairs are in good condition*



*Acoustical wall panels in science classroom*



*Paint peeling away from tiles on toilet room walls*



*Typical academic corridor with CMU walls & lockers*

## ARCHITECTURAL EVALUATION

project could include user training/information sessions on acoustical treatments in classrooms.

The walls in the gymnasium are painted CMU with retractable wood bleachers on one side and wall pads encircling the lower wall portion of the rest of the space. The wood bleachers show signs of wear and tear. The walls of the space do not have any acoustical treatment for absorbing or reflecting sound in the space. Piping and wiring is exposed.

The cafetorium walls are painted CMU. There are no acoustical treatments on the walls for absorbing or reflecting sound in this space.

The corridor walls within the classroom areas of the building are lined with full-height lockers, a very "Industrial Revolution" practice which is no longer prevalent in middle school design. Without the lockers, corridors in a modern middle school can be more highly utilized for small group learning, tutoring, and

independent study.

### **Interior Doors**

The interior natural finish flush wood doors with hollow metal frames throughout the school are original. Many of them show signs of wear and chipped paint but are in good to fair condition. Light use doors such as those connecting classrooms are in good condition. These older doors provide very little acoustical separation between the corridor and classroom when compared to modern doors and construction standards.

Many of the vision panels and sidelites contain wired glass, which was allowed when the building was constructed; however, it is now a known safety concern due to increased breakage risk and it is not allowed under current building codes. The doors from the corridor to the egress stairs may also lack compliance with modern codes; as part of a comprehensive building renovation, the required fire ratings of all existing doors would be studied, and some doors would be replaced as necessary. All



*Door to Guidance Suite*



*Typical classroom door*

## ARCHITECTURAL EVALUATION

wire glass would also be replaced with the appropriate glazing type for the particular size of opening and required fire separation.

In service areas of the building, doors consist of painted hollow metal doors and frames. The condition of these doors varies. Some are candidates for painting and some for replacement.

The original door hardware has been replaced. However, as regulations have continued to evolve over the recent past, some of the door hardware remains non-compliant and is further discussed in the handicap accessibility portion of this report.

### Ceilings

There are a variety of ceiling systems throughout the building including lay-in 2x4 acoustic ceiling tiles (ACT), lay-in "Tectum" type acoustical ceiling panels, and suspended metal pan ceilings in service areas. All of these rely on a suspended metal grid that supports the tiles/panels. In some locations, the metal grid is rusting.

The condition of the lay-in ACT and tectum panels varies; some show water damage and stains indicating both plumbing and roof leaks. Some tiles have been replaced with tiles that do not match adjacent tiles. Some are broken or sagging. Many of the sagging tiles are associated with soffits that enclose mechanical equipment. These locations would be good candidates for replacement with sag-resistant GWB soffits. The suspended metal pan ceilings are generally in poor condition due to a combination of damage and rust.

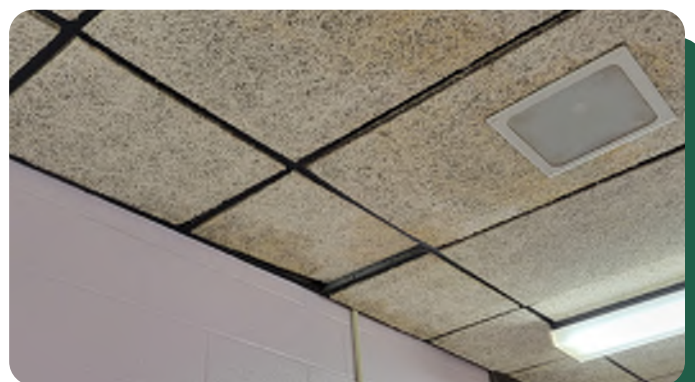
There are painted exposed concrete slab ceilings in the locker rooms and some service areas. The gymnasium ceiling is exposed precast concrete plank. All of these appear to be in good condition,



*Ceiling in Library*



*Mix of ACT and "Tectum" ceiling tiles in corridor*



*Damaged ceiling tiles in corridor*

## ARCHITECTURAL EVALUATION

although modern gymnasiums typically employ ceiling types that are NRC rated to reduce reverberation, which is a particular problem in gymnasiums.

Acoustical ceiling or wall treatments would better enhance the sound quality of these learning environments as the multiple layers of paint on the ceiling tile have likely compromised much of their acoustical qualities.

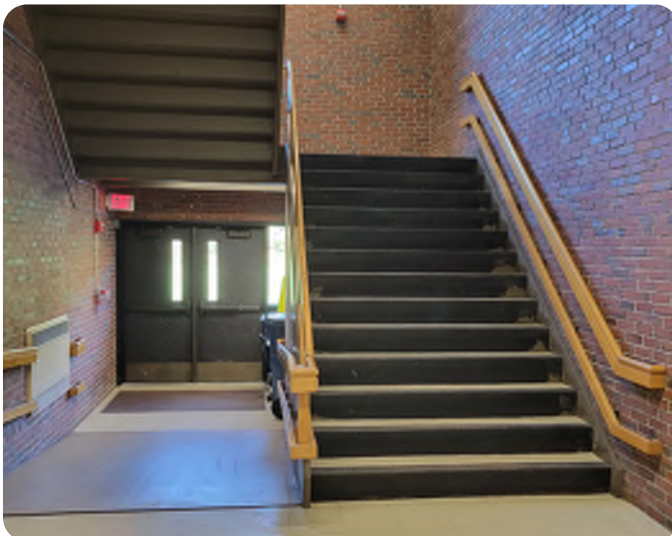
A comprehensive renovation would require an acoustical evaluation of educational, assembly, and support spaces to determine any additional requirements for ceiling acoustical materials and treatments.

Because the building has no sprinkler system and code would require the building to be fully sprinklered as part of a major renovation, the suspended ceilings would need to be removed and replaced to enable the installation of a fire suppression system.

### Stairs

With the progression of building codes and life safety standards, the egress stairs that were once deemed safe are no longer compliant. In order to be in compliance, the stair modifications include: guardrails at the code compliant height, providing continuous handrails, providing intermediate handrails for any stair greater than 60" in width, and adding vertical or horizontal railing elements to disallow the passage of a 4" diameter sphere through the stair railing. Detailed and in-depth explanations/restrictions can be found under Section 10 of the current building code.

In addition to compliance issues, damage and deterioration on the stairs is evident. A number of floor tiles are chipped or otherwise damaged. These are tripping hazards that need to be addressed. There are also instances of rust and stained/chipped paint on the stringers, risers, and scored metal



*Handrails are not continuous*



*A 4" sphere can be passed through the stair rails*

## ARCHITECTURAL EVALUATION

nosings. Stair risers and landings are not adequately marked for safety and for accessibility to users with low vision.

### **Fixtures and Equipment**

The majority of toilet compartments have been replaced and are in good condition. Six compartments original to the building remain and are candidates for replacement.

The student lockers in the corridors are in good condition, but the lockers in locker rooms have rust and impact damage to doors and frames.

Most but not all classrooms have projectors and interactive white boards; however, some original chalkboards remain and need to be replaced. The use of chalk adversely impacts classroom air quality and can trigger asthma in some students and staff.

Much of the classroom and library casework is original to the building with

conditions varying from acceptable to poor. While many classrooms have partially upgraded casework and sinks to meet accessibility standards, more upgrading is needed, especially in the science classrooms. It should be noted that general classrooms lack sinks, and several science classrooms also lack sinks.

The casework in the choral, band, and orchestra classrooms is very limited and not well-configured to support music and instrument storage. The instrument storage room has stock metal shelving with open fronts and sides and no internal dividers or compartmentalization. ♦



*Life Skills classroom has original casework*



*Metal shelving at Orchestra storage room*

# Structural Evaluation

The purpose of this report is to describe, in broad terms, the structure of the existing building; to comment on the condition of the existing building; and on the feasibility of renovation and expansion of the school.

## Scope

- Description of existing structure.
- Comments on the existing condition.
- Comments on the feasibility of renovation and expansion.

## Basis of the Report

This report is based on our visual observations during our site visit on July 20, 2023; a review of the existing drawings of the original construction for the school dated October 29, 1971 prepared by Rich, Lang & Cote, Inc.

During our site visit, we did not remove any finishes or take measurements, so our understanding of the structure is limited to the available drawings and observations of the exposed structure and the exterior facade.

## Building Description

The school is located on Pecunit Street in Canton, Massachusetts. The entire school is essentially a three story, steel and concrete structure.

The original school was constructed in 1971 and there have not been any major renovations or addition to the existing structure from the time of original construction. The typical roof structure is concrete slab spanning between composite wide flange steel girders and steel columns. The roof of the Gymnasium

is precast concrete plank spanning between steel bulb tees supported on open web steel joists which in turn span in between wide flange steel beam girders and steel column. Some of the columns between the first and second floor are reinforced concrete columns and they transition to wide flange steel columns above the second floor. The lowest level slab is a concrete slab-on-grade. The foundations supporting the columns and the exterior walls of the structure are reinforced concrete foundations.

## Existing Conditions

Based on our observations, the school structure is performing well. We observed signs of water leakage at a few locations. We observed cracks in the exposed concrete slab on grade at a few locations. We did not observe any positive connections between the non-structural masonry partitions and the structure.



*Typical floor slab viewed from Mechanical room*

## STRUCTURAL EVALUATION

We observed a few cracks in the exterior masonry façade and signs of past repairs.

We did not perceive any undue vibrations at the supported floors nor did we observe any signs of foundation settlement.

### Proposed Schemes

Based on our observations and our analysis of the existing drawings, no structural upgrades are required for any proposed scheme that has limited renovation scope and does not require any structural modifications. The extent of the code required structural upgrades is dependent on the extents of the proposed renovations. The following is a description of the compliance methods

that may be triggered depending on the extents of the proposed schemes as dictated by other disciplines.

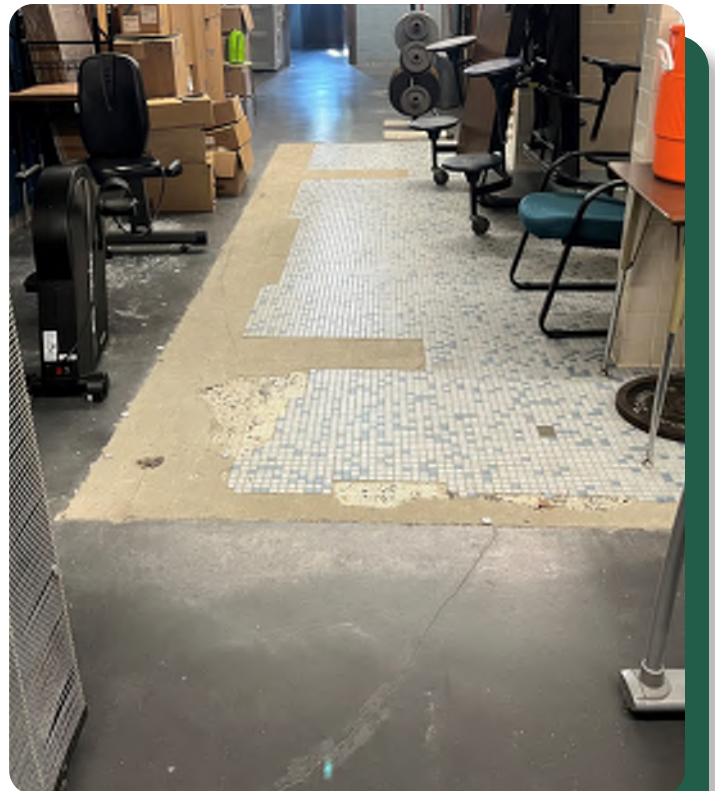
### General Code Considerations

#### **Primary Structural Code Issues Related To the Existing Structure**

If any repairs, renovations, additions or change of occupancy or use are made to the existing structures, a check for compliance with 780 CMR, Chapter 34 "Existing Building Code" (Massachusetts Amendments to The International Existing Building Code 2015) of the Massachusetts Amendments to the International Building Code 2015 (IBC 2015) and reference code "International Existing Building Code



*Typical gymnasium roof framing*



*Example of cracks in slab on grade*

## STRUCTURAL EVALUATION

2015" (IEBC 2015) is required. The intent of the IEBC and the related Massachusetts Amendments to IEBC is to provide alternative approaches to alterations, repairs, additions and/or a change of occupancy or use without requiring full compliance with the code requirements for new construction.

The IEBC provides three compliance methods for the repair, alteration, change of use or additions to an existing structure. Compliance is required with only one of the three compliance alternatives. Once the compliance alternative is selected, the project will have to comply with all requirements of that particular method. The requirements from the three compliance alternatives cannot be applied in combination with each other.

The three compliance methods are as follows:

1. Prescription Compliance Method.
2. Work Area Compliance Method.
3. Performance Compliance Method.

### **Comment**

The approach is to evaluate the compliance requirements for each of the three methods and select the method that would yield the most cost effective solution for the structural scope of the project. The selection of the compliance method may have to be re-evaluated after the impact of the selected method is understood and after analyzing the compliance requirements of the other disciplines, Architectural, Mechanical, Fire Protection, Electrical and Plumbing.

Since the existing building contains un-reinforced masonry wall structures, the anchorage of the walls to the floor and

roof structure will have to be evaluated if the work area of the project exceeds 50 percent of the aggregate floor and roof area of the building.

### **Prescriptive Compliance Method**

In this method, compliance with Chapter 4 of the IEBC is required. As part of the scope of this report, the extent of the compliance requirements identified are limited to the structural requirements of this chapter.

### **Additions**

Based on the project scope, the following structural issues have to be addressed:

- All additions should comply with the code requirements for new construction in the IBC.
- For additions that are not structurally independent of an existing structure, the existing structure and its addition, acting as a single structure, shall meet the requirements of the Code for New Construction for resisting lateral loads, except for the existing lateral load carrying structural elements whose demand-capacity ratio is not increased by more than 10 percent, these elements can remain unaltered.
- Any existing gravity, load-carrying structural element for which an addition or its related alterations causes an increase in the design gravity load of more than 5 percent shall be strengthened, supplemented or replaced.

### **Alterations**

- Any existing gravity, load-carrying



## STRUCTURAL EVALUATION

structural element for which an addition or its related alterations causes an increase in the design gravity load of more than 5 percent shall be strengthened, supplemented or replaced.

- For alterations that would increase the design lateral loads or cause a structural irregularity or decrease the capacity of any lateral load carrying structural element, the structure of the altered building shall meet the requirements of the Code for New Construction, except for the existing lateral load carrying structural elements whose demand-capacity ratio is not increased by more than 10 percent, these elements can remain unaltered.

### **Work Area Compliance Method**

In this method, compliance with Chapter 5 through 13 of the IEBC is required. As part of the scope of this report, the extent of the compliance requirements identified are limited to the structural requirements of these chapters.

In this method, the extent of alterations has to be classified into LEVELS OF WORK based on the scope and extent of the alterations to the existing structure. The LEVEL OF WORK can be classified into LEVEL 1, LEVEL 2 or LEVEL 3 Alterations. In addition, there are requirements that have to be satisfied for additions to the existing structure.

The extent of the renovations (includes Architectural, FP and MEP renovations) for this project exceeds 50 percent of the aggregate area of the building, thus, the LEVEL OF WORK for this project would be classified as LEVEL 3 Alterations. This

would require compliance with provision of Chapter 7, 8 and 9 of the IEBC. If the scope of the project includes new additions to the existing structure; this would trigger compliance with provisions in Chapter 11 of the IEBC.

### **Level 3 Alterations**

- Any existing gravity, load-carrying structural element for which an alteration causes an increase in the design gravity load of more than 5 percent shall be strengthened, supplemented or replaced.
- For alterations where more than 30 percent of the total floor area and roof areas of a building or structure have been or proposed to be involved in structural alterations within a 12 month period, the evaluation and analysis shall demonstrate that the altered building complies with the full design wind loads as per the code requirements for new construction and with reduced IBC level seismic forces.
- For alterations where not more than 30 percent of the total floor and roof areas of a building are involved in structural alterations within a 12 month period, the evaluation and analysis shall demonstrate that the altered building or structure complies with the loads at the time of the original construction or the most recent substantial alteration (more than 30 percent of total floor and roof area). If these alterations increase the seismic demand-capacity ratio on any structural element by more than 10 percent, that particular structural element shall comply with reduced IBC level seismic forces.

## STRUCTURAL EVALUATION

- Existing anchorage of all unreinforced masonry walls to the structure have to be evaluated.

### **Additions**

- All additions shall comply with the requirements for the Code for New Construction in the IBC.
- Any existing gravity, load-carrying structural element for which an addition or its related alterations cause an increase in design gravity load of more than 5 percent shall be strengthened, supplemented or replaced.
- For additions that are not structurally independent of any existing structures, the existing structure and its additions, acting as a single structure, shall meet the requirements of the Code for New Construction in the IBC for resisting wind loads and IBC Level Seismic Forces (may be lower than loads from the Code for New Construction in the IBC), except for small additions that would not increase the lateral force story shear in any story by more than 10 percent cumulative. In this case, the existing lateral load resisting system can remain unaltered.

### **Performance Compliance Method**

Following the requirements of this method for the alterations and additions may be onerous on the project because this method requires that the altered existing structure and the additions meet the requirements for the Code for New Construction in the IBC.

### **Particular Requirements of Compliance Methods**

For our project, in order to meet compliance with one of the two compliance methods "Prescriptive Compliance Method" or the "Work Area Compliance Method", we have to address the following:

### **Prescriptive Compliance Method**

#### **Additions**

The proposed additions would be designed structurally independent of the existing structures, thus, would not impart any additional lateral loads on the existing structure.

If the proposed alterations are such that the alterations increase the design lateral loads on the existing building or cause any structural irregularity of decrease the lateral load carrying capacity of the building, the structure of the altered building shall meet the requirements of the Code for New Construction in the IBC.

If the proposed additions increase the design gravity load on portions of the existing roof members, these members would have to be reinforced and this incidental structural alteration of the existing structures would have to be accounted for in the scope of the alterations to the existing school and would trigger requirements for alterations.

#### **Alterations**

Alterations that would increase the design gravity loads by more than 5 percent on any structural members would have to be reinforced.

If the proposed alterations of the structure increases the demand-capacity ratio of any lateral load resisting element by more than 10 percent, the structure

## STRUCTURAL EVALUATION

of the altered building or structure shall meet the requirements for the Code for New Construction.

### **Work Area Compliance Method**

#### **Level 3 Alterations**

If the proposed structural alterations of an existing structure are less than 30 percent of the total floor and roof areas of the existing structure, we have to demonstrate that the altered structure complies with the loads applicable at the time of the original construction and that the seismic demand-capacity ratio is not increased by more than 10 percent on any existing structural element. Those structural elements whose seismic demand-capacity ratio is increased by more than 10 percent shall comply with reduced IBC level seismic forces.

If the proposed structural alterations of an existing structure exceed 30 percent of the total floor and roof areas of an existing structure, we have to demonstrate that the altered structure complies with the IBC for wind loading and with reduced IBC level seismic forces.

Existing anchorage of all unreinforced masonry walls to the structure have to be evaluated. If the existing anchorage of the walls to the structure is deficient, the tops of the masonry walls will require new connections to the structure.

#### **Additions**

Any proposed additions would be designed structurally independent of the existing structures, thus, they would not impart any additional lateral loads on the existing structures.

#### **Comment**

The compliance requirements of the two methods, in most respects, are very similar. The Prescriptive Compliance Method would require that the existing lateral load resisting systems meet the requirements of the Code for New Construction of the IBC, even for small increases of design lateral loads. The requirements of both methods will require anchorage of all existing masonry walls. Based on this, we would recommend the Work Area Compliance Method for the project.

#### **Summary**

The existing school structure appears to be performing well. Most of the structural components that are visible appear in sound condition. We observed minor cracks in the slab on grade.

Any major, proposed renovations and additions would likely require that the structure be updated to meet the requirements for Code for New Construction. This may require addition of some shear walls, connecting the roof diaphragms to the existing masonry walls and the clipping of non-structural masonry walls to the structure. All of the existing masonry walls would have to be adequately connected to the roof structure.

# Mechanical Evaluation

## Boiler Plant:

The building is heated by two (2) gas fired boilers. One boiler is a cast iron boiler manufactured by the Smith model 28A, equipped with Webster burner. The second boiler is a more modern, high efficiency condensing type as manufactured in 2000 by Viessmann, model G7/1-D, fitted with a Weishaupt burner. The Smith boiler has a capacity of 2,867 MBH and the Viessmann boiler has a maximum input of 3,361 MBH.

### Deficiencies as it relates to current Codes:

- None observed.

### Condition:

- The boilers are in good condition and appear to be well maintained. However, it should be noted that they are twenty-three (23) years old, which is considered 75% (approx.) of their service life



*Gas fired boilers*

## Recommendations:

- Continue to provide proper maintenance per manufacturer's recommendations.

The boilers provide hot water for heating to the building which is pumped by a combination of in-line and base mounted end suction pumps. These sets are arranged in a primary/stand-by configuration. If the primary pump was to fail the stand-by would engage.

### Deficiencies as it relates to current Codes:

- None observed.

### Condition:

- Overall, the pumps appear to be in fair condition and appear to have received proper maintenance.



*Pump set*

## MECHANICAL EVALUATION

### **Recommendations:**

- None other than continuing to perform proper manufacturer's recommended maintenance.

### **Controls**

The automatic temperature controls system is a combination of pneumatics and direct digital controls (DDC). Compressed air is supplied by a duplex air compressor fitted with an air dryer. Individual classroom unit ventilators are still controlled pneumatically while newer rooftop units and boilers are controlled via electronic controls.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- Overall, the system is functional and appears to be in fair condition.

However, pneumatic controls are an outdated means of providing temperature control and managing energy.

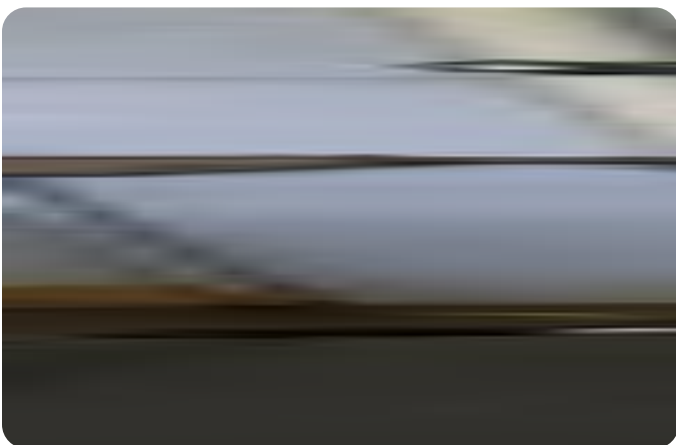
### **Recommendations:**

- Any renovation project should include removal of the pneumatic controls and include an update/upgrade to a full DDC system, which can provide good operational flexibility and optimize energy consumption.

### **HVAC System:**

#### **Classrooms:**

Classrooms are heated and ventilated by classroom unit ventilators (UV). Outside air is supplied to the unit ventilators via wall louvers located below the windows or through roof hoods. Each unit ventilator has a hot water heating coil, filters, outside/return air dampers and supply fans. Valves and damper



*Pump set*



*Typical Classroom Unit Ventilator*

## MECHANICAL EVALUATION

actuators are pneumatic. The classroom unit ventilators were manufactured by AAF/Herman Nelson.

General exhaust for the classrooms is provided by a system consisting of an exhaust grille located in each room and exhaust ductwork and either roof exhaust fans or utility fan sets.

### **Deficiencies as it relates to current Codes:**

- None observed. However, ventilation codes have changed significantly since when this school was built and outside airflow measurements would be required to confirm whether or not these units can provide an outside air flow rate to meet current code.

### **Condition:**

- The unit ventilators appear to be in good working order and properly maintained. However, they have outlived their useful service life.

### **Recommendations:**

- The district should consider replacing these units as part of any renovation project.

### **Gymnasium:**

The gymnasium is heated and ventilated by seven (7) horizontal unit ventilators manufactured by AAF/Herman Nelson, which are suspended from the gymnasium roof structure. Each unit

ventilator has a hot water heating coil, filters, outside/return air dampers and supply fans. Valves and damper actuators are pneumatic.

General exhaust is handled by dedicated exhaust fans and a system of exhaust ductwork and low wall exhaust grilles.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- Overall, the unit ventilators and exhaust fans appear to be in good condition and appear to have received proper maintenance. However, this equipment has outlived its useful service life.

### **Recommendations:**

- The district should consider replacing these units as part of any renovation project.



*Gymnasium Horizontal Unit Ventilators*

## MECHANICAL EVALUATION

### **Administration:**

The Administration area is heated, cooled and ventilated by combination of perimeter fin tube radiation and newer packaged rooftop units as manufactured by Carrier Corporation. The new rooftop units are replacement units and are installed on curb adapters.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- Overall, the rooftop units appear to be in good condition and appear to properly maintained.

### **Recommendations:**

- None other than continuing to perform proper manufacturer's recommended maintenance.

### **Media Center:**

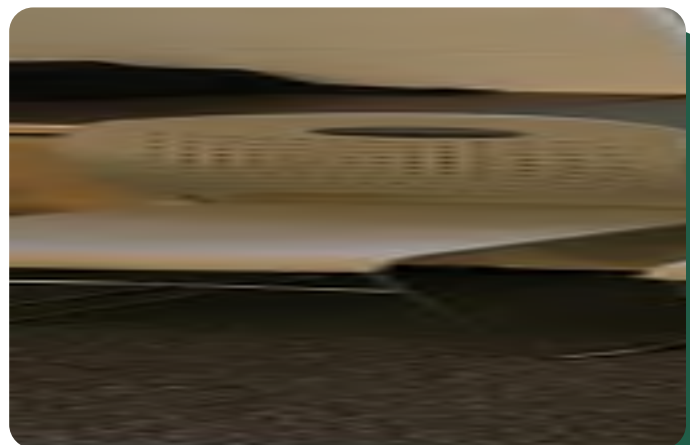
The Media Center is heated and ventilated by four (4) unit ventilators (UV). Outside air is supplied to the unit ventilators via wall louvers located below the windows or through roof hoods. Each unit ventilator has a hot water heating coil, filters, outside/return air dampers and supply fan. Valves and damper actuators are pneumatic. The unit ventilators were manufactured by AAF/Herman Nelson



*Original AAF/Herman Nelson Unit Ventilator*



*Packaged Roof Top Unit*



*Replacement Daikin Unit Ventilator*

## MECHANICAL EVALUATION

and Daikin.

### **Deficiencies as it relates to current**

#### **Codes:**

- None observed. However, ventilation codes have changed significantly since when this school was built and outside airflow measurements would be required to confirm whether or not these units can provide an outside air flow rate to meet current code.

#### **Condition:**

- The unit ventilators appear to be in good working order and properly maintained. However, with the exception of the Daikin unit, they have outlived their useful service life.

#### **Recommendations:**

- The district should consider replacing these units as part of any renovation project.

### **Cafetorium:**

The Cafetorium is heated and ventilated by five (5) unit ventilators (UV). Outside air is supplied to the unit ventilators via wall louvers located below the windows or through roof hoods. Each unit ventilator has a hot water heating coil, filters, outside/return air dampers and supply fan. The unit ventilators were manufactured by Daikin and appear to be replacements and are not original vintage.

### **Deficiencies as it relates to current**

#### **Codes:**

- None observed. However, ventilation codes have changed significantly since when this school was built and outside airflow measurements would be required to confirm whether or not these units can provide an outside air flow rate to meet current code.

#### **Condition:**

- Overall, the UVs appear to be in good condition and appear to have received proper maintenance.

#### **Recommendations:**

- None other than continuing to perform proper manufacturer's recommended maintenance.
- Unit replacement may be required within the next 5 to 10 years.

### **Toilet Rooms:**



*Cafetorium Unit Ventilator*



## MECHANICAL EVALUATION

The toilet rooms are exhausted through a system of ceiling grilles, ductwork and roof mounted centrifugal exhaust fans. Although operational, the exhaust fans have outlived their useful service life.

## Electrical Evaluation

### Electric Service:

The primary electric service which originates from a riser conduit on an electric utility company pole feeds the pad mounted electric utility company transformer via underground conduit/cabling. The transformer is located on the site within a fenced in area, with overgrown vegetation. The electric utility company meter is located in the Main Electric Room.

### Deficiencies as it relates to current Codes:

- None observed.

### Condition:

- The electric service from visual observation appears to be in poor condition.

### Recommendations:

- Two new building electric services should be provided via two electric utility company pad mounted transformers with primary electric service conduits in concrete duct banks and secondary electric service cabling/conduits in concrete duct banks.

### Normal Power System:

The switchboard is fed by the electric utility company transformer via underground conduit/cabling. The switchboard is rated at 1200 amps at 277/480 volt, three phase, four wire. It has a main circuit breaker and feeds panelboards and transformers located in the throughout the building. The distribution sections of the switchboard are made up of circuit breakers. The normal power distribution is primarily manufactured by Zinisco, with various other manufacturer's.



*Transformer*



*Switchboard*

## ELECTRICAL EVALUATION

### **Deficiencies as it relates to current**

#### **Codes:**

- Electrical circuits for kitchen equipment under hoods are not protected by shunt trip circuit breakers as required by Code.

#### **Condition:**

- The normal power system by visual observation appears to be in poor condition.

#### **Recommendations:**

- New power distribution should be provided throughout the building. If the goal is a Net Zero all-electric building then the preliminary load calculations indicate that the two switchboards should be rated at 4000 amps (100% rated) at 277/480 volt, three phase, four wire.

### **Emergency Power System:**

The building has a 277/480 volt, three phase, four wire, 150 kW diesel generator as manufactured by Katolight which is located within the Mechanical Room.

The generator provides emergency power upon loss of normal utility power via one automatic transfer switch and panelboards in the Mechanical Room and in other Electric Rooms. The ATS is manufactured by Asco and is rated at 400 amps. The loads in the emergency panelboards and optional standby panelboards are mixed and are not properly separated as required by the National Electrical Code.

### **Deficiencies as it relates to current**

#### **Codes:**

- The loads in the emergency panelboards and optional standby panelboards are mixed and are not properly separated as required by the National Electrical Code.



Sub Electric Room



Meters

## ELECTRICAL EVALUATION

- Emergency and optional standby panelboards are required to be protected by surge suppressors.

### Condition:

- The emergency power system by visual observation appears to be in poor condition, and as described above does not meet current Codes.

### Recommendations:

- A new diesel fuel generator with a sound attenuated, weatherproof enclosure is recommended to comply with the National Electrical Code.
- New surge suppressors should be provided for emergency and optional standby panelboards.
- New panelboards and an automatic transfer switch dedicated to emergency loads should be

provided.

- New panelboards and an automatic transfer switch dedicated to optional standby loads should be provided.

### Fire Alarm:

The fire alarm control panel is located in the Maintenance Office and is an addressable Honeywell Silent Knight Model 6820. The fire alarm communicator also located in the Maintenance Office alerts the Fire Department when the fire alarm system is initiated. The building appears to be completely covered throughout by heat and/or smoke detectors. The fire alarm system consists of remote annunciators, smoke detectors, carbon monoxide detectors, heat detectors, duct smoke detectors, pull stations, magnetic door holders, strobes, and horn/strobes.



Generator, Emergency Panel, and ATS

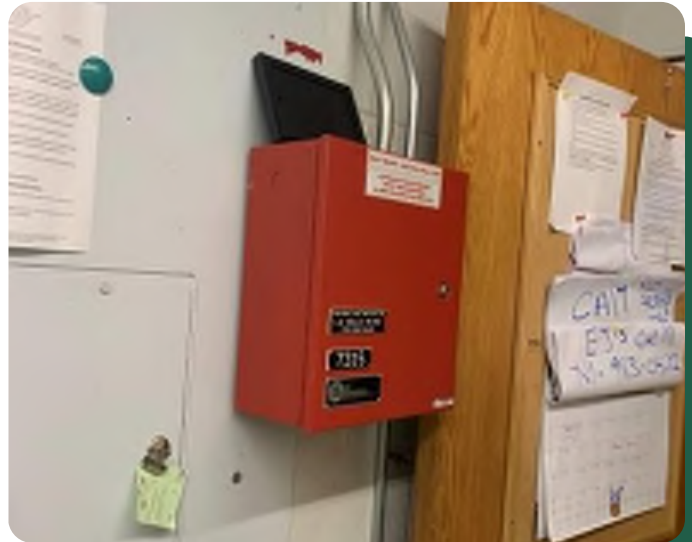


Generator Nameplate

## ELECTRICAL EVALUATION



*Fire Alarm Control Panel*



*Digital Communicator*

### **Deficiencies as it relates to current Codes:**

- The building utilizes horn/strobes for notification, therefore it does not comply with the International Building Code as speaker/strobes are required to provide voice evacuation throughout the building.

### **Condition:**

- The fire alarm system by visual observation appears to be in good condition, however as described above does not meet current Codes.

### **Recommendations:**

- A new fire alarm system is recommended for the building which would include voice

evacuation as required by the International Building Code.

### **Lighting:**

#### **Interior**

The interior lighting consists of mostly fluorescent lighting fixtures with some upgraded LED lighting fixtures. Exit signs provide for direction to paths of egress.

### **Condition:**

- By visual observation, the interior fluorescent lighting fixtures appear to be in poor condition, while the LED lighting fixtures appear to be in good condition.

### **Recommendations:**

- New LED lighting fixtures should be provided to replace existing fluorescent lighting fixtures.

## ELECTRICAL EVALUATION

### Exterior

Lighting consists of wall mounted and pole mounted LED lighting fixtures.

#### Condition:

- The exterior lighting by visual observation appears to be in good condition.

#### Recommendations:

- None.

### Lighting Controls

Interior lighting is controlled by local wall switches, some wall mounted combination switch/occupancy sensors, and wall/ceiling mounted occupancy sensors.

Exterior lighting is controlled by time clock.

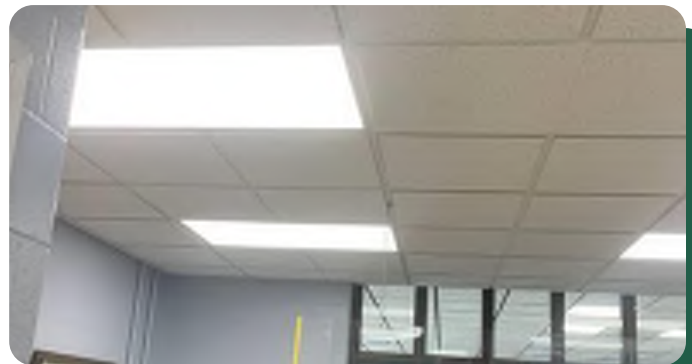
#### Deficiencies as it relates to current

#### Codes:

- The current building switching does not meet the International Energy Conservation Code as it is Auto-On. Manual-On is required



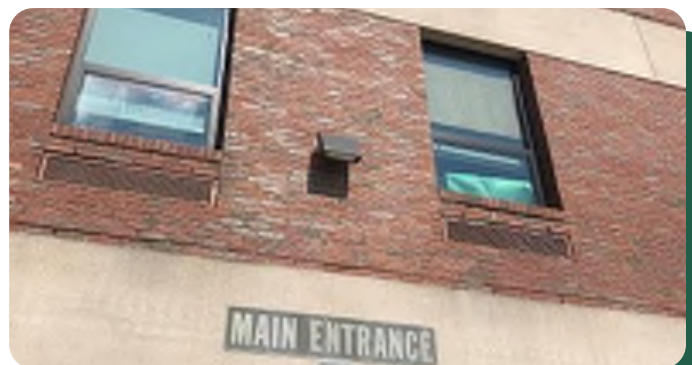
*Fluorescent Lighting Fixtures*



*LED Lighting Fixtures*



*Pole Site Lighting Fixture*



*Wall Mounted Lighting Fixture*

## ELECTRICAL EVALUATION

in most areas, except in Corridors, Stairs, and Toilet rooms.

- Automatic daylight harvesting is required as per the International Energy Conservation Code.

### **Condition:**

- The lighting controls by visual observation appears to be in fair condition, however as described above, does not meet current Codes.

### **Recommendations:**

- The lighting control system should be replaced with new to comply with the International Energy Conservation Code.

### **Receptacles:**

Receptacles are ground type, with some GFCI type throughout the building. Receptacles have been added over the years through the use of EMT conduit with surface boxes, tele-power poles, plugmold, and wiremold.

### **Deficiencies as it relates to current Codes:**

- Receptacles in the Kitchen require GFCI protection where equipment plugs in via cord and plug and is either 125-250 volt single phase 150 volts or less to ground 50 amps or less, or 208 volt three phase 100 amps or less as per National Electrical Code.
- Receptacles are not tamper resistant type as required by the National Electrical Code.

### **Condition:**

- Receptacles by visual observation appear to be in fair condition, however as described above, do not meet current Codes.

### **Recommendations:**

- New receptacles in the Kitchen should be provided as required by the National Electrical Code.
- New tamper resistant type receptacles should be throughout the building.

### **Lightning Protection:**

The building does not have a lightning protection system.

### **Recommendations:**

- Although it not required by Code, a lightning protection system is recommended which would include air terminals on the roof with downlead conductors to ground and surge protection.

### **Bi-directional Amplifier System:**

The building does not appear to have a bi-directional amplifier system.

### **Recommendations:**

- A bi-directional amplifier system is probably required unless testing proves that Police and Fire Department radios have required signal levels as dictated by the International Building Code. A bi-directional amplifier system would include an amplifier and cabling above ceilings.

## ELECTRICAL EVALUATION

### **Wiring:**

Wiring is made up of MC cabling, FA MC cabling, EMT, Rigid, and PVC conduit.

### **Mass Notification System:**

The building does not have a Mass Notification System.

### **Recommendations:**

- Although it is not required by Code, a Mass Notification System is highly recommended for Schools. A Mass Notification System would consist of control panels, info alarm graphic annunciators and controllers, addressable speakers, and amber lens strobes.



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# Plumbing Evaluation

## Water service:

The 6-inch domestic water service enters the mechanical room and reduces to 4" before connecting to the 4" Compound water meter. After the water meter the piping passes through a 4" Pressure reducing valve mounted approx. 12" above the finished floor.

## Deficiencies as it relates to current Codes:

- Water service to be protected by a backflow preventer.

## Condition:

- The water service, associated water meter & Main shut off valves appear to be in poor condition. As they look to be original to the school. There has been a new PRV station added or replaced recently and appears to be in good working condition.

## Recommendations:

- It is recommended a proper backflow preventer be added to the service to protect the town's water system, and at that time it would be recommended to replace the schools main service valve.

## Domestic Hot Water system:

The school's is provided with (2) different forms of water heating. Both systems appear to be in working condition, and serviced. The main water heating system is provided from (2) 119 Gallon indirect water heaters. These water heaters appear to be the main school's hot water source during the winter months of the school's operation. These tanks look to be in working order, but are past their life expectancy. As a secondary water heating source, the school is provided with (2) 75,000 BTU Gas fired water heaters, with a storage capacity of 75 Gallons. These water heaters are tied back into the main



Water Service

## PLUMBING EVALUATION

water mains that are feed to the school's main mixing valve.

### **Deficiencies as it relates to current Codes:**

- None Observed

### **Condition:**

- In general, the water heating system is operational, but with 2 different systems to maintain, the school would benefit from an updated system that would meet the school's year-round hot water needs.

### **Recommendations:**

- Continue to provide proper maintenance per manufacturer's recommendations.

### **Water piping:**

The water piping is mainly copper piping joined by soldering techniques. The majority of the building is insulated, with some locations having incomplete insulation.

### **Condition:**

- In general, the majority of the water piping and associated insulation has exceeded its life expectancy.

### **Sanitary systems:**



*Indirect Water Heaters*



*Gas Fired Water Heaters*

## PLUMBING EVALUATION

The sanitary system collects waste from all fixtures throughout the building and distributes said waste to the town sewer system. It is unknown how many exit points are located in this building. The sanitary piping consists of Cast iron & PVC piping for indirect waste.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- In general, the majority of the sanitary piping appears to be in fair condition, with locations that have been recently renovated or repaired with piping in good condition.

### **Lab Waste systems:**

The existing school does not currently have a central acid neutralization tank or point of use tanks at the classroom sinks. The Science classroom sinks consisted of epoxy sinks, with outdated faucets. Some faucets have been replaced with newer faucets without vacuum breakers. Emergency eyewashes are provided at the sink. The sinks are piped with glass piping & fittings.

### **Deficiencies as it relates to current Codes:**

- The lab waste system is dependent on the chemicals being used by the school staff. If the chemicals used are deemed to be hazardous, a lab waste Neutralization system may be required by code

### **Condition:**

- In general, the majority of the science classroom fixtures have out lived their life expectancy, and are in poor condition.

### **Recommendations:**

- It would be recommended that a proper neutralization tank be added at each sink, with polypropylene piping to replace the outdated glass piping.

### **Storm systems:**

The main school storm drainage is made up of cast iron piping & roof drains with no overflow system. The storm drains exit the building by gravity and ties into the site storm system.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- In general, the storm drainage



*Science Classroom Sink*

## PLUMBING EVALUATION



*Roof Drain*

pipng appears to be in fair condition. The roof drain domes are in good shape and providing a level of protection to the storm system.

### **Recommendations:**

- It would be recommended that the concrete pavers associated with the solar panels be replaced, as they are breaking down, and the concrete debris are being wasted down the main storm system, at this point it is likely that the storm piping is starting to build up with concrete debris creating a potential blockage.



*Deteriorating Concrete Pavers on Roof*

### **Gas system:**

- The gas meter is located at the back of the school building. The service is provided with a pressure regulator pre-gas meter outside the building, as well as a dedicated line to feed the natural gas generator. The gas main enters the mechanical room and then distributes throughout the building to various gas fired pieces of equipment such as the boilers, and Water heaters.



*Natural Gas Generator*



*Gas Service and Meter*

## PLUMBING EVALUATION

### **Deficiencies as it relates to current**

#### **Codes:**

- None observed.

#### **Condition:**

- In general, the gas system appears to be in fair condition. The service itself is in good condition, but the piping downstream of the exterior gas service regulators, which distributes throughout the building, has exceeded its lifespan.

#### **Recommendations:**

- It would be recommended the existing exposed gas piping outside be cleaned and painted with a fresh coat of rust inhibitive paint to extend the life of the gas service & Piping.

### **Kitchen waste:**

The existing kitchen consists a three-pot sink, Prep Sinks, and multiple hand-washing sinks. The kitchen equipment



*Three-pot Kitchen Sink Station*

looked to be gas at one point and now has been replaced with Electric Cooking equipment. The existing 3-pot sink is provided with a Grease interceptor, and newer water booster heater.

### **Deficiencies as it relates to current**

#### **Codes:**

- Kitchen prep-sink is hard piped to the kitchen sanitary system. Prep sink are to be indirectly drained with air gap to floor drain to prevent possible sewage & fumes back up into fixture were food is being prepared.

#### **Condition:**

- In general, the majority of the kitchen waste piping appears to be in poor condition.

### **Plumbing fixtures:**

#### **Water closets:**

Wall hung with manual flush valves, and Sloan sensor flush valves.

#### **Urinals:**

Wall hung with manual flush valves, and Sloan flush valves.

#### **Lavatories:**

Wall hung with a mix of manual faucets, and wall hung China or drop-in China sinks.

#### **Water coolers:**

A mix of original recessed stainless-steel bubblers & Elkay single level water cooler with bottle filler.

## PLUMBING EVALUATION

### **Emergency Stations:**

Floor mounted emergency shower & eyewash stations.

### **Floor drains:**

Variety of nickel bronze & stainless-steel floor drains / floor sinks, depending on application.

### **Utility Sinks / Mop Service Basin:**

Mop basin with manual faucets.

### **Deficiencies as it relates to current Codes:**

- None observed.

### **Condition:**

- It appears that most bathroom flush valves are still using manual flush valves in poor condition. some of the flush valves on water closets and urinals have been replaced with since the school was built & are in fair condition.
- It appears most bathroom faucets are still using manual faucets in poor/fair condition.

# Fire Protection Evaluation

## General Evaluation:

The existing School is not protected by an automatic sprinkler system.

## Code Compliance Assessment:

- Per the State Building Code, the facility is required to be fully sprinklered. The facility is not in Compliance with the existing Building Code.

## Recommendations:

- Install a complete automatic sprinkler system. The existing water supply must be evaluated to determine flow and pressure capacities for the proposed fire protection system.

## Applicable Codes and Regulations:

780 CMR, Ninth Edition

Chapter 9, Fire Protection Systems, Table 903.2: Buildings of Use Group E greater than 12,000 square feet shall be provided with a complete automatic sprinkler system designed in accordance with NFPA 13. This requirement negates alternatives or exceptions allowed under Section 901.2 where a partial system may be installed or alternative means of compliance may be considered.

Chapter 34, Existing Structures (International Existing Building Code 2009), Section 102.2.1.1: When existing buildings or portions thereof undergo additions or alterations, M.G.L. c. 148, § 26G may apply with respect to automatic

sprinkler requirements. Requirements of this statute are enforced by the Fire Official.

M.G.L. c. 148 § 26G: Every building or structure, including any additions or major alterations thereto, which totals in the aggregate, more than 7,500 gross square feet in floor area shall be protected throughout with an adequate system of automatic sprinklers in accordance with the provisions of the State Building Code.

“Major Alterations” has been defined in an advisory memorandum issued by the State Automatic Sprinklers Appeals Board as where the scope of work affects 33 percent or more of the total gross square footage or the costs not including sprinkler installation are estimated to be 33 percent or more than the assessed value of the building.



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# Technology Evaluation

A brief description of the existing technology and security conditions at the Galvin Middle School is detailed below. Recommended upgrades or changes regarding a renovation or new construction follows the existing conditions narrative.

## Switches

The current switching environment at the Galvin Middle School is chassis Aruba switches. The owner states these are currently reliable. Current network cabling is a mix of Category 5 and Category 5e. Some cabling is 20 years old, and most of it is reliable.

## Phone System

The current phone system is by Mitel. It has a mix of Category 3 analog phones and Voice over IP (VoIP) phones. The system is 4-5 years old and reliable. Mitel is the district system, and would be considered proprietary for any renovation or new construction. Every classroom has a desk phone and the system is integrated with the PA system to allow paging using the phone system.

## Public Address System

The PA system is a Telecor XL system, approximately 5 years old. It is reliable but these systems are approaching end of life and parts will become scarce over the next 5 years. There are no call buttons or



*Data port availability*



*MDF*

## TECHNOLOGY EVALUATION

emergency page buttons in the classrooms. The clock system needs frequent resynchronization. There are digital clocks in use currently in classrooms and offices. Exterior PA speakers are surface mounted horns, without enclosures. Telecor is a district standard and may be considered proprietary.

### Wireless

The wireless access points are by Ruckus. They are 3-5 years old and many are not in ideal locations in the classroom. There are plans in place to move them to better locations. These are a district standard, and may be considered proprietary. Current cover

and deployment locations are adequate. There is no outdoor wifi currently in place.

### IPTV

There is no video distribution cabling or devices (other than streaming internet video) in use in the building.

### Mass Notification System (MNS)

There is no mass notification system in place in the building. Commonly, a PA system is used in place of a mass notification system, but a PA system is not supervised at the end points like a certified mass notification system is.

### Security Overview

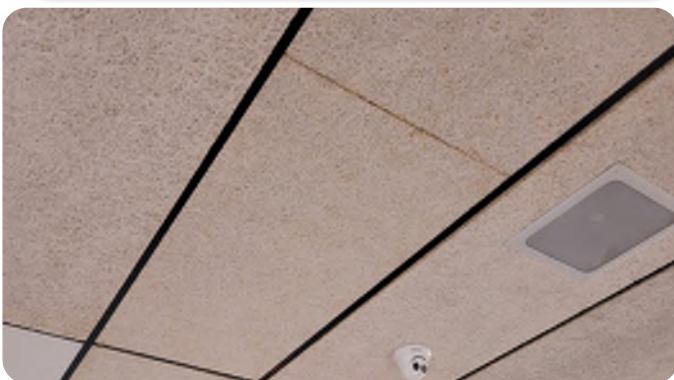
The intrusion system is by Napco



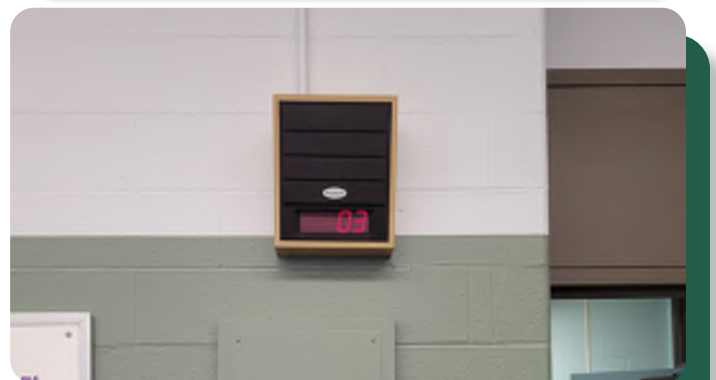
*IT break fix area*



*Card reader*



*Corridor PA speaker*



*Classroom Clock*

## TECHNOLOGY EVALUATION

(district standard), and is approximately 3 years old. The system is reliable but some entries do not have motions near them to monitor security breaches, classrooms do not have motions if windows are broken, and roof hatches do not have contacts. All exterior door contacts are tied into intrusion, but not access control. Without a tie in to access control, with the intrusion off during the day, no one on the premises would be aware of a forced or left open exterior doorway during occupied hours.

Access control is by Keyscan, and is approximately 10 years old. The system is reliable but limited in use. There are about 4 to 5 card access doors. The video entry system is by Hikvision, which is currently on the banned list of video surveillance products in the USA. There are two video entry systems in place, at the main entry and at the library. The freezer and fridge alarms are tied into access control for alerting staff when high temp conditions occur in these areas. There are no panic

buttons deployed to initiate an immediate lockdown with automatic reporting to emergency responders.

Video surveillance is a mix of different camera types. Video Insight is the VMS, but this system has limited functionality. There are no software maps in use to simply click a camera for its view anywhere in the building. The elevator does not have a camera. Hallways are covered, but the admin and badging area is not. Most entries into the building are covered by cameras. The parking area and fields do not have video surveillance. There are some camera dead spots in stairwells, and the full building perimeter is not covered. Currently, there is about 15 days of video storage using on premises recorders. No video analytics are in use. The system is currently reliable.

### **Classroom Technology**

Interactive projectors are in use in the classrooms. These are about 8 years old and



*Wireless device*



*Projection and Speakers in Cafetorium*

## TECHNOLOGY EVALUATION

function and reliability is leaning toward replacement over the next year or so. An AirTame unit is in use in the classrooms to provide wireless audio/video to the projectors. There is also hardwired USB and HDMI to the projectors. The media center has 1 ceiling mounted projector (non-interactive) out of the two locations in the space. There are no classroom voicelift systems in use. Classrooms have an IPEVO presentation camera. Typical teaching devices are an iPad or laptop. Science labs utilize wireless devices. Each classroom has one wall with a few surface mounted data drops; they are not dispersed around the room. There is not enough hardwired data to support the media center.

### **Information Technology Support**

The IT break fix area is very small. More space is needed and technology requirements have grown in the school. Rack space and cooling is sufficient in the main technology room of the school. A network cable color scheme is not in use.

There are no plans to reuse any existing equipment, and reliable equipment at the time of decommissioning would be distributed elsewhere in the district.



*Exterior security camera*



*Corridor security camera*



*Classroom interactive board and projector*

## TECHNOLOGY EVALUATION



*Typical telephone unit in classroom*



*Projection capabilities in the Media Center*



*Raceway and technology ports in classroom*

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# Evaluation of Energy Code Compliance

## Energy Conservation

Buildings shall be designed and constructed in accordance with the 2015 International Energy Conservation Code (IECC), as amended by the Massachusetts State Building Code 780 CMR 13.00. These amendments apply to the IECC and to ANSI/ASHRAE/IESNA 90.1-2013. IECC Chapter 4 (Commercial Energy Efficiency) must be adhered to as this building is a Commercial Building. According to 2015 IECC Chapter 3 - Climate Zones, the existing Galvin Middle School site is in Climate Zone 5 (as is the entire state of Massachusetts).

The Galvin Middle School building was constructed in 1971. The emergence of a new energy code in 2000, which promoted an increased knowledge of exterior building envelope construction techniques and materials, has dramatically changed the way in which buildings are designed to deal with energy efficiency issues. Massachusetts State Building Codes 3407.1 and 3407.2 require that alterations of an existing building in which the use group is not changed, must comply to the energy conservation values detailed in Table 3407 of the code for any building elements (walls, windows, doors, roofs, or mechanical systems) which are altered during renovation.

The following are the 2015 IECC thermal requirements for a building envelope. "ci" is an abbreviation for continuous insulation.

- Roof - R30ci
- Walls (above ground) - R13+7.5ci
- Floors - R10ci
- Slab on Grade - R10

## Deficiencies

Occupants have reported that spaces in the building are both too hot and too cold. Some spaces lack air conditioning, and some classroom unit ventilators are original to the building. The ventilation exhaust systems throughout the building are all original and at end of life. These failing systems do not support acceptable indoor air quality. The exterior walls of the building have no insulation and are composed of brick veneer with a 1" air cavity and CMU backup. It is assumed that roof insulation was added to the building during the 1997 roof replacement.

The IECC requires an R-13 and R-7.5 continuous insulation on the exterior walls. A significant retrofit would be



*Exterior grille for unit ventilator at classroom, typ.*



## ENERGY CODE EVALUATION

required just to bring the values up to Code minimum, and interior spaces would become smaller due to the thickness of the added insulation, furring, and new wall finishes to enclose the insulation.

Unit ventilators are the source of heat for typical classrooms. Unit ventilators were designed specifically for K-12 applications. For 70 or 80 years, they were the widely accepted solution for classroom heating and cooling. Over the past decade, the prevalence of operational and comfort problems, as well as an interest in moving away from gas-powered systems for renewable energy, have caused unit ventilators to phase out of popularity. In addition, unit ventilators dating from the original construction of the building exceed acceptable thresholds for background classroom noise and contribute to reduced learning outcomes. Some classrooms have newer unit ventilators which are quieter and perform better, but many still employ the

older units.

Some classrooms that lack air conditioning have window AC units, but these are a significant source of air infiltration, excessive background noise, and the small units employed are insufficient to meet classroom cooling loads. Some areas of the building are air conditioned by RTUs (roof top units).

The two main entrances to the school have double doors that open directly to the exterior with no vestibule. This causes excessive thermal transfer in all seasons, and increased humidity entering the building in the warmer months. For this reason, current building codes do not allow primary entrances without vestibules.



*Classroom with unit air conditioner*



*Building entrance with no vestibule*

# **Hazardous Materials Identification Study**

## **Summary**

Ai3 Architects, LLC secured the services of Universal Environmental Consultants, Inc. (UEC) to conduct a comprehensive hazardous materials identification study for the Galvin Middle School building located on 55 Pecunit Street in Canton, Massachusetts. Surveying of the building and its materials occurred on July 3, 6, 13, and 20 of 2023. The report included sampling and testing for Lead Based Paint (LBP) Inspection, PCBs, mercury, radon sampling, airborne mold sampling, and asbestos containing materials (ACM) inspection and sampling. These tests and samplings were in compliance with MSBA regulations identified in Module 3, Feasibility Study: Article 3.1.4 Evaluation of Existing Conditions.

The scope of work included the inspection of accessible ACM, collection of bulk samples, determination and quantities of types of ACM found, and cost estimates for remediation. There were one hundred sixty-five (165) bulk samples collected from materials suspected of containing asbestos, five (5) samples were collected for testing of Radon, and ten (10) samples were collected for testing of Airborne mold and particulate, each of which were tested in an EPA approved lab.

Results of the Hazardous Materials Identification Study are contained herein. Refer to the following pages for a full copy of the Study.

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**REPORT  
FOR  
HAZARDOUS MATERIALS IDENTIFICATION STUDY  
AT THE  
GALVIN MIDDLE SCHOOL  
CANTON, MA**

PROJECT NUMBER:  
223 455.00

SURVEY DATES:  
July 2023

**STUDY CONDUCTED BY:**  
**UNIVERSAL ENVIRONMENTAL CONSULTANTS  
12 BREWSTER ROAD  
FRAMINGHAM, MASSACHUSETTS**



July 24, 2023

Mr. James Jordan  
Partner  
Ai3 Architects LLC  
111 Spean Street, Suite 300  
Framingham, MA 01701

Reference: **Hazardous Materials Identification Survey**  
**Galvin Middle School, Canton, MA**

Dear Mr. Jordan:

Thank you for the opportunity for Universal Environmental Consultants (UEC) to provide professional services.

Enclosed please find the report for the Hazardous Materials Identification Survey at the Galvin Middle School, Canton, MA.

Please do not hesitate to contact me at (508) 628-5486 if you have any questions.

Very truly yours,

Universal Environmental Consultants

A handwritten signature in blue ink, appearing to read "Ammar Dieb", is written over a horizontal line.

Ammar Dieb  
President

UEC:\223 455.00\Report.DOC

Enclosure

**INTRODUCTION:**

Universal Environmental Consultants (UEC) has been providing comprehensive asbestos services since 2001 and has completed projects throughout New England. We have completed projects for a variety of clients including commercial, industrial, municipal, and public and private schools. We maintain appropriate asbestos licenses and staff with a minimum of thirty-three years of experience.

UEC was contracted by Ai3 Architects LLC to conduct the following services at the Galvin Middle School, Canton, Massachusetts:

- Asbestos Containing Materials (ACM) inspection and sampling.
- Polychlorinated Biphenyls (PCB's)-Electrical Equipment and Light Fixtures inspection.
- PCB's Caulking inspection.
- Lead Based Paint (LBP) inspection.
- Airborne Mold sampling.
- Mercury in Rubber Flooring inspection.
- Radon sampling.

The scope of work included the inspection of accessible ACM, collection of bulk samples, determination, and quantities of types of ACM found and cost estimates for remediation. *A comprehensive survey per the Environmental Protection Agency (EPA) NESHAP regulation would be required prior to any renovation or demolition activities.*

Bulk samples analyses for asbestos were performed using the standard Polarized Light Microscopy (PLM) Method in accordance with EPA standard. Bulk samples were collected by Massachusetts licensed asbestos inspectors Mr. Leonard J. Busa (AI-001899), Mr. George Bezreh (AI-900609) and Mr. Keith McGovern (AI-901149). Samples were analyzed by Massachusetts licensed laboratories EMSL and Asbestos Identification Laboratory, Woburn, MA.

Airborne mold samples were analyzed by an EPA trained laboratory EMSL, Woburn, MA.

Radon samples were analyzed by an EPA licensed laboratory AccuStar, Ward Hill, MA.

Samples results are attached.

**FINDINGS:****Asbestos Containing Materials (ACM):**

The regulations for asbestos inspection are based on representative sampling. It would be impractical and costly to sample all materials in all areas. Therefore, representative samples of each homogenous area were collected and analyzed or assumed.

All suspect materials were grouped into homogenous areas. By definition, a homogenous area is one in which the materials are evenly mixed and similar in appearance and texture throughout. A homogeneous area shall be determined to be ACM based on findings that the results of at least one sample collected from that area shows that asbestos is present in an amount 1 percent or greater in accordance with EPA regulations. Per the Department of Environmental Protection (DEP) any amount of asbestos found must be disposed as asbestos.

No additional suspect and accessible ACM were found during this survey. However, hidden ACM may be found during the renovation and demolition activities.

***Number of Samples Collected:***

July 3, 2023

Sixteen (16) bulk samples were collected from materials suspected of containing asbestos, including:

**Type and Location of Suspect Material**

1. Exterior window framing caulking

2. Exterior window framing caulking
3. Exterior window framing caulking
4. Exterior window framing caulking
5. Exterior door framing caulking
6. Exterior door framing caulking
7. Exterior door framing caulking
8. Exterior unit vent grille caulking
9. Exterior unit vent grille caulking
10. Exterior unit vent grille caulking
11. Exterior brown vertical caulking in brick
12. Exterior brown vertical caulking in brick
13. Exterior grey vertical caulking in cement panels
14. Exterior horizontal white caulking under cement panels
15. Exterior horizontal grey caulking between cement floor and brick wall
16. Exterior skirt panel at portable

**Sample Results:**

**Type and Location of Suspect Material**

**Sample Result**

1. Exterior window framing caulking	No Asbestos Detected
2. Exterior window framing caulking	No Asbestos Detected
3. Exterior window framing caulking	No Asbestos Detected
4. Exterior window framing caulking	No Asbestos Detected
5. Exterior door framing caulking	No Asbestos Detected
6. Exterior door framing caulking	No Asbestos Detected
7. Exterior door framing caulking	No Asbestos Detected
8. Exterior unit vent grille caulking	No Asbestos Detected
9. Exterior unit vent grille caulking	No Asbestos Detected
10. Exterior unit vent grille caulking	No Asbestos Detected
11. Exterior brown vertical caulking in brick	No Asbestos Detected
12. Exterior brown vertical caulking in brick	No Asbestos Detected
13. Exterior grey vertical caulking in cement panels	No Asbestos Detected
14. Exterior horizontal white caulking under cement panels	No Asbestos Detected
15. Exterior horizontal grey caulking between cement floor and brick wall	No Asbestos Detected
16. Exterior skirt panel at portable	No Asbestos Detected

July 6, 2023

Twenty-five (25) bulk samples were collected from materials suspected of containing asbestos, including:

**Type and Location of Suspect Material**

1. Roofing core
2. Roofing core
3. Roofing core
4. Roofing core
5. Roofing core
6. Roofing core
7. Roofing core
8. Roofing core
9. Roofing core
10. Roofing exhaust pipe caulking
11. Roofing exhaust pipe caulking
12. Roofing chimney caulking
13. Roofing chimney caulking
14. Roofing penthouse wall caulking
15. Roofing penthouse wall caulking

16. Roofing penthouse black mastic
17. Roofing penthouse black mastic
18. Roofing wall caulking
19. Roofing wall caulking
20. Roofing wall mastic
21. Roofing wall caulking
22. Roofing wall caulking
23. Roofing wall caulking
24. Modular roof pipe caulking
25. Modular roof pipe caulking

**Sample Results:****Type and Location of Suspect Material****Sample Result**

1. Roofing core	No Asbestos Detected
2. Roofing core	No Asbestos Detected
3. Roofing core	No Asbestos Detected
4. Roofing core	No Asbestos Detected
5. Roofing core	No Asbestos Detected
6. Roofing core	No Asbestos Detected
7. Roofing core	No Asbestos Detected
8. Roofing core	No Asbestos Detected
9. Roofing core	No Asbestos Detected
10. Roofing exhaust pipe caulking	2% Asbestos
11. Roofing exhaust pipe caulking	No Asbestos Detected
12. Roofing chimney caulking	No Asbestos Detected
13. Roofing chimney caulking	No Asbestos Detected
14. Roofing penthouse wall caulking	No Asbestos Detected
15. Roofing penthouse wall caulking	No Asbestos Detected
16. Roofing penthouse black mastic	No Asbestos Detected
17. Roofing penthouse black mastic	No Asbestos Detected
18. Roofing wall caulking	No Asbestos Detected
19. Roofing wall caulking	No Asbestos Detected
20. Roofing wall mastic	No Asbestos Detected
21. Roofing wall caulking	No Asbestos Detected
22. Roofing wall caulking	No Asbestos Detected
23. Roofing wall caulking	No Asbestos Detected
24. Modular roof pipe caulking	No Asbestos Detected
25. Modular roof pipe caulking	No Asbestos Detected

July 13, 2023

Eighty six (86) bulk samples were collected from materials suspected of containing asbestos, including:

**Type and Location of Suspect Material**

1. White sink coating at room 104
2. White sink coating at room 106
3. Black sink coating at room 105
4. Black sink coating at room 106
5. Joint compound at main office area
6. Joint compound at guidance area
7. Lab counter top at science prep room
8. Lab counter top at room 321
9. Expansion joint caulking at second floor hallway
10. Expansion joint caulking at third floor hallway
11. Interior wood door glazing caulking



12. Interior wood door glazing caulking
13. Interior window glazing caulking
14. Interior window glazing caulking
15. Interior metal door glazing caulking
16. Interior metal door glazing caulking
17. Gymnasium ceiling tile
18. Gymnasium ceiling tile
19. 2' x 2' Suspended acoustical ceiling tile at library
20. 2' x 2' Suspended acoustical ceiling tile at library
21. 2' x 4' Suspended acoustical ceiling tile type I at kitchen
22. 2' x 4' Suspended acoustical ceiling tile type I at second floor boy's room
23. 2' x 4' Suspended acoustical ceiling tile type II
24. 2' x 4' Suspended acoustical ceiling tile type II
25. 2' x 4' Suspended acoustical ceiling tile type III
26. 2' x 4' Suspended acoustical ceiling tile type III
27. 2' x 4' Suspended acoustical ceiling tile type IV
28. 2' x 4' Suspended acoustical ceiling tile type IV
29. Hard joint insulation
30. Hard joint insulation
31. Hard joint insulation
32. Fireproofing above ceiling
33. Fireproofing above ceiling
34. Fireproofing above ceiling
35. Mottled grey 12" x 12" vinyl floor tile at room 102
36. Mastic for mottled grey 12" x 12" vinyl floor tile at room 102
37. Mottled grey 12" x 12" vinyl floor tile at room 101
38. Mastic for mottled grey 12" x 12" vinyl floor tile at room 101
39. Brown/white dashes 12" x 12" vinyl floor tile at cafeteria
40. Mastic for brown/white dashes 12" x 12" vinyl floor tile at cafeteria
41. Brown/white dashes 12" x 12" vinyl floor tile at cafeteria
42. Mastic for brown/white dashes 12" x 12" vinyl floor tile at cafeteria
43. Tan/brown specs 12" x 12" vinyl floor tile at room 104
44. Mastic for tan/brown specs 12" x 12" vinyl floor tile at room 104
45. Tan/brown specs 12" x 12" vinyl floor tile at room 103
46. Mastic for tan/brown specs 12" x 12" vinyl floor tile at room 103
47. Off white/color specs 12" x 12" vinyl floor tile at hallway
48. Mastic for off white/color specs 12" x 12" vinyl floor tile at hallway
49. Off white/color specs 12" x 12" vinyl floor tile at hallway
50. Mastic for off white/color specs 12" x 12" vinyl floor tile at hallway
51. Mottled tan 12" x 12" vinyl floor tile at main office area
52. Mastic for mottled tan 12" x 12" vinyl floor tile at main office area
53. Mottled tan 12" x 12" vinyl floor tile at guidance area
54. Mastic for mottled tan 12" x 12" vinyl floor tile at guidance area
55. Lime green 12" x 12" vinyl floor tile at main office area
56. Mastic for lime green 12" x 12" vinyl floor tile at main office area
57. Lime green 12" x 12" vinyl floor tile at guidance area
58. Mastic for lime green 12" x 12" vinyl floor tile at guidance area
59. Mottled beige 12" x 12" vinyl floor tile at faculty room
60. Mastic for mottled beige 12" x 12" vinyl floor tile at faculty room
61. Mottled beige 12" x 12" vinyl floor tile at music
62. Mastic for mottled beige 12" x 12" vinyl floor tile at music
63. White/tan specs 12" x 12" vinyl floor tile at room 211
64. Mastic for white/tan specs 12" x 12" vinyl floor tile at room 211
65. White/tan specs 12" x 12" vinyl floor tile at room 318
66. Mastic for white/tan specs 12" x 12" vinyl floor tile at room 318
67. Dark green 12" x 12" vinyl floor tile at hallway

68. Mastic for dark green 12" x 12" vinyl floor tile at hallway
69. Dark green 12" x 12" vinyl floor tile at main office lobby entrance
70. Mastic for dark green 12" x 12" vinyl floor tile at main office lobby entrance
71. Light grey 12" x 12" vinyl floor tile at hallway
72. Mastic for light grey 12" x 12" vinyl floor tile at hallway
73. Light grey 12" x 12" vinyl floor tile at hallway
74. Mastic for light grey 12" x 12" vinyl floor tile at hallway
75. Maroon/color specs 12" x 12" vinyl floor tile at hallway
76. Mastic for maroon/color specs 12" x 12" vinyl floor tile at hallway
77. Maroon/color specs 12" x 12" vinyl floor tile at hallway
78. Mastic for maroon/color specs 12" x 12" vinyl floor tile at hallway
79. Brown/color specs 12" x 12" vinyl floor tile at hallway
80. Mastic for brown/color specs 12" x 12" vinyl floor tile at hallway
81. Brown/color specs 12" x 12" vinyl floor tile at hallway
82. Mastic for brown/color specs 12" x 12" vinyl floor tile at hallway
83. Rubber sheet flooring at ramp by locker rooms
84. Mastic for rubber sheet flooring at ramp by locker rooms
85. Rubber sheet flooring at ramp by locker rooms
86. Mastic for rubber sheet flooring at ramp by locker rooms

**Sample Results:**

**Type and Location of Suspect Material**

**Sample Result**

1. White sink coating at room 104	No Asbestos Detected
2. White sink coating at room 106	3% Asbestos
3. Black sink coating at room 105	No Asbestos Detected
4. Black sink coating at room 106	No Asbestos Detected
5. Joint compound at main office area	No Asbestos Detected
6. Joint compound at guidance area	No Asbestos Detected
7. Lab counter top at science prep room	No Asbestos Detected
8. Lab counter top at room 321	No Asbestos Detected
9. Expansion joint caulking at second floor hallway	No Asbestos Detected
10. Expansion joint caulking at third floor hallway	No Asbestos Detected
11. Interior wood door glazing caulking	3% Asbestos
12. Interior wood door glazing caulking	3% Asbestos
13. Interior window glazing caulking	3% Asbestos
14. Interior window glazing caulking	3% Asbestos
15. Interior metal door glazing caulking	No asbestos Detected
16. Interior metal door glazing caulking	4% Asbestos
17. Gymnasium ceiling tile	No Asbestos Detected
18. Gymnasium ceiling tile	No Asbestos Detected
19. 2' x 2' Suspended acoustical ceiling tile at library	No Asbestos Detected
20. 2' x 2' Suspended acoustical ceiling tile at library	No Asbestos Detected
21. 2' x 4' Suspended acoustical ceiling tile type I at kitchen	No Asbestos Detected
22. 2' x 4' Suspended acoustical ceiling tile type I at second floor boy's room	No Asbestos Detected
23. 2' x 4' Suspended acoustical ceiling tile type II	No Asbestos Detected
24. 2' x 4' Suspended acoustical ceiling tile type II	No Asbestos Detected
25. 2' x 4' Suspended acoustical ceiling tile type III	No Asbestos Detected
26. 2' x 4' Suspended acoustical ceiling tile type III	No Asbestos Detected
27. 2' x 4' Suspended acoustical ceiling tile type IV	No Asbestos Detected
28. 2' x 4' Suspended acoustical ceiling tile type IV	No Asbestos Detected
29. Hard joint insulation	No Asbestos Detected
30. Hard joint insulation	No Asbestos Detected
31. Hard joint insulation	No Asbestos Detected
32. Fireproofing above ceiling	No Asbestos Detected
33. Fireproofing above ceiling	No Asbestos Detected

34. Fireproofing above ceiling	No Asbestos Detected
35. Mottled grey 12" x 12" vinyl floor tile at room 102	No Asbestos Detected
36. Mastic for mottled grey 12" x 12" vinyl floor tile at room 102	No Asbestos Detected
37. Mottled grey 12" x 12" vinyl floor tile at room 101	No Asbestos Detected
38. Mastic for mottled grey 12" x 12" vinyl floor tile at room 101	No Asbestos Detected
39. Brown/white dashes 12" x 12" vinyl floor tile at cafeteria	4% Asbestos
40. Mastic for brown/white dashes 12" x 12" vinyl floor tile at cafeteria	7% Asbestos
41. Brown/white dashes 12" x 12" vinyl floor tile at cafeteria	4% Asbestos
42. Mastic for brown/white dashes 12" x 12" vinyl floor tile at cafeteria	7% Asbestos
43. Tan/brown specs 12" x 12" vinyl floor tile at room 104	4% Asbestos
44. Mastic for tan/brown specs 12" x 12" vinyl floor tile at room 104	7% Asbestos
45. Tan/brown specs 12" x 12" vinyl floor tile at room 103	4% Asbestos
46. Mastic for tan/brown specs 12" x 12" vinyl floor tile at room 103	7% Asbestos
47. Off white/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
48. Mastic for off white/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
49. Off white/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
50. Mastic for off white/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
51. Mottled tan 12" x 12" vinyl floor tile at main office area	No Asbestos Detected
52. Mastic for mottled tan 12" x 12" vinyl floor tile at main office area	No Asbestos Detected
53. Mottled tan 12" x 12" vinyl floor tile at guidance area	No Asbestos Detected
54. Mastic for mottled tan 12" x 12" vinyl floor tile at guidance area	No Asbestos Detected
55. Lime green 12" x 12" vinyl floor tile at main office area	No Asbestos Detected
56. Mastic for lime green 12" x 12" vinyl floor tile at main office area	No Asbestos Detected
57. Lime green 12" x 12" vinyl floor tile at guidance area	No Asbestos Detected
58. Mastic for lime green 12" x 12" vinyl floor tile at guidance area	No Asbestos Detected
59. Mottled beige 12" x 12" vinyl floor tile at faculty room	No Asbestos Detected
60. Mastic for mottled beige 12" x 12" vinyl floor tile at faculty room	Not Analyzed
61. Mottled beige 12" x 12" vinyl floor tile at music	No Asbestos Detected
62. Mastic for mottled beige 12" x 12" vinyl floor tile at music	No Asbestos Detected
63. White/tan specs 12" x 12" vinyl floor tile at room 211	3% Asbestos
64. Mastic for white/tan specs 12" x 12" vinyl floor tile at room 211	7% Asbestos
65. White/tan specs 12" x 12" vinyl floor tile at room 318	3% Asbestos
66. Mastic for white/tan specs 12" x 12" vinyl floor tile at room 318	7% Asbestos
67. Dark green 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
68. Mastic for dark green 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
69. Dark green 12" x 12" vinyl floor tile at main office lobby entrance	No Asbestos Detected
70. Mastic for dark green 12" x 12" vinyl floor tile at main office lobby entrance	No Asbestos Detected
71. Light grey 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
72. Mastic for light grey 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
73. Light grey 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
74. Mastic for light grey 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
75. Maroon/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
76. Mastic for maroon/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
77. Maroon/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
78. Mastic for maroon/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
79. Brown/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
80. Mastic for brown/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
81. Brown/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
82. Mastic for brown/color specs 12" x 12" vinyl floor tile at hallway	No Asbestos Detected
83. Rubber sheet flooring at ramp by locker rooms	No Asbestos Detected
84. Mastic for rubber sheet flooring at ramp by locker rooms	No Asbestos Detected
85. Rubber sheet flooring at ramp by locker rooms	No Asbestos Detected
86. Mastic for rubber sheet flooring at ramp by locker rooms	No Asbestos Detected

July 13, 2023 (Modular Building)

Twenty six (26) bulk samples were collected from materials suspected of containing asbestos, including:

**Type and Location of Suspect Material**

1. White sink damproofing
2. White sink damproofing
3. Grey sink damproofing
4. Grey sink damproofing
5. 2' x 4' Suspended acoustical ceiling tile
6. 2' x 4' Suspended acoustical ceiling tile
7. White/tan specs 12" x 12" vinyl floor tile
8. Mastic for white/tan specs 12" x 12" vinyl floor tile
9. White/tan specs 12" x 12" vinyl floor tile
10. Mastic for white/tan specs 12" x 12" vinyl floor tile
11. White/black specs 12" x 12" vinyl floor tile
12. Mastic for white/black specs 12" x 12" vinyl floor tile
13. White/black specs 12" x 12" vinyl floor tile
14. Mastic for white/black specs 12" x 12" vinyl floor tile
15. Sheet flooring type I
16. Mastic for sheet flooring type I
17. Sheet flooring type I
18. Mastic for sheet flooring type I
19. Sheet flooring type II
20. Mastic for sheet flooring type II
21. Sheet flooring type II
22. Mastic for sheet flooring type II
23. Sheet flooring type III
24. Mastic for sheet flooring type III
25. Sheet flooring type III
26. Mastic for sheet flooring type III

**Sample Results:****Type and Location of Suspect Material****Sample Result**

1. White sink damproofing	No Asbestos Detected
2. White sink damproofing	No Asbestos Detected
3. Grey sink damproofing	No Asbestos Detected
4. Grey sink damproofing	No Asbestos Detected
5. 2' x 4' Suspended acoustical ceiling tile	No Asbestos Detected
6. 2' x 4' Suspended acoustical ceiling tile	No Asbestos Detected
7. White/tan specs 12" x 12" vinyl floor tile	No Asbestos Detected
8. Mastic for white/tan specs 12" x 12" vinyl floor tile	No Asbestos Detected
9. White/tan specs 12" x 12" vinyl floor tile	No Asbestos Detected
10. Mastic for white/tan specs 12" x 12" vinyl floor tile	No Asbestos Detected
11. White/black specs 12" x 12" vinyl floor tile	No Asbestos Detected
12. Mastic for white/black specs 12" x 12" vinyl floor tile	No Asbestos Detected
13. White/black specs 12" x 12" vinyl floor tile	No Asbestos Detected
14. Mastic for white/black specs 12" x 12" vinyl floor tile	No Asbestos Detected
15. Sheet flooring type I	No Asbestos Detected
16. Mastic for sheet flooring type I	No Asbestos Detected
17. Sheet flooring type I	No Asbestos Detected
18. Mastic for sheet flooring type I	No Asbestos Detected
19. Sheet flooring type II	No Asbestos Detected
20. Mastic for sheet flooring type II	No Asbestos Detected
21. Sheet flooring type II	No Asbestos Detected
22. Mastic for sheet flooring type II	No Asbestos Detected
23. Sheet flooring type III	No Asbestos Detected
24. Mastic for sheet flooring type III	No Asbestos Detected

- |  |                      |
|--|----------------------|
| 25. Sheet flooring type III            | No Asbestos Detected |
| 26. Mastic for sheet flooring type III | No Asbestos Detected |

July 20, 2023

Twelve (12) bulk samples were collected from materials suspected of containing asbestos, including:

**Type and Location of Suspect Material**

1. Exterior damproofing on column
2. Exterior damproofing on column
3. Exterior damproofing on column
4. Exterior damproofing on column
5. Exterior building flashing on top of foundation wall under brick
6. Exterior building flashing on top of foundation wall under brick
7. Exterior building flashing on top of foundation wall under brick
8. Exterior building flashing on top of foundation wall under brick
9. Exterior building flashing on top of foundation wall under brick
10. Exterior building flashing on top of foundation wall under brick
11. Exterior building flashing on top of foundation wall under brick
12. Exterior building flashing on top of foundation wall under brick

**Sample Results:**

**Type and Location of Suspect Material**

**Sample Result**

- |  |                      |
|--|----------------------|
| 1. Exterior damproofing on column                                    | 12% Asbestos         |
| 2. Exterior damproofing on column                                    | 12% Asbestos         |
| 3. Exterior damproofing on column                                    | 10% Asbestos         |
| 4. Exterior damproofing on column                                    | 10% Asbestos         |
| 5. Exterior building flashing on top of foundation wall under brick  | No asbestos Detected |
| 6. Exterior building flashing on top of foundation wall under brick  | No asbestos Detected |
| 7. Exterior building flashing on top of foundation wall under brick  | 10% Asbestos         |
| 8. Exterior building flashing on top of foundation wall under brick  | 10% Asbestos         |
| 9. Exterior building flashing on top of foundation wall under brick  | No asbestos Detected |
| 10. Exterior building flashing on top of foundation wall under brick | No asbestos Detected |
| 11. Exterior building flashing on top of foundation wall under brick | No asbestos Detected |
| 12. Exterior building flashing on top of foundation wall under brick | No asbestos Detected |

**Observations and Conclusions:**

The condition of ACM is very important. ACM in good condition does not present a health issue unless it is disturbed. Therefore, it is not necessary to remediate ACM in good condition unless it will be disturbed through renovation, demolition, or other activity.

Refer to the AHERA Management Plan for condition of ACM.

1. Roofing exhaust pipe caulking was found to contain asbestos.
2. White sink coating was found to contain asbestos.
3. Interior wood door glazing caulking was found to contain asbestos.
4. Interior window glazing caulking was found to contain asbestos.
5. Interior metal door glazing caulking was found to contain asbestos.
6. Brown/white dashes 12" x 12" vinyl floor tile was found to contain asbestos.
7. Mastic for brown/white dashes 12" x 12" vinyl floor tile was found to contain asbestos.
8. Tan/brown specs 12" x 12" vinyl floor tile was found to contain asbestos.
9. Mastic for tan/brown specs 12" x 12" vinyl floor tile was found to contain asbestos.
10. Paper/mastic under gymnasium wood floor was assumed to contain asbestos.
11. Chalkboard glue was assumed to contain asbestos.
12. Ceramic glue was assumed to contain asbestos.

13. Underground sewer pipes were assumed to contain asbestos.
14. Exterior damproofing on column was found to contain asbestos. A Non-Traditional Abatement Plan would need to be prepared and submitted to the DEP for review and approval.
15. Exterior building flashing on top of foundation wall under brick was found to contain asbestos. A Non-Traditional Abatement Plan would need to be prepared and submitted to the DEP for review and approval.
16. All other suspect materials were found not to contain asbestos. Hidden ACM may be found during renovation and demolition activities.

#### **Polychlorinated Biphenyls (PCB's)-Electrical Equipment and Light Fixtures:**

##### ***Observations and Conclusions***

Visual inspection of various equipments such as light fixtures, thermostats, exit signs and switches was performed for the presence of PCB's and mercury. Ballasts in light fixtures were assumed not to contain PCB's since there were labels indicating that "No PCB's" was found. Tubes in light fixtures, thermostats, signs, and switches were assumed to contain mercury. It would be very costly to test those equipments and dismantling would be required to access. Therefore, the above mentioned equipments should be disposed of in an EPA approved landfill as part of the demolition project.

##### **PCB's in Caulking:**

PCB's are manmade chemicals that were widely produced and distributed across the country from the 1950s to 1977 until the production of PCB's was banned by the US Environmental Protection Agency (EPA) law which became effective in 1978. PCB's are a class of chemicals made up of more than 200 different compounds. PCB's are non-flammable, stable, and good insulators so they were widely used in a variety of products including electrical transformers and capacitors, cable and wire coverings, sealants and caulking, and household products such as television sets and fluorescent light fixtures. Because of their chemical properties, PCB's are not very soluble in water, and they do not break down easily in the environment. PCB's also do not readily evaporate into air but tend to remain as solids or thick liquids. Even though PCB's have not been produced or used in the country for more than 30 years, they are still present in the environment, in the air, soil, and water and in our food. EPA requires that all construction waste including caulking be disposed as PCB's if PCB's level exceed 50 mg/kg (ppm). An abatement plan might also be required as part of renovations.

##### ***Observations and Conclusions:***

Caulking was assumed to contain PCB's.

##### **Lead Based Paint (LBP):**

##### ***Observations and Conclusions***

LBP was assumed to exist on painted surfaces. A school is not considered a regulated facility. All LBP activities performed, including waste disposal, should be in accordance with applicable Federal, State, or local laws, ordinances, codes, or regulations governing evaluation and hazard reduction. In the event of discrepancies, the most protective requirements prevail. These requirements can be found in OSHA 29 CFR 1926-Construction Industry Standards, 29 CFR 1926.62-Construction Industry Lead Standards, 29 CFR 1910.1200-Hazards Communication, 40 CFR 261-EPA Regulations. According to OSHA, any amount of LBP triggers compliance.

##### **Airborne Mold:**

Airborne mold testing was performed utilizing Zefon International Incorporated's Air-O-Cell® sampling device following all manufacturer supplied recommended sampling procedures.

The Air-O-Cell® is a direct read total particulate air sampling device. It works using the inertial impaction principle similar to other spore trap devices. It is designed for the rapid collection and analysis of airborne particulate including bioaerosols. The particulate includes fibers (e.g., asbestos, fiberglass, cellulose, clothing fibers) opaque particles (e.g., fly ash, combustion particles, copy toner, oil droplets, paint), and bioaerosols (e.g., mold spores, pollen, insect parts, skin cell fragments).<sup>1</sup>

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<sup>1</sup> Zefon International Inc. <[www.zefon.com](http://www.zefon.com)>1

The method involves drawing a known quantity of air through a sterile sampling cassette. Subsequent to sampling, the cassette is sealed and transferred to a microbiology laboratory under chain of custody protocol for microscopic analysis. This method counts both viable and nonviable mold spores.

**AIRBORNE MOLD and PARTICULATE**

Lab ID #	Location	Total Mold Counts/M <sup>3</sup>	Pollen	Insect Fragment	Hyphal Fragments
132304251-0001	Room 107	1,850	ND	ND	ND
132304251-0002	Cafeteria	20	ND	ND	ND
132304251-0003	Main Room	200	ND	ND	40
132304251-0004	Room 214	80	ND	ND	ND
132304251-0005	Gymnasium	1,970	ND	ND	ND
132304251-0006	Room 207	900	ND	ND	ND
132304251-0007	Room 315	1,250	ND	ND	20
132304251-0008	Room 320	80	ND	ND	ND
132304251-0009	Room 307	40	ND	ND	ND
132304251-0010	Outside	4,180	ND	ND	ND

**AIRBORNE MOLD and PARTICULATE  
(Subjective Scales)**

Lab ID #	Location	Skin Fragment Density (SFD)	Fibrous Particulates (FP)	Total Background Particulate (TBP)
132304251-0001	Room 107	1	1	1
132304251-0002	Cafeteria	1	1	1
132304251-0003	Main Room	1	1	1
132304251-0004	Room 214	1	1	1
132304251-0005	Gymnasium	1	1	1
132304251-0006	Room 207	1	1	1
132304251-0007	Room 315	1	1	1
132304251-0008	Room 320	1	1	1
132304251-0009	Room 307	1	1	1
132304251-0010	Outside	1	1	1

**Legend:**

ND - Not Detected

**Observations:**

There are currently no guidelines or standards promulgated by a government agency or widely recognized scientific organization for the interpretation of airborne mold spore levels. The most commonly employed tool used to assess if mold growth is occurring in a structure is to compare quantities and species of mold outdoors to indoor. If there were more mold indoor, and/or if species were present indoor which were not present outdoors, then growth is occurring, and remediation is recommended.

Based on comparisons with historical data from projects of similar type, building utilization, geographic location and season, the indoor airborne levels are considered low. Indoor mold spore counts in the summer are typically in the 2,500-6,500-spores/cubic meter range.

Pollen, insect fragments and Hyphal fragments were either not present or low in the samples. Hyphal fragment is a non-reproductive part of the mold.

Total background particulate on all samples was assessed as "1" on a scale of 1-5 where 1 is low and 5 is high. Skin fragment density on all samples was assessed as "1" on a scale of 1-4 where 1 is low and 4 is high. The total background levels are measured to determine airborne dust not related to airborne mold. Skin fragments are measured to determine proper housing cleaning.

**Mercury in Rubber Flooring:**

**Observations and Conclusions:**

No rubber flooring exists in the school.

**Radon:**

**Number of Samples Collected**

Five (5) air samples were collected at the following locations:

**Location of Sample**

1. First floor room 107
2. Cafeteria
3. First floor room 101
4. First floor room 105
5. Main office

**Location of Sample**

**Sample Result**

1. First floor room 107	0.6 pCi\L
2. Cafeteria	0.6 pCi\L
3. First floor room 101	<0.4 pCi\L
4. First floor room 105	0.4 pCi\L
5. Main office	0.4 pCi\L

**Observations and Conclusions:**

The measured radon concentrations of the samples were found to be much lower than the EPA guideline of 4 picoCuris of radon per liter of air (pCi/L). No further action is required based on the results.

**COST ESTIMATES:**

The cost includes removal and disposal of all accessible ACM, other hazardous material, and an allowance for removal of inaccessible or hidden ACM that may be found during renovation or demolition project.

Location	Material	Approximate Quantity	Cost Estimate (\$)
Throughout	Vinyl Floor Tile and Mastic	70,000 SF	490,000.00
	Pipe and Hard Joint Insulation	60 LF	3,000.00
	Hidden Pipe and Hard Joint Insulation	Unknown	125,000.00
	Interior Demolition to Access ACM	12,500 SF	25,000.00
	Sinks	8 Total	2,400.00
	Interior Wood Doors	63 Total	18,900.00
	Interior Metal Doors	62 Total	18,600.00
	Interior Windows	200 Total	60,000.00
	Ceramic Tile and Glue	9,500 SF	75,000.00
	Miscellaneous Hazardous Materials	Unknown	50,000.00



Location	Material	Approximate Quantity	Cost Estimate (\$)
	Tubes in Light Fixtures	Unknown	75,000.00
	Chalkboards/Tackboards	255 Total	89,250.00
Gymnasium	Hardwood Flooring/Paper/Mastic	9,200 SF	138,000.00
Exterior	Damproofing/Flashing	3,000 Tons <sup>1,2</sup>	750,000.00
	Transite Sewer Pipes	Unknown <sup>1</sup>	125,000.00
Estimated costs for NESHAP Inspection			11,500.00
Estimated costs for Design, Construction Monitoring and Air Sampling Services			193,350.00
<b>TOTAL:</b>			<b>\$ 2,250,000.00</b>

<sup>1</sup>: Part of total demolition/New Construction.

<sup>2</sup>: Estimated.

**DESCRIPTION OF SURVEY METHODS AND LABORATORY ANALYSES:**

**Asbestos:**

Asbestos samples were analyzed using PLM and dispersion staining techniques with EPA/600/R-93/116 method.

**Airborne Mold:**

The samples were analyzed by an EPA approved laboratory EMSL, Woburn, MA.

**Radon:**

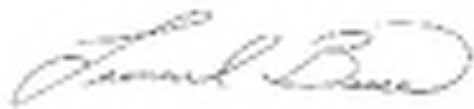
Radon samples were analyzed by an EPA licensed laboratory AccuStar, Ward Hill, MA.

**LIMITATIONS AND CONDITIONS:**

This report has been completed based on visual and physical observations made and information available at the time of the site visits, as well as an interview with the Owner's representatives. This report is intended to be used as a summary of available information on existing conditions with conclusions based on a reasonable and knowledgeable review of evidence found in accordance with normally accepted industry standards, state, and federal protocols, and within the scope and budget established by the client. Any additional data obtained by further review must be reviewed by UEC and the conclusions presented herein may be modified accordingly.

This report and attachments, prepared for the exclusive use of Owner for use in an environmental evaluation of the subject site, are an integral part of the inspections and opinions should not be formulated without reading the report in its entirety. No part of this report may be altered, used, copied, or relied upon without prior written permission from UEC, except that this report may be conveyed in its entirety to parties associated with Owner for this subject study.

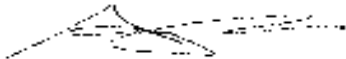
Inspected By:



---

Leonard J. Busa  
Asbestos Inspector  
(AI-001899)

Inspected By:



---

George Bezreh  
Asbestos Inspector  
(AI-900609)

Inspected By:



---

Keith McGovern  
Asbestos Inspector  
(AI-901149)



## Asbestos Identification Laboratory.

165 New Boston St., Ste 227  
Woburn, MA 01801  
781-932-9600

Web: [www.asbestosidentificationlab.com](http://www.asbestosidentificationlab.com) Email:  
[mikemanning@asbestosidentificationlab.com](mailto:mikemanning@asbestosidentificationlab.com)



**Batch: 100504**

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

Project Information

*Galvin M.S.,  
Canton,  
MA*

*Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116*

Dear Ammar Dieb,

Asbestos Identification Laboratory has completed the analysis of the samples from your office for the above referenced project. The Analysis Method is BULK PLM ANALYSIS, EPA/600/R-93/116. The information and analysis contained in this report have been generated using the EPA /600/R-93/116 Method for the Determination of Asbestos in Bulk Building Materials. Materials or products that contain more than 1% of any kind or combination of asbestos are considered an asbestos containing building material as determined by the EPA. This Polarized Light Microscope (PLM) technique may be performed either by visual estimation or point counting. Point counting provides a determination of the area percentage of asbestos in a sample. If the asbestos is estimated to be less than 10% by visual estimation of friable material, the determination may be repeated using the point counting technique. The results of the point counting supersede visual PLM results. Results in this report only relate to the items tested. This report may not be used by the customer to claim product endorsement by NVLAP or any other U.S. Government Agency.

Laboratory results represent the analysis of samples as submitted by the customer. Information regarding sample location, description, area, volume, etc., was provided by the customer. Information provided by the customer can affect the validity of results. Asbestos Identification Laboratory is not responsible for sample collection activities or analytical method limitations. Unless notified in writing to return samples, Asbestos Identification Laboratory discards customer samples after 30 days. Samples containing subsamples or layers will be analyzed separately when applicable. Reports are kept at Asbestos Identification Laboratory for three years. All customer information will be maintained in confidentiality. This report shall not be reproduced, except in full, without the written consent of Asbestos Identification Laboratory.

- NVLAP Lab Code: 200919-0
- Massachusetts Certification License: AA000208
- State of Connecticut, Department of Public Health Approved Environmental Laboratory Registration Number: PH-0142
- State of Maine, Department of Environmental Protection Asbestos Analytical Laboratory License Number: LB-0078(Bulk) LA-0087(Air)
- State of Rhode Island and Providence Plantations. Department of Health Certification: AAL-121
- State of Vermont, Department of Health Environmental Health License AL934461

Thank you Ammar Dieb for your business.

Michael Manning  
Owner/Director

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## Project Information

Galvin M.S.,  
Canton,  
MA

Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
1 1102989	Sink Coating, White	Rm. 104	white	Non-Fibrous 100	None Detected
2 1102990	Sink Coating, White	Rm. 106	tan	Non-Fibrous 97	Detected Chrysotile 3
3 1102991	Sink Coating, Black	Rm. 105	black	Cellulose Non-Fibrous 97	None Detected
4 1102992	Sink Coating, Black	Rm. 106	black	Cellulose Non-Fibrous 97	None Detected
5 1102993	Joint Compound	Main Office Area	white	Non-Fibrous 100	None Detected
6 1102994	Joint Compound	Guidance Area	white	Non-Fibrous 100	None Detected
7 1102995	Lab Counter Top	Sci Prep Rm. 322	black	Non-Fibrous 100	None Detected
8 1102996	Lab Counter Top	Rm. 321	black	Non-Fibrous 100	None Detected
9 1102997	Expansion Caulk	2nd Fl. by Rm. 211	gray	Non-Fibrous 100	None Detected
10 1102998	Expansion Caulk	3rd Fl. by Rm. 313	gray	Non-Fibrous 100	None Detected
11 1102999	Interior Wood Door Glaze	HW 201 to Faculty Rm.	gray	Non-Fibrous 97	Detected Chrysotile 3
12 1103000	Interior Wood Door Glaze	HW 312 to 320	gray	Non-Fibrous 97	Detected Chrysotile 3
13 1103001	Interior Window Glaze	Library	gray	Non-Fibrous 97	Detected Chrysotile 3
14 1103002	Interior Window Glaze	HW 312 to 320	gray	Non-Fibrous 97	Detected Chrysotile 3
15 1103003	Interior Metal Door Glaze	HW 323 to 326	gray	Non-Fibrous 100	None Detected
16 1103004	Interior Metal Door Glaze	Rm. 207	gray	Non-Fibrous 96	Detected Chrysotile 4

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:



Batch: 100504

Page 2 of 7

Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information

Galvin M.S.,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
17 1103005	Gypsum ACT Panels	HW 312 to 320	multi	Cellulose 80 Non-Fibrous 20	None Detected
18 1103006	Gypsum Act Panels	HW 212 to 218	multi	Cellulose 60 Non-Fibrous 40	None Detected
19 1103007	2x2 ACT	Library	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
20 1103008	2x2 ACT	Library	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
21 1103009	2x2 Act Smooth	Kitchen	multi	Cellulose 10 Non-Fibrous 90	None Detected
22 1103010	2x2 ACT Smooth	2nd Floor Boy's Rm.	multi	Cellulose 10 Non-Fibrous 90	None Detected
23 1103011	2x2 ACT Decorative Hashmarks	Main Office Area	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
24 1103012	2x2 ACT Decorativ Hashmarks	Guidance Area	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
25 1103013	2x2 ACT Large Hashmarks	Rm. 104	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
26 1103014	2x2 ACT Large Hashmarks	Rm. 213	multi	Fiberglass 40 Cellulose 40 Non-Fibrous 20	None Detected
27 1103015	2x2 ACT Holes	Kitchen Back HW	multi	Fiberglass 90 Non-Fibrous 10	None Detected
28 1103016	2x2 ACT Holes	Kitchen Back HW	multi	Fiberglass 90 Non-Fibrous 10	None Detected
29 1103017	Hard Joint Insulation	Boy's Locker Rm. Office	multi	Fiberglass 30 Mineral Wool 30 Cellulose 10 Non-Fibrous 30	None Detected
30 1103018	Hard Joint Insualtion	Giril's Locker Rm.	multi	Fiberglass 30 Mineral Wool 30 Cellulose 10 Non-Fibrous 30	None Detected
31 1103019	Hard Joint Insualtion	Garage	multi	Fiberglass 30 Mineral Wool 30 Cellulose 10 Non-Fibrous 30	None Detected

Sampled: July 13, 2023      Received: July 14, 2023      Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:

Batch: 100504

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## Project Information

Galvin M.S.,  
Canton,  
MA

Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
32 1103020	Fireproofing	Above Ceiling Kitchen	multi	Fiberglass 30 Mineral Wool 30 Cellulose 10 Non-Fibrous 30	None Detected
33 1103021	Fireproofing	Above Ceiling HW 212 to 218	multi	Fiberglass 30 Mineral Wool 30 Cellulose 10 Non-Fibrous 30	None Detected
34 1103022	Fireproofing	Above Ceiling HW 312 to 320	multi	Fiberglass 30 Mineral Wool 30 Cellulose 5 Non-Fibrous 35	None Detected
35 1103023	12x12 VFT Mottled Gray	Rm. 102	gray	Non-Fibrous 100	None Detected
36 1103024	12x12 VFT Mastic	Rm. 102	clear	Non-Fibrous 100	None Detected
37 1103025	12x12 VFT Mottled Gray	Rm. 101	gray	Non-Fibrous 100	None Detected
38 1103026	12x12 VFT Mastic	Rm. 101	yellow	Non-Fibrous 100	None Detected
39 1103027	12x12 VFT Brown W/ White Dashes	Cafe	brown	Non-Fibrous 96	Detected Chrysotile 4
40 1103028	12x12 VFT Mastic	Cafe	black	Non-Fibrous 93	Detected Chrysotile 7
41 1103029	12x12 VFT Brown W/ White Dashes	Cafe Storage	brown	Non-Fibrous 96	Detected Chrysotile 4
42 1103030	12x12 VFT Mastic	Cafe Storage	black	Non-Fibrous 93	Detected Chrysotile 7
43 1103031	12x12 VFT Tan W/ Brown White Specs	Rm. 104	tan	Non-Fibrous 96	Detected Chrysotile 4
44 1103032	12x12 VFT Mastic	Rm. 104	black	Non-Fibrous 93	Detected Chrysotile 7
45 1103033	12x12 VFT Tan W/ Brown White Specs	Rm. 103	tan	Non-Fibrous 96	Detected Chrysotile 4
46 1103034	12x12 VFT Mastic	Rm. 103	black	Non-Fibrous 93	Detected Chrysotile 7

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:



Batch: 100504

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Module 3 // Preliminary Design Report

Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information

Galvin M.S.,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
47 1103035	12x12 VFT Off White Color Specs	HW 101 to 106	gray	Non-Fibrous 100	None Detected
48 1103036	12x12 VFT Mastic	HW 101 to 106	multi	Non-Fibrous 100	None Detected
49 1103037	12x12 VFT Off White Color Specs	HW 220 to Gym	gray	Non-Fibrous 100	None Detected
50 1103038	12x12 VFT Mastic	HW 2202 to Gym	multi	Non-Fibrous 100	None Detected
51 1103039	12x12 VFT Mottled Tan	Main Office Area	tan	Non-Fibrous 100	None Detected
52 1103040	12x12 VFT Mastic	Mian Office ARea	multi	Non-Fibrous 100	None Detected
53 1103041	12x12 VFT Mottled Tan	Guidance Area	tan	Non-Fibrous 100	None Detected
54 1103042	12x12 VFT Mastic	Guidance Area	multi	Non-Fibrous 100	None Detected
55 1103043	12x12 VFT Lime Green	Main Office Area	green	Non-Fibrous 100	None Detected
56 1103044	12x12 VFT Mastic	Main Office Area	multi	Non-Fibrous 100	None Detected
57 1103045	12x12 VFT Lime Green	Guidance Area	green	Non-Fibrous 100	None Detected
58 1103046	12x12 VFT Mastic	Guidance Area	multi	Non-Fibrous 100	None Detected
59 1103047	12x12 VFT Mottled Beige	Faculty Rm.	white	Non-Fibrous 100	None Detected
60 1103048	No Sample	No Sample			Not Analyzed
61 1103049	12x12 VFT Mottled Beige	Rm. 220 Music	tan	Non-Fibrous 100	None Detected
62 1103050	12x12 VFT Mastic	Rm. 220 Music	black	Cellulose 3 Non-Fibrous 97	None Detected

Sampled: July 13, 2023      Received: July 14, 2023      Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by: *Ch. Max*

Batch: 100504

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## Project Information

Galvin M.S.,  
Canton,  
MA

Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
63 1103051	12x12 VFT White Tan Specs	Rm. 211	tan	Non-Fibrous 97	Detected Chrysotile 3
64 1103052	12x12 VFT Mastic	Rm. 211 Rm. 3218	black	Non-Fibrous 93	Detected Chrysotile 7
65 1103053	12x12 VFT White Tan Specs	Rm. 318	white	Non-Fibrous 97	Detected Chrysotile 3
66 1103054	12x12 VFT Mastic	Rm. 318	black	Non-Fibrous 93	Detected Chrysotile 7
67 1103055	12x12 VFT Dark Green	HW 212 to 218	green	Non-Fibrous 100	None Detected
68 1103056	12x12 VFT Mastic	HW 212 to 218	yellow	Non-Fibrous 100	None Detected
69 1103057	12x12 VFT Dark Green	Main Office Lobby Entrance	green	Non-Fibrous 100	None Detected
70 1103058	12x12 VFT Mastic	Main Office Lobby Entrance	yellow	Non-Fibrous 100	None Detected
71 1103059	12x12 VFT Light Gray Colored Spaecs	HW 212 to 218	white	Non-Fibrous 100	None Detected
72 1103060	12x12 VFT Mastic	HW 212 to 218	multi	Non-Fibrous 100	None Detected
73 1103061	12x12 VFT Light Gray Colored Spaecs	HW 302 to 306	gray	Non-Fibrous 100	None Detected
74 1103062	12x12 VFT Mastic	HW 302 to 306	multi	Non-Fibrous 100	None Detected
75 1103063	12x12 VFT Maroon Colored Spaecs	HW 302 to 306	red	Non-Fibrous 100	None Detected
76 1103064	12x12 VFT Mastic	HW 302 to 306	multi	Non-Fibrous 100	None Detected
77 1103065	12x12 VFT Maroon W/ Colored Specs	HW 310 to 308	red	Non-Fibrous 100	None Detected
78 1103066	12x12 VFT Mastic	HW 310 to 308	multi	Non-Fibrous 100	None Detected

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:



Batch: 100504

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Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information

Galvin M.S.,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
79 1103067	12x12 VFT Brown W/ Colored Specs	HW 313 to Storage	red	Non-Fibrous 100	None Detected
80 1103068	12x12 VFT Mastic	HW 313 to Storage	multi	Non-Fibrous 100	None Detected
81 1103069	12x12 VFT Brown W/ Colored Specs	HW 313 to Storage	red	Non-Fibrous 100	None Detected
82 1103070	12x12 VFT Mastic	HW 313 to Storage	multi	Non-Fibrous 100	None Detected
83 1103071	Rubber Sheet Flooring	Ramp by Locker Rms.	tan	Non-Fibrous 100	None Detected
84 1103072	Rubber Sheet Flooring Mastic	Ramp by Locker Rms.	multi	Non-Fibrous 100	None Detected
85 1103073	Rubber Sheet Flooring	Ramp by Locker Rms.	tan	Non-Fibrous 100	None Detected
86 1103074	Rubber Sheet Flooring Mastic	Ramp by Locker Rms.	multi	Non-Fibrous 100	None Detected

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:

Batch: 100504

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

1055

Town/City: CANTON MA Building Name: GALVIN M.S.

Sample	Description of Material	Sample Location
1	SINK COATING WHITE	RM 104
2	↓ ↓ WHITE	RM 106
3	↓ ↓ BLACK	RM 105
4	↓ ↓ BLACK	RM 106
5	JOINT COMPOUND	MAIN OFFICE AREA
6	JOINT COMPOUND	GUIDANCE AREA
7	LAB COUNTER TOP	SCI PRAP RM 322
8	LAB COUNTER TOP	RM 321
9	EXPANSION CAULK	2nd fl by RM 211
10	EXPANSION CAULK	3rd fl by RM 313
11	INTERWOOD DOOR GLAZE	HW 201 to FACILITY RM
12	INTERIOR WOOD DOOR GLAZE	HW 312 to 320
13	INTERIOR WINDOW GLAZE	LIBRARY
14	INTERIOR WINDOW GLAZE	HW 312 to 320
15	INTERIOR METAL DOOR GLAZE	HW 323 to 326
16	INTERIOR METAL DOOR GLAZE	RM 207
17	GYPSON ACT PANELS	HW 312 to 320
18	GYPSON ACT PANELS	HW 212 to 218
19	2x2 ACT	LIBRARY
20	2x2 ACT	LIBRARY

Reported By: KATH MCGOVERN Date: 7-13-23 Due Date: 24-Hours  
 Received By: [Signature] Date: 7/14/23

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

2 of 5

Town/City: CANTON MA Building Name: GALVIN M.S.

Sample	Description of Material	Sample Location
21	2x4 ACT SMOOTH	KITCHEN
22	2x4 ACT SMOOTH	2nd floor Boys RM
23	DECORATIVE HASHMARKS	MAIN OFFICE AREA
24	DECORATIVE HASHMARKS	GUIDANCE AREA
25	LARGE HASHMARKS	RM 104
26	LARGE HASHMARKS	RM 213
27	HOLES	KITCHEN BACK HW
28	↓ ↓ HOLES	KITCHEN BACK HW
29	HARD JOINT INSULATION	BOYS LOCKER RM OFFICE
30	↓ ↓ ↓	GIRLS LOCKER RM
31	↓ ↓ ↓	GARAGE
32	FIRE PROOFING	Above ceiling KITCHEN
33	↓ ↓	↓ ↓ HW 212 to 218
34	↓ ↓	↓ ↓ HW 312 to 320
35	12x12 vfr MOTTLED GREY	RM 102
36	MASTIC	RM 102
37	MOTTLED GREY	RM 101
38	MASTIC	RM 101
39	BROWN WHITE DASHES	CAFE
40	↓ ↓ MASTIC	CAFE

Reported By: Keith McGovern Date: 7-13-23

Due Date: 24-Hours

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

# CHAIN OF CUSTODY

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12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

3 of 5

Town/City: CANTON MA Building Name: GALVIN M.S.

Sample	Description of Material	Sample Location
41	12712 VFT BROWN w WHITE DASHES	CAFE STORAGE
42	MASTIC	CAFE STORAGE
43	TAN w BROWN WHITE SPACES	RM 104
44	MASTIC	RM 104
45	TAN w BROWN WHITE SPACES	RM 103
46	MASTIC	RM 103
47	off white colored spaces	HW 101 TO 106
48	MASTIC	HW 101 TO 106
49	off white colored spaces	HW 220 TO GYM
50	MASTIC	HW 220 TO GYM
51	MOTTLED TAN	MAIN OFFICE AREA
52	MASTIC	MAIN OFFICE AREA
53	MOTTLED TAN	GUIDANCE AREA
54	MASTIC	GUIDANCE AREA
55	LIME GREEN	MAIN OFFICE AREA
56	MASTIC	MAIN OFFICE AREA
57	LIME GREEN	GUIDANCE AREA
58	MASTIC	GUIDANCE AREA
59	MOTTLED BEIGE	FACULTY RM
60	MASTIC	FACULTY RM

Reported By: Keith McGOVERN Date: 7-13-23 Due Date: 24-Hours

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adie@uec-env.com

PLM

4 of 5

 Town/City: CANTON MA Building Name: GALVIN M.S.

Sample	Description of Material	Sample Location
61	12x12 VFT MOTTLED BEIGE	RM 220 MUSIC
62	MASTIC	RM 220 MUSIC
63	WHITE TAN SPICES	RM 211
64	MASTIC	RM 211
65	WHITE TAN SPICES	RM 318
66	MASTIC	RM 318
67	DARK GREEN	HW 212 TO 218
68	MASTIC	HW 212 TO 218
69	DARK GREEN	MAIN OFFICE LOBBY ENTRANCE
70	MASTIC	MAIN OFFICE LOBBY ENTRANCE
71	LIGHT GREY COLORED SPICES	HW 212 TO 218
72	MASTIC	HW 212 TO 218
73	LIGHT GREY COLORED SPICES	HW 302 TO 306
74	MASTIC	HW 302 TO 306
75	MARBLE COLORED SPICES	HW 302 TO 306
76	MASTIC	HW 302 TO 306
77	MARBLE COLORED SPICES	HW 310 TO 308
78	MASTIC	HW 310 TO 308
79	BROWN COLORED SPICES	HW 313 TO STORAGE
80	MASTIC	HW 313 TO STORAGE

 Reported By: KATH McGOVERN Date: 7-13-23 Due Date: 24-Hours

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

**CHAIN OF CUSTODY**

<b>Universal Environmental Consultants</b>
12 Brewster Road.
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

5 of 5

 Town/City: GANTON MA Building Name: GALVIN M.S.

Sample	Description of Material	Sample Location
81	12x12 VFT Brown w Colored Specs	HW 313 TO STORAGE
82	12x12 VFT MASTIC	HW 313 TO STORAGE
83	Rubber Sheet Flooring	RAMP by LOCKER RMS ↓ ↓ ↓ ↓
84	Rubber Sheet Flooring MASTIC	
85	Rubber Sheet Flooring	
86	Rubber Sheet Flooring MASTIC	

 Reported By: Keith McGeever Date: 7-13-23 Due Date: 24-Hours  
 Received By: \_\_\_\_\_ Date: \_\_\_\_\_



## Asbestos Identification Laboratory.

165 New Boston St., Ste 227  
Woburn, MA 01801  
781-932-9600

Web: [www.asbestosidentificationlab.com](http://www.asbestosidentificationlab.com) Email:  
[mikemanning@asbestosidentificationlab.com](mailto:mikemanning@asbestosidentificationlab.com)



**Batch: 100555**

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

### Project Information

*Galvin M. S. Portable Class Rm,  
Canton,  
MA*

*Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116*

Dear Ammar Dieb,

Asbestos Identification Laboratory has completed the analysis of the samples from your office for the above referenced project. The Analysis Method is BULK PLM ANALYSIS, EPA/600/R-93/116. The information and analysis contained in this report have been generated using the EPA /600/R-93/116 Method for the Determination of Asbestos in Bulk Building Materials. Materials or products that contain more than 1% of any kind or combination of asbestos are considered an asbestos containing building material as determined by the EPA. This Polarized Light Microscope (PLM) technique may be performed either by visual estimation or point counting. Point counting provides a determination of the area percentage of asbestos in a sample. If the asbestos is estimated to be less than 10% by visual estimation of friable material, the determination may be repeated using the point counting technique. The results of the point counting supersede visual PLM results. Results in this report only relate to the items tested. This report may not be used by the customer to claim product endorsement by NVLAP or any other U.S. Government Agency.

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- State of Connecticut, Department of Public Health Approved Environmental Laboratory Registration Number: PH-0142
- State of Maine, Department of Environmental Protection Asbestos Analytical Laboratory License Number: LB-0078(Bulk) LA-0087(Air)
- State of Rhode Island and Providence Plantations. Department of Health Certification: AAL-121
- State of Vermont, Department of Health Environmental Health License AL934461

Thank you Ammar Dieb for your business.

Michael Manning  
Owner/Director

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## Project Information

Galvin M. S. Portable Class Rm,  
Canton,  
MA

Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
1 1103555	Sink Coating White	Rm. 1	white	Non-Fibrous 100	None Detected
2 1103556	Sink Coating White	Office 3 work Rm.	white	Non-Fibrous 100	None Detected
3 1103557	Sink Coating Gray	Rm. 3	gray	Non-Fibrous 100	None Detected
4 1103558	Sink Coating Gray	Rm. 3	gray	Non-Fibrous 100	None Detected
5 1103559	2X4 ACT	Office 3 Work Rm.	tan	Fiberglass 40 Mineral Wool 10 Cellulose 40 Non-Fibrous 10	None Detected
6 1103560	2X4 ACT	Rm. 3	tan	Fiberglass 40 Mineral Wool 10 Cellulose 40 Non-Fibrous 10	None Detected
7 1103561	12X12 VFT White Tan Specs	Hallway Closet by Offices	multi	Non-Fibrous 100	None Detected
8 1103562	12X12 VFT Mastic	Hallway Closet by Offices	yellow	Non-Fibrous 100	None Detected
9 1103563	12X12 VFT White Tan Specs	Rm. 2 Storage	multi	Non-Fibrous 100	None Detected
10 1103564	12X12 VFT Mastic	Rm. 2 Storage	yellow	Non-Fibrous 100	None Detected
11 1103565	12X12 VFT White Black Specs	Rm. 2	multi	Non-Fibrous 100	None Detected
12 1103566	12X12 VFT Mastic	Rm. 2	yellow	Non-Fibrous 100	None Detected
13 1103567	12X12 VFT White Black Specs	Main Hallway	multi	Non-Fibrous 100	None Detected
14 1103568	12X12 VFT Mastic	Main Hallway	yellow	Non-Fibrous 100	None Detected
15 1103569	Sheet Flooring 9X16 Decorative Squares	Rm. 1 Bathroom	multi	Cellulose 20 Non-Fibrous 80	None Detected
16 1103570	Sheet Flooring Mastic	Rm. 1 Bathroom	yellow	Non-Fibrous 100	None Detected

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023

Analyzed by:



Batch: 100555

Page 2 of 3



Module 3 // Preliminary Design Report

Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information

Galvin M. S. Portable Class Rm,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
17 1103571	Sheet Flooring 9x16 Decorative Squares	Rm. 1 Bathroom	multi	Cellulose 20 Non-Fibrous 80	None Detected
18 1103572	Shee Flooring Mastic	Rm. 1 Bathroom	yellow	Non-Fibrous 100	None Detected
19 1103573	Sheet Flooring White W. Specs	Main Hallway Bathroom 2	multi	Cellulose 20 Non-Fibrous 80	None Detected
20 1103574	Sheet Flooring Mastic	Main Hallway Bathroom 2	green	Non-Fibrous 100	None Detected
21 1103575	Sheet Flooring Mastic	Rm. 3 Bathroom 2	yellow	Non-Fibrous 100	None Detected
22 1103576	Sheet Flooirng White W/ Specs	Rm. 3 Bathroom 2	multi	Cellulose 20 Non-Fibrous 80	None Detected
23 1103577	Sheet Flooirng Tan Cluid	Rm. 2 Bathroom 2	multi	Non-Fibrous 100	None Detected
24 1103578	Sheet Flooirng Mastic	Rm. 2 Bathroom 2	yellow	Non-Fibrous 100	None Detected
25 1103579	Sheet Flooirng Tan Cloud	Rm. 1 Bathroom 1	multi	Non-Fibrous 100	None Detected
26 1103580	Sheet Flooirng Mastic	Rm. 1 Bathroom 1	yellow	Non-Fibrous 100	None Detected

Sampled: July 13, 2023

Received: July 14, 2023

Analyzed: July 14, 2023

Monday 17 July 2023



Analyzed by:

Batch: 100555

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

1 of 2

Town/City: CANTON MA Building Name: GALVIN M.S. PORTABLES CLASS RM

Sample	Description of Material	Sample Location
1	SINK COATING WHITE	RM 1
2	↓ ↓ WHITE	OFFICE 3 WORK RM KITCHEN
3	↓ ↓ GRAY	RM 3
4	↓ ↓ GRAY	RM 3
5	2x4 ACT	OFFICE 3 WORK RM
6	2x4 ACT	RM 3
7	12x12 VLT WHITE TAN SPKS	HALLWAY closet by OFFICES
8	↓ ↓ ↓ MASTIC	" " " "
9	↓ ↓ ↓ WHITE TAN SPKS	RM 2 STORAGE
10	↓ ↓ ↓ MASTIC	" " " "
11	↓ ↓ ↓ WHITE BLACK SPKS	RM 2
12	↓ ↓ ↓ <del>MASTIC</del>	RM 2
13	↓ ↓ ↓ WHITE BLACK SPKS	MAIN HALLWAY
14	↓ ↓ ↓ MASTIC	MAIN HALLWAY
15	SHEET Flooring 9x16 DECORATIVE SQUARES	RM 1 BATHROOM
16	SHEET Flooring MASTIC	RM 1 BATHROOM
17	↓ ↓ ↓ 9x16 DECORATIVE SQUARES	↓ ↓ ↓ ↓
18	↓ ↓ ↓ MASTIC	↓ ↓ ↓ ↓
19	↓ ↓ ↓ WHITE w SPKS	MAIN HALLWAY BATHROOM 2
20	↓ ↓ ↓ MASTIC	" " " " " "

Reported By: KSIAH MCGOWAN Date: 7-13-23 Due Date: 24-Hours

Received By: [Signature] Date: 7/14/23

# CHAIN OF CUSTODY

2 of 2

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

PLM

Town/City: CANTON MA Building Name: GLAVIN M.S. - PORTABLE CLASSRM

Sample	Description of Material	Sample Location
21	SHEET FLOORING MASTIC	RM 3 BATHROOM 2
22	↑ ↑ WHITE & SPECS	RM 3 BATH ROOM 2
23	TAN CLOUD	RM 2 BATHROOM 2
24	MASTIC	RM 2 BATHROOM 2
25	TAN CLOUD	RM 2 BATHROOM 1
26	↓ ↓ MASTIC	RM 2 BATHROOM 1

Reported By: KEITH MCGOVERN Date: 7-13-23 Due Date: 24-Hours  
 Received By: \_\_\_\_\_ Date: \_\_\_\_\_



### Asbestos Identification Laboratory.

165 New Boston St., Ste 227  
Woburn, MA 01801  
781-932-9600

Web: [www.asbestosidentificationlab.com](http://www.asbestosidentificationlab.com) Email: [mikemanning@asbestosidentificationlab.com](mailto:mikemanning@asbestosidentificationlab.com)



**Batch: 99987**

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

Project Information

*Galvin Middle School,  
Canton,  
MA*

*Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116*

Dear Ammar Dieb,

Asbestos Identification Laboratory has completed the analysis of the samples from your office for the above referenced project. The Analysis Method is BULK PLM ANALYSIS, EPA/600/R-93/116. The information and analysis contained in this report have been generated using the EPA /600/R-93/116 Method for the Determination of Asbestos in Bulk Building Materials. Materials or products that contain more than 1% of any kind or combination of asbestos are considered an asbestos containing building material as determined by the EPA. This Polarized Light Microscope (PLM) technique may be performed either by visual estimation or point counting. Point counting provides a determination of the area percentage of asbestos in a sample. If the asbestos is estimated to be less than 10% by visual estimation of friable material, the determination may be repeated using the point counting technique. The results of the point counting supersede visual PLM results. Results in this report only relate to the items tested. This report may not be used by the customer to claim product endorsement by NVLAP or any other U.S. Government Agency.

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- State of Rhode Island and Providence Plantations. Department of Health Certification: AAL-121
- State of Vermont, Department of Health Environmental Health License AL934461

Thank you Ammar Dieb for your business.

Michael Manning  
Owner/Director

Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information  
  
 Galvin Middle School,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
1 1097220	Window Frame Caulk	By B-2, Exterior	black	Non-Fibrous 100	None Detected
2 1097221	Win Fr.	By A-2, Exterior	black	Non-Fibrous 100	None Detected
3 1097222	Win Fr.	By Portable, Exterior	black	Non-Fibrous 100	None Detected
4 1097223	Win Fr.	A-2 Front, Exterior	black	Non-Fibrous 100	None Detected
5 1097224	Door Frame Caulk	A-2, Exterior	black	Non-Fibrous 100	None Detected
6 1097225	Door Fr. - II	Rear by Gas Meter, Exterior	black	Non-Fibrous 100	None Detected
7 1097226	door Fr.	D-4, Exterior	black	Non-Fibrous 100	None Detected
8 1097227	Grille Frame Caulk	By B-2, Exterior	black	Non-Fibrous 100	None Detected
9 1097228	Gr. Fr. - II?	By B-2, Exterior	black	Non-Fibrous 100	None Detected
10 1097229	Gr. Fr.	By A-2, Exterior	black	Non-Fibrous 100	None Detected
11 1097230	Vertical Brown in Brick	Test Side Exterior	brown	Non-Fibrous 100	None Detected
12 1097231	Vertical Brown in Brick	By D-4, Exterior	brown	Cellulose 30 Non-Fibrous 70	None Detected
13 1097232	Vertical Gray in Cement Panel	A-2 Front, Exterior	white	Non-Fibrous 100	None Detected
14 1097233	Horizontal White under Cement Panel	A-2 Front, Exterior	gray	Non-Fibrous 100	None Detected
15 1097234	Horizontal Gray between Cement Floor & Brick Wall	A-2 Entrance, Exterior	gray	Other 10 Non-Fibrous 90	None Detected
16 1097235	Faux T Skirt Panel	Portable, Exterior	gray	Cellulose 30 Non-Fibrous 70	None Detected

Sampled: July 03, 2023

Received: July 05, 2023

Analyzed: July 05, 2023

Thursday 06 July 2023



Analyzed by:

Batch: 99987

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adleb@uec-env.com

Town/City: Canton, MA Building Name: Galvin Middle School

Sample	Description of Material	Sample Location
1	windows frame caulk	by B-2
2	wind fi	by A-2
3	wind fi	by Postage
4	wind fi	A-2 Front
5	Door frame caulk	A-2
6	Door fi - II?	near by gas meter
7	Door fi	D-4
8	Grille frame caulk	by B-2
9	Gr fi - II?	by B-2
10	Gr fi	by A-2
11	vertical Brown in brick	Test Site
12	vert. Brown in brick	by D-4
13	vertical grey in cement panel	A-2, front
14	horizontal white under cement panel	A-2, front
15	horizontal grey between cement floor & brick wall	A-2 entrance
16	Faux [?] skirt panel	Postage

Reported By: [Signature] Date: 7-3-23

Due Date: 24-Hours

Received By: [Signature] Date: 7/5/23



## Asbestos Identification Laboratory.

165 New Boston St., Ste 227  
Woburn, MA 01801  
781-932-9600

Web: [www.asbestosidentificationlab.com](http://www.asbestosidentificationlab.com) Email:  
[mikemanning@asbestosidentificationlab.com](mailto:mikemanning@asbestosidentificationlab.com)



**Batch: 100077**

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

### Project Information

*Galvin Middle School,  
Canton,  
MA*

*Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116*

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- State of Vermont, Department of Health Environmental Health License AL934461

Thank you Ammar Dieb for your business.

Michael Manning  
Owner/Director

Ammar Dieb  
Universal Environmental Consultants  
12 Brewster Road  
Framingham, MA 01702

## Project Information

Galvin Middle School,  
Canton,  
MA

Method: BULK PLM ANALYSIS,  
EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
1 1098371	Roof Core	See Map For Location	multi	Fiberglass 50 Cellulose 10 Non-Fibrous 40	None Detected
2 1098372	Roof Core	See Map For Location	multi	Cellulose 50 Non-Fibrous 50	None Detected
3 1098373	Roof Core	See Map For Location	multi	Fiberglass 50 Non-Fibrous 50	None Detected
4 1098374	Roof Core	See Map For Location	multi	Fiberglass 50 Non-Fibrous 50	None Detected
5 1098375	Roof Core	See Map For Location	multi	Fiberglass 30 Cellulose 40 Non-Fibrous 30	None Detected
6 1098376	Roof Core	See Map For Location	multi	Fiberglass 30 Cellulose 40 Non-Fibrous 30	None Detected
7 1098377	Front Low Roof Core	See Map For Location	multi	Fiberglass 50 Non-Fibrous 50	None Detected
8 1098378	Low Roof Core	See Map For Location	multi	Fiberglass 50 Non-Fibrous 50	None Detected
9 1098379	Back Low Roof Core	See Map For Location	multi	Fiberglass 50 Non-Fibrous 50	None Detected
10 1098380	Exhaust Pipe Caulk	Exhaust Pipe	multi	Non-Fibrous 98	Detected Chrysotile 2
11 1098381	Exhaust Pipe Caulk	Exhaust Pipe	gray	Non-Fibrous 100	None Detected
12 1098382	Chimey Caulk	Chimney	white	Non-Fibrous 100	None Detected
13 1098383	Chimey Caulk	Chimney	white	Non-Fibrous 100	None Detected
14 1098384	Penthouse Wall Caulk	Penthouse A	white	Non-Fibrous 100	None Detected
15 1098385	Penthouse Wall Caulk	Penthouse B	white	Non-Fibrous 100	None Detected
16 1098386	Penthouse Black Mastic	Penthouse A	black	Non-Fibrous 100	None Detected

Sampled: July 06, 2023

Received: July 06, 2023

Analyzed: July 06, 2023

Friday 07 July 2023

Analyzed by:



Batch: 100077

Page 2 of 3



Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

Project Information

Galvin Middle School,  
 Canton,  
 MA

Method: BULK PLM ANALYSIS,  
 EPA/600/R-93/116

FieldID LabID	Material	Location	Color	Non-Asbestos %	Asbestos %
17 1098387	Penthouse Black Mastic	Penthouse B	black	Non-Fibrous 100	None Detected
18 1098388	Low Roof Wall Caulk	Low Roof	gray	Non-Fibrous 100	None Detected
19 1098389	Low Roof Wall Caulk	Low Roof	clear	Non-Fibrous 100	None Detected
20 1098390	Front Low Roof Wall Mastic	Front Low Roof	black	Non-Fibrous 100	None Detected
21 1098391	Front Low Roof Wall Caulk	Front Low Roof	white	Non-Fibrous 100	None Detected
22 1098392	Front Low Roof Wall Grate Caulk	Front Low Roof	black	Non-Fibrous 100	None Detected
23 1098393	Low Roof Wall Grate Caulk	Low Roof	gray	Non-Fibrous 100	None Detected
24 1098394	Modular Roof Pipe Caulk	Modular Roof Pipe	black	Non-Fibrous 100	None Detected
25 1098395	Modular Roof Pipe Caulk	Modular Roof Pipe	black	Non-Fibrous 100	None Detected

Sampled: July 06, 2023

Received: July 06, 2023

Analyzed: July 06, 2023

Friday 07 July 2023



Analyzed by:

Batch: 100077

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adfeb@uec-env.com

PLM

Town/City: CANTON MA Building Name: GALVIN Middle School

Sample	Description of Material	Sample Location
1	Roof Core	SEE MAP FOR LOCATION
2	↓ ↓	↓ ↓ ↓ ↓
3		
4		
5	↓ ↓	
6	Roof Core	
7	FRONT Low Roof Core	
8	FRONT Low Roof Core	
9	BACK Low Roof Core	↓ ↓ ↓ ↓
10	EXHAUST PIPE CRACK	EXHAUST PIPE
11	EXHAUST P.P. CRACK	EXHAUST PIPE
12	CHIMNEY CRACK	CHIMNEY
13	CHIMNEY CRACK	CHIMNEY
14	Penthouse WALL CRACK	Penthouse A
15	Penthouse WALL CRACK	Penthouse B
16	Penthouse BLACK MASTIC	Penthouse A
17	Penthouse BLACK MASTIC	Penthouse B
18	Low Roof WALL CRACK	Low Roof
19	Low Roof WALL CRACK	Low Roof
20	FRONT Low Roof WALL MASTIC	FRONT Low Roof

Reported By: KEITH MCGOVERN Date: 7-6-23

Due Date: 24-Hours

Received By: [Signature] Date: 7/6/23

# CHAIN OF CUSTODY

*PLM*

<b>Universal Environmental Consultants</b>
12 Brewster Road.
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

Town/City: CANTON Building Name: GALVIN Middle School

Sample	Description of Material	Sample Location
21	FRONT LOW ROOF WALL CAULK	FRONT LOW ROOF
22	FRONT LOW ROOF WALL GUTTER CAULK	FRONT LOW ROOF
23	LOW ROOF WALL GUTTER CAULK	LOW ROOF
24	MODULAR ROOF PIPE CAULK	MODULAR ROOF PIPE
25	MODULAR ROOF PIPE CAULK	MODULAR ROOF PIPE

Reported By: Keith McGeever Date: 7-6-23 Due Date: **24-Hours**

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

OrderID: 132304529

132304529

# CHAIN OF CUSTODY

<b>Universal Environmental Consultants</b>
12 Brewster Road
Framingham, MA 01702
Tel: (508) 628-5486 - Fax: (508) 628-5488
adieb@uec-env.com

xx Exterior x

Town/City: Canton, MA Building Name Galvin School

Sample	Description of Material	Sample Location
1	mastic	at column of loading dock
2	mastic	at column of loading dock
3	mastic	at column north side
4	mastic	at column north side
5	mastic	flashing at brick + foundation
6	mastic	flashing at brick + foundation
7	mastic	flashing at brick + foundation
8	mastic	flashing at brick + foundation
9	mastic	flashing at brick + foundation
10	mastic	flashing at brick + foundation
11	mastic	flashing at brick + foundation
12	mastic	flashing at brick + foundation

Reported By: Greg Beach Date: 7/20/23 Due Date: 24-Hours

Received By: \_\_\_\_\_ Date: \_\_\_\_\_

REC'D RHP 0830  
 EMSL-BOSTON JUL 24 2023  
 DRP BOY



**EMSL Analytical, Inc.**  
 5 Constitution Way, Unit A Woburn, MA 01801  
 Tel/Fax: (781) 933-8411 / (781) 933-8412  
<http://www.EMSL.com/bostonlab@emsl.com>

**EMSL Order:** 132304529  
**Customer ID:** UEC63  
**Customer PO:**  
**Project ID:**

**Attention:** Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

**Phone:** (617) 984-9772  
**Fax:** (508) 628-5488  
**Received Date:** 07/24/2023 8:30 AM  
**Analysis Date:** 07/24/2023  
**Collected Date:** 07/20/2023

**Project:** Exterior - Galvin School; Canton, MA

**Test Report: Asbestos Analysis of Bulk Materials via AHERA Method 40CFR 763 Subpart E  
 Appendix E supplemented with EPA 600/R-93/116 using Polarized Light Microscopy**

Sample	Description	Appearance	Non-Asbestos		Asbestos
			% Fibrous	% Non-Fibrous	% Type
1 132304529-0001	at Column of Loading Dock - Mastic	Black Fibrous Homogeneous		88% Non-fibrous (Other)	12% Chrysotile
2 132304529-0002	at Column of Loading Dock - Mastic	Black Fibrous Homogeneous		88% Non-fibrous (Other)	12% Chrysotile
3 132304529-0003	at Column North Side - Mastic	Black Fibrous Homogeneous		90% Non-fibrous (Other)	10% Chrysotile
4 132304529-0004	at Column North Side - Mastic	Black Fibrous Homogeneous		90% Non-fibrous (Other)	10% Chrysotile
5 132304529-0005	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
6 132304529-0006	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
7 132304529-0007	Flashing at Brick & Foundation - Mastic	Black Fibrous Homogeneous		90% Non-fibrous (Other)	10% Chrysotile
8 132304529-0008	Flashing at Brick & Foundation - Mastic	Black Fibrous Homogeneous		90% Non-fibrous (Other)	10% Chrysotile
9 132304529-0009	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
10 132304529-0010	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
11 132304529-0011	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected
12 132304529-0012	Flashing at Brick & Foundation - Mastic	Black Non-Fibrous Homogeneous		100% Non-fibrous (Other)	None Detected


Initial report from: 07/24/2023 11:22:32



**EMSL Analytical, Inc.**  
5 Constitution Way, Unit A Woburn, MA 01801  
Tel/Fax: (781) 933-8411 / (781) 933-8412  
<http://www.EMSL.com> / [bostonlab@emsl.com](mailto:bostonlab@emsl.com)

**EMSL Order:** 132304529  
**Customer ID:** UEC63  
**Customer PO:**  
**Project ID:**

Analyst(s)  
\_\_\_\_\_  
Kevin McKenzie (12)

  
\_\_\_\_\_  
Steve Grise, Laboratory Manager  
or Other Approved Signatory

EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. Results are generated from the field sampling data (sampling volumes and areas, locations, etc.) provided by the client on the Chain of Custody. Samples are within quality control criteria and met method specifications unless otherwise noted. The above analyses were performed in general compliance with Appendix E to Subpart E of 40 CFR (previously EPA 600/M4-82-020 "Interim Method") but augmented with procedures outlined in the 1993 ("final") version of the method. This report must not be used by the client to claim product certification, approval, or endorsement by NVLAP, NIST or any agency of the federal government. Non-friable organically bound materials present a problem matrix and therefore EMSL recommends gravimetric reduction prior to analysis. Unless requested by the client, building materials manufactured with multiple layers (i.e. linoleum, wallboard, etc.) are reported as a single sample. Estimation of uncertainty is available on request.

Samples analyzed by EMSL Analytical, Inc. Woburn, MA NVLAP Lab Code 101147-0, CT PH-0315, MA AA000188, RI AAL-139, VT AL998919, ME LB-0039

Initial report from: 07/24/2023 11:22:32

OrderID: 132304251



universal environmental consultants

12 Brewster Road  
Framingham, MA 01702

Phone: 508.628.5486  
Fax: 508.628.5488

132304251

**CHAIN OF CUSTODY**

BUILDING / SITE NAME: Galvin Middle School TOWN / CITY: Canton  
 WORK AREA: \_\_\_\_\_ STATE: MA

Analysis Type	Turnaround Time ( x )					Specific Project Notes
	6-8 Hr	12 Hr	24 Hr	48 Hr	72 hr	
TEM / AHERA						
TEM / Level II						
TEM / Dust						
TEM / Bulk						
TEM / Water						
PLM						
Mold			X			
Other:						

SAMPLE ID	MATERIAL DESCRIPTION	SAMPLE LOCATION	START	STOP	TIME	LMIN	VOLUME
1	3479 0379	Room 107	10:42	10:52	10	15	150
2	3479 0400	Cafeteria	10:47	10:57	10	15	150
3	3479 0359	Mail Room	11:13	11:23	10	15	150
4	3479 0371	Room 214	11:17	11:27	10	15	150
5	3479 03796	Gymnasium	11:19	11:29	10	15	150
6	3479 0406	Room 207	11:31	11:41	10	15	150
7	3479 0407	Room 315	11:36	11:46	10	15	150
8	3479 0364	Room 320	11:39	11:49	10	15	150
9	3479 0405	Room 307	11:47	11:57	10	15	150
10	3479 0391	Outside	12:05	12:15	10	15	150

REC'D *SM 1385*  
 EMSL BOSTON JUL 11 2023  
*Wain in*

SAMPLED BY: Sydy Joun 7/11/23 DATE/TIME: 12:22 PM RECEIVED BY: \_\_\_\_\_ DATE/TIME: \_\_\_\_\_  
 RELINQUISHED BY: \_\_\_\_\_ DATE/TIME: \_\_\_\_\_ RECEIVED IN LAB BY: \_\_\_\_\_ DATE/TIME: \_\_\_\_\_



**EMSL Analytical, Inc.**

5 Constitution Way, Unit A Woburn, MA 01801  
 Tel/Fax: (781) 933-8411 / (781) 933-8412  
<http://www.EMSL.com / bostonlab@emsl.com>

**EMSL Order:** 132304251  
**Customer ID:** UEC63  
**Customer PO:**  
**Project ID:**

**Attention:** Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

**Phone:** (617) 984-9772  
**Fax:** (508) 628-5488  
**Collected Date:** 07/11/2023  
**Received Date:** 07/11/2023 01:35 PM  
**Analyzed Date:** 07/12/2023

**Project:** Galvin Middle School; Canton, MA

**Test Report: Air-O-Cell™ Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)**

Lab Sample Number: Client Sample ID: Volume (L): Sample Location:	132304251-0001			132304251-0002			132304251-0003		
	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total
1 150 Room 107				2 150 Cafeteria			3 150 Mail Room		
<b>Spore Types</b>									
Alternaria (Ulocladium)	-	-	-	-	-	-	-	-	-
Ascospores	21	430	23.2	-	-	-	3	60	30
Aspergillus/Penicillium	3	60	3.2	-	-	-	-	-	-
Basidiospores	65	1300	70.3	1	20	100	6	100	50
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	2	40	2.2	-	-	-	1	20	10
Curvularia	-	-	-	-	-	-	-	-	-
Epicoccum	-	-	-	-	-	-	-	-	-
Fusarium++	-	-	-	-	-	-	-	-	-
Ganoderma	-	-	-	-	-	-	1	20	10
Myxomycetes++	1	20	1.1	-	-	-	-	-	-
Pithomyces++	-	-	-	-	-	-	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Scopulariopsis/Microascus	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Unidentifiable Spores	-	-	-	-	-	-	-	-	-
Zygomycetes	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	-	-	-
<b>Total Fungi</b>	<b>92</b>	<b>1850</b>	<b>100</b>	<b>1</b>	<b>20</b>	<b>100</b>	<b>11</b>	<b>200</b>	<b>100</b>
Hyphal Fragment	-	-	-	-	-	-	2	40	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	-	-	-	-	-	-	-	-	-
Analyt. Sensitivity 600x	-	21	-	-	21	-	-	21	-
Analyt. Sensitivity 300x	-	7*	-	-	7*	-	-	7*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	1	-	-	1	-	-	1	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.

Steve Grise, Laboratory Manager  
 or other Approved Signatory

No discernable field blank was submitted with this group of samples.

Skin Fragment and Fibrous Particulate ratings are based on the percent of non-fungal material they represent: 1 (1-25%), 2 (26-50%), 3 (51-75%), or 4 (76-100%). Background ratings are based on the total area covered by non-fungal particles: 1 (1-25%), 2 (26-50%), 3 (51-75%), 4 (76-99%), or 5 (100%; overloaded, prohibiting accurate detection and quantification). High levels of background will obscure spores and other particulates, leading to underestimation. Present = Spores detected on overloaded samples. Results are not blank corrected unless otherwise noted. The detection limit is equal to one fungal spore, structure, pollen, fiber particle or insect fragment. \*\*\* Denotes particles found at 300X. \*- Denotes not detected. Due to method stopping rules, raw counts in excess of 100 are extrapolated based on the percentage analyzed. EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. When the information supplied by the customer can affect the validity of the result, it will be noted on the report.

Samples analyzed by EMSL Analytical, Inc. Woburn, MA AIHA LAP, LLC-EMLAP Accredited #180179

Initial report from: 07/12/2023 11:53 AM

For information on the fungi listed in this report, please visit the Resources section at [www.emsl.com](http://www.emsl.com)





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**EMSL Order:** 132304251  
**Customer ID:** UEC63  
**Customer PO:**  
**Project ID:**

**Attention:** Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702


**Phone:** (617) 984-9772  
**Fax:** (508) 628-5488  
**Collected Date:** 07/11/2023  
**Received Date:** 07/11/2023 01:35 PM  
**Analyzed Date:** 07/12/2023

**Project:** Galvin Middle School; Canton, MA

**Test Report: Air-O-Cell™ Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)**

Lab Sample Number:	132304251-0004			132304251-0005			132304251-0006		
Client Sample ID:	4			5			6		
Volume (L):	150			150			150		
Sample Location:	Room 214			Gymnasium			Room 207		
Spore Types	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total
Alternaria (Ulocladium)	-	-	-	-	-	-	-	-	-
Ascospores	-	-	-	9	200	10.2	5	100	11.1
Aspergillus/Penicillium	-	-	-	6	100	5.1	4	80	8.9
Basidiospores	3	60	75	56	1100	55.8	14	290	32.2
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	-	-	-	26	530	26.9	18	370	41.1
Curvularia	-	-	-	-	-	-	-	-	-
Epicoccum	1	20	25	-	-	-	-	-	-
Fusarium++	-	-	-	-	-	-	-	-	-
Ganoderma	-	-	-	-	-	-	2	40	4.4
Myxomycetes++	-	-	-	2	40	2	1	20	2.2
Pithomyces++	-	-	-	-	-	-	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Scopulariopsis/Microascus	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Unidentifiable Spores	-	-	-	-	-	-	-	-	-
Zygomycetes	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	-	-	-
<b>Total Fungi</b>	<b>4</b>	<b>80</b>	<b>100</b>	<b>99</b>	<b>1970</b>	<b>100</b>	<b>44</b>	<b>900</b>	<b>100</b>
Hyphal Fragment	-	-	-	-	-	-	-	-	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	-	-	-	-	-	-	-	-	-
Analyt. Sensitivity 600x	-	21	-	-	21	-	-	21	-
Analyt. Sensitivity 300x	-	7*	-	-	7*	-	-	7*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	1	-	-	1	-	-	1	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.

  
 Steve Grise, Laboratory Manager  
 or other Approved Signatory

No discernable field blank was submitted with this group of samples.

Skin Fragment and Fibrous Particulate ratings are based on the percent of non-fungal material they represent: 1 (1-25%), 2 (26-50%), 3 (51-75%), or 4 (76-100%). Background ratings are based on the total area covered by non-fungal particles: 1 (1-25%), 2 (26-50%), 3 (51-75%), 4 (76-99%), or 5 (100%; overloaded, prohibiting accurate detection and quantification). High levels of background will obscure spores and other particulates, leading to underestimation. Present = Spores detected on overloaded samples. Results are not blank corrected unless otherwise noted. The detection limit is equal to one fungal spore, structure, pollen, fiber particle or insect fragment. \*\*\* Denotes particles found at 300X. "-" Denotes not detected. Due to method stopping rules, raw counts in excess of 100 are extrapolated based on the percentage analyzed. EMSL maintains liability limited to cost of analysis. Interpretation and use of test results are the responsibility of the client. This report relates only to the samples reported above, and may not be reproduced, except in full, without written approval by EMSL. EMSL bears no responsibility for sample collection activities or analytical method limitations. The report reflects the samples as received. When the information supplied by the customer can affect the validity of the result, it will be noted on the report.

Samples analyzed by EMSL Analytical, Inc. Woburn, MA AIHA LAP, LLC-EMLAP Accredited #180179

Initial report from: 07/12/2023 11:53 AM

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**Customer ID:** UEC63  
**Customer PO:**  
**Project ID:**

**Attention:** Ammar Dieb  
 Universal Environmental Consultants  
 12 Brewster Road  
 Framingham, MA 01702

**Phone:** (617) 984-9772  
**Fax:** (508) 628-5488  
**Collected Date:** 07/11/2023  
**Received Date:** 07/11/2023 01:35 PM  
**Analyzed Date:** 07/12/2023

**Project:** Galvin Middle School; Canton, MA

**Test Report: Air-O-Cell™ Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)**

Lab Sample Number:	132304251-0007			132304251-0008			132304251-0009		
Client Sample ID:	7			8			9		
Volume (L):	150			150			150		
Sample Location:	Room 315			Room 320			Room 307		
Spore Types	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total	Raw Count	Count/m <sup>3</sup>	% of Total
Alternaria (Ulocladium)	-	-	-	-	-	-	-	-	-
Ascospores	15	310	24.8	-	-	-	-	-	-
Aspergillus/Penicillium	-	-	-	-	-	-	-	-	-
Basidiospores	37	760	60.8	2	40	50	2	40	100
Bipolaris++	-	-	-	-	-	-	-	-	-
Chaetomium++	-	-	-	-	-	-	-	-	-
Cladosporium	6	100	8	-	-	-	-	-	-
Curvularia	1	20	1.6	-	-	-	-	-	-
Epicoccum	-	-	-	-	-	-	-	-	-
Fusarium++	-	-	-	-	-	-	-	-	-
Ganoderma	-	-	-	-	-	-	-	-	-
Myxomycetes++	3	60	4.8	2	40	50	-	-	-
Pithomyces++	-	-	-	-	-	-	-	-	-
Rust	-	-	-	-	-	-	-	-	-
Scopulariopsis/Microascus	-	-	-	-	-	-	-	-	-
Stachybotrys/Memnoniella	-	-	-	-	-	-	-	-	-
Unidentifiable Spores	-	-	-	-	-	-	-	-	-
Zygomycetes	-	-	-	-	-	-	-	-	-
Nigrospora	-	-	-	-	-	-	-	-	-
<b>Total Fungi</b>	<b>62</b>	<b>1250</b>	<b>100</b>	<b>4</b>	<b>80</b>	<b>100</b>	<b>2</b>	<b>40</b>	<b>100</b>
Hyphal Fragment	1	20	-	-	-	-	-	-	-
Insect Fragment	-	-	-	-	-	-	-	-	-
Pollen	-	-	-	-	-	-	-	-	-
Analyt. Sensitivity 600x	-	21	-	-	21	-	-	21	-
Analyt. Sensitivity 300x	-	7*	-	-	7*	-	-	7*	-
Skin Fragments (1-4)	-	1	-	-	1	-	-	1	-
Fibrous Particulate (1-4)	-	1	-	-	1	-	-	1	-
Background (1-5)	-	1	-	-	1	-	-	1	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.

Steve Grise, Laboratory Manager  
 or other Approved Signatory

No discernable field blank was submitted with this group of samples.

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**Phone:** (617) 984-9772  
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**Project:** Galvin Middle School; Canton, MA

**Test Report: Air-O-Cell™ Analysis of Fungal Spores & Particulates by Optical Microscopy (Methods MICRO-SOP-201, ASTM D7391)**

<b>Lab Sample Number:</b>	132304251-0010		
<b>Client Sample ID:</b>	10		
<b>Volume (L):</b>	150		
<b>Sample Location:</b>	Outside		
<b>Spore Types</b>	<b>Raw Count</b>	<b>Count/m³</b>	<b>% of Total</b>
Alternaria (Ulocladium)	1	20	0.5
Ascospores	23	470	11.2
Aspergillus/Penicillium	33	680	16.3
Basidiospores	37	760	18.2
Bipolaris++	-	-	-
Chaetomium++	-	-	-
Cladosporium	72	1500	35.9
Curvularia	1	20	0.5
Epicoccum	1	20	0.5
Fusarium++	-	-	-
Ganoderma	1	20	0.5
Myxomycetes++	28	570	13.6
Pithomyces++	1	20	0.5
Rust	-	-	-
Scopulariopsis/Microascus	-	-	-
Stachybotrys/Memnoniella	-	-	-
Unidentifiable Spores	4	80	1.9
Zygomycetes	-	-	-
Nigrospora	1	20	0.5
<b>Total Fungi</b>	<b>203</b>	<b>4180</b>	<b>100</b>
Hyphal Fragment	-	-	-
Insect Fragment	-	-	-
Pollen	-	-	-
Analyt. Sensitivity 600x	-	21	-
Analyt. Sensitivity 300x	-	7*	-
Skin Fragments (1-4)	-	1	-
Fibrous Particulate (1-4)	-	1	-
Background (1-5)	-	1	-

++ Includes other spores with similar morphology; see EMSL's fungal glossary for each specific category.

Steve Grise, Laboratory Manager  
 or other Approved Signatory

No discernable field blank was submitted with this group of samples.

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Radon in Air

NELAC NY 11769  
 NRPP 103216 AL  
 NRSB ARL0017

EPA Method #402-R-92-004  
 Liquid Scintillation  
 NRPP Device Code B088  
 NRSB Device Code 12193

Laboratory Report for:

Property Tested:

Universal Environmental Consultant  
 12 Brewster Road  
 Framingham MA 01702

Galvin Middle School  
 55 Pecunit St  
 Canton MA 02021

Log Number	Device Number	Test Exposure	Duration:	Area Tested	Result pCi/L
8393531	4756251	07/11/2023 10:55 am	07/14/2023 10:27 am	First Floor Rcom 107	0.6
8393532	4768472	07/11/2023 11:03 am	07/14/2023 10:22 am	First Floor Cafeteria	0.6
8393533	4775933	07/11/2023 11:04 am	07/14/2023 10:24 am	First Floor Rcom 101	< 0.4
8393534	4775949	07/11/2023 11:08 am	07/14/2023 10:25 am	First Floor Rcom 105	0.4
8393535	4775952	07/11/2023 11:09 am	07/14/2023 10:21 am	First Floor Main Office	0.4

**Comment:** Universal Environmental Consultant was emailed a copy of this report.

Test Performed By: Placed: Sydney Towne Retrieved: Sydney Towne

Distributed by: Universal Environmental Consultant

Date Received: 07/14/2023 Date Logged: 07/14/2023 Date Analyzed: 07/15/2023 Date Reported: 07/17/2023

Report Reviewed By: 

Report Approved By: 

**Disclaimer:**

Shawn Price, Director of Laboratory Operations, AccuStar Labs

The counting uncertainty of this radon measurement is +/- 10%. Factors contributing to uncertainty include statistical variations, daily and seasonal variations in radon concentrations, sample collection techniques and operation of the dwelling. Interference with test conditions may influence the test results.

This report may only be transferred to a third party in its entirety. Laboratory personnel were not involved in the placement or retrieval of the samples. Analytical results relate to the samples as received by the laboratory. Results shown on this report represent levels of radon gas measured between the dates shown in the room or area of the site identified above as "Property Tested". Incorrect information will affect results. The results may not be construed as either predictive or supportive of measurements conducted in any area of this structure at any other time. AccuStar Labs, its employees and agents are not responsible for the consequences of any action taken or not taken based upon the results reported or any verbal or written interpretation of the results.



## 3.1.5 SITE DEVELOPMENT REQUIREMENTS

### Legal Title of Property

The District has legal title to the property. Property Record Deeds for 55 Pecunit Street and 1860 Washington Street attached.

The 14.7-Acre lot, including the Middle School building, entrance drive, parking areas, and athletic fields, is owned by the Town of Canton. Refer to the following assessor's parcel information:

55 Pecunit Street  
Canton, MA 02021  
Owner: Canton Town Of

Building Value: \$24,682,500  
Land Value: \$5,132,400  
Detached Value: \$115,300  
Other Value: \$311,000  
Total Value: \$30,241,200

Assessment data from FY 2023

Lot Size: 14.7 Acres  
Last Sale Price: \$0  
Last Sale Date: 1967/11/20  
Year Built: 1985  
Net Area: 130,356 sq ft  
Building Style: SCHOOL  
Number of Units: 0  
Number of Rooms:

Book, Page: 4475, 557  
Property ID: 64-9

Refer to the following pages for a copy of the deed recorded on December 7, 1962 and the property records of all associated lots.

### Availability of Property for Development

The Town of Canton owns the land and school facilities known as the Galvin Middle School located at 55 Pecunit Street. The property is available for development of a renovated or new school since there would be no change to the existing use. The property encompasses one 14.7-acre parcel of land and has space available for development.

### Development Restrictions Investigation

The design team conducted a thorough investigation of the possible development restrictions of the property as it relates to zoning regulations, natural environment pertaining to topography, soils, wetlands, rare species, and cultural resources, utility and roadway infrastructure, and site planning requirements pertaining to local, state, environmental, and historic requirements. Based on these findings, there are no constraints which prohibit this site from serving as a viable location for a newly constructed school or for renovation with additions of the existing facility.

Key: 5488

Town of Canton - Fiscal Year 2024 Preliminary

10/5/2023

1:56 pm

SEC # 1

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		DESCRIPTION		BN ID		SEC #	
CANTON TOWN OF		64-8		66 PECUNIT ST		100		IMP-EDUCATION		1		1 of 2	
WILLIAM H GALVIN SCHOOL		TRANSFER HISTORY		CANTON TOWN OF		972		09/07/2022		3		ALTERATIONS	
PECUNIT STREET		DOS		T		215		06/23/2014		3		ALTERATIONS	
CANTON, MA 02021		11/20/1997		H		809		10/31/2012		3		ALTERATIONS	
						394		07/10/2008		3		ALTERATIONS	
						398		07/06/2006		3		ALTERATIONS	

CD	T	ACSF/FLN	Nsh	Inf-1	Inf-2	ADJ BASE	SAF	Topo	Lel	VC	CREDIT AMT	ADJ VALUE
L	T03	S	640.332	CM	1.00	100	1.00	100	1.00	C8	1.10	5,132,200

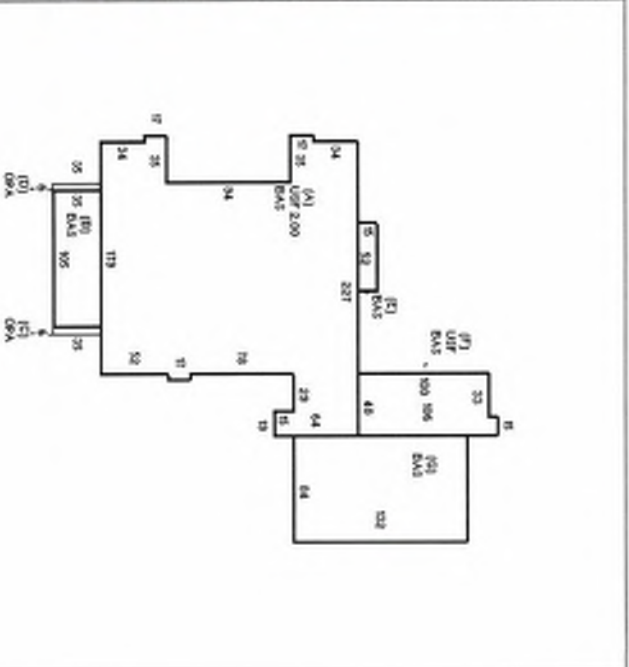
TY	QUAL	COND	DMNOTE	YB	UNITS	ADJ PRICE	RCNLD	PHOTO	DATE
PAV	G	1.20	70	0.30	80,000	2.52	60,500	04/07/2010	
LH1	G	1.20	50	0.50	20	1,928.72	19,300		
LH2	G	1.20	50	0.50	4	3,001.44	6,100		
CM4	A	1.00	50	0.50	750	14.50	5,400		
CM6	A	1.00	50	0.50	800	17.80	7,100		
T	CM6	A	1.00	50	0.50	800	17.80		
A	SHF	G	1.20	30	0.70	80X8	15.68		
C	LH6	G	1.20	50	0.50	4	5,237.52	10,500	
H	LH6	G	1.20	50	0.50	1	11,301.60	5,700	

ASSESSED	CURRENT	PREVIOUS
LAND	5,132,420	5,132,420
BUILDING	24,882,500	24,882,500
DETACHED	115,300	115,300
OTHER	311,000	311,000
<b>TOTAL</b>	<b>30,241,200</b>	<b>30,241,200</b>



PHOTO 04/07/2010  
GALVIN MIDDLE SCHOOL

MODEL	CD	ADJ	CM-5	DESC	MEASURE	LIST	REVIEW	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
96	A	1.00	AVERAGE (100%)	A	4/7/2010	DF	4/12/2010	DF	FOUNDATION	1.00	+	BAS	L	BASE AREA	44,356	1985	255.33	11,325,254
96	A	1.00	AVERAGE (100%)	A	4/7/2010	DF	4/12/2010	DF	EXT. COVER	1.05	+	USF	L	UP-STRY FN	74,912	1985	255.33	19,127,005
96	A	1.00	AVERAGE (100%)	A	4/7/2010	DF	4/12/2010	DF	ROOF SHAPE	0.98	+	OPA	N	OPEN PORCH	420	1985	27.20	11,422
96	A	1.00	AVERAGE (100%)	A	4/7/2010	DF	4/12/2010	DF	ROOF COVER	1.02	G	BAS	L	BASE AREA	11,088	1985	255.33	2,831,058
96	A	1.00	AVERAGE (100%)	A	4/7/2010	DF	4/12/2010	DF	FLLOOR COVER	0.98	ELV	O	PASSGR. ELEV.	1	1985	59,972.90	59,973	



NET AREA	SIZE ADJ	DETAIL ADJ	FOUNDAION	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN
130,356	1985	2,105	FOUNDATION	2	SLAB	1.00	+	BAS	L	BASE AREA	44,356	1985	255.33	11,325,254
\$256	1985	1,050	EXT. COVER	12	BRICK VENER	1.05	+	USF	L	UP-STRY FN	74,912	1985	255.33	19,127,005
			ROOF SHAPE	4	FLATSHED	0.98	+	OPA	N	OPEN PORCH	420	1985	27.20	11,422
			ROOF COVER	11	MEMBRANE	1.02	G	BAS	L	BASE AREA	11,088	1985	255.33	2,831,058
			FLOOR COVER	4	TILE	0.98	ELV	O	PASSGR. ELEV.	1	1985	59,972.90	59,973	
			INT. FINISH	1	PLASTER	1.04								
			HEATING/COOL	9	WARM/COOL AIR	1.00								
			FUEL SOURCE	2	GAAS	1.00								

TOTAL RCN	33,364,712
CONDTN ELEM	CD
EXTERIOR	A
INTERIOR	A
CDNMAP	A
EFF YRAGE	1990 / 31
COND	26 26 %
PLUNC	0
ECON	0
DEPR	26 % GD
RCNLD	\$24,882,500

Key: 5488

Town of Canton - Fiscal Year 2024 Preliminary

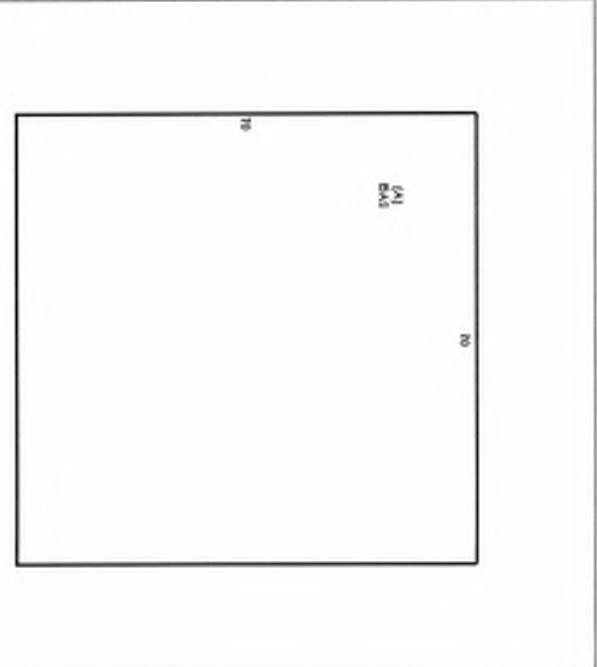
10/5/2023 1:56 pm SEQ # 2

CURRENT OWNER		PARCEL ID		LOCATION	
CANTON TOWN OF WILLIAM H GALVIN SCHOOL		64-9		55 PECUNNT ST	
PECUNNT STREET CANTON, MA 02021		TRANSFER HISTORY		DOS T SALE PRICE BK-PG (Cert)	
CD	T	AC/SF/UN	Nsh	Inf-1	Inf-2
				ADJ BASE	SAF
				Topo	Ln
				VC	CREDIT AMT
					ADJ VALUE

TY	QUAL	COND	DIMANOTE	YB	UNITS	ADJ PRICE	RCNLD
Nsh							
Inf-1							
Inf-2							
TOTAL							
				ZONING	FRNT	ASSESSED	CURRENT
				LAND BUILDING DETACHED OTHER		311,000	PREVIOUS
				TOTAL			



PHOTO 04/07/2010



BUILDING	CD	ADJ	DESC	MEASURE	LIST	REVIEW
MODEL	5	0.80	CLASSROOMS (100%)			
STYLE	97	0.70	LOW COST (100%)			
QUALITY	L	1.00	WOOD FRAME (100%)			
FRAME	1	1.00	WOOD FRAME (100%)			

YEAR BLT	1990	SIZE ADJ	1,000	ELEMENT	CD	DESCRIPTION	ADJ	S	BAT	T	DESCRIPTION	UNITS	YB	ADJ PRICE	RCN	TOTAL RCN	499,172
NET AREA	4,900	DETAIL ADJ	0.782	FOUNDATION	1	PIER	1.00	A	BAS	L	BASE AREA	4,900	1990	83.50	409,172		
SHAIRCN	\$94	OVERALL	1,050	EXT. COVER	2	CLAPBOARD	1.00										
				ROOF SHAPE	4	FLATSHED	0.98										
				ROOF COVER	10	METAL	1.00										
				FLOOR COVER	3	WW CARPET	1.00										
				INT. FINISH	2	DRYWALL	1.00										
				HEATING/COOL	9	WARM/COOL AIR	1.00										
				FUEL SOURCE	2	GAS	1.00										
STORIES	1																
% HEATED	100																
% AIR COND	100																
% SPRINKLER	0																

COND	24	24	%
FLINC	0		
ECON	0		
DEPR	24	% GD	76
RCNLD			\$311,000



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COMMONWEALTH OF MASSACHUSETTS

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NORFOLK, SS

TOWN OF CANTON

TAKING BY Eminent Domain  
FOR SCHOOL PURPOSES.

At a meeting of the Board of Selectmen of the Town of Canton held November 18, 1967, on motion duly made and seconded, the following order was unanimously adopted:

**ORDERED:** Pursuant to the authority given by vote of a Town Meeting duly called and held on October 9, 1967, in accordance with the provisions of law applicable thereto and acting under authority of Article 2 of the Warrant for said Meeting; and by virtue of every other power and authority us hereto enabling, the undersigned Selectmen being a majority and all of the Board of Selectmen of the Town of Canton duly alerted, qualified and acting as such, and in the exercise of the power vested in us as the Board of Selectmen duly authorized to act as such by vote of the Town of Canton, have taken in fee simple and do hereby take in fee simple by right of Eminent Domain under Chapter 79, General Laws, Ter. Ed., the following described parcels of land for school purposes, and an appropriation of money was made for said purpose as will more fully appear by reference to the enabling vote, an attested copy of which is annexed hereto:

**PARCEL 1.** The land in Canton, Norfolk County, Massachusetts located off the northeasterly side of Pecunia Street and shown as Parcel 1 containing 9½ acres, more or less, on a plan to be recorded herewith and entitled: "Plan of Land in Canton, Mass To Be Acquired For School Purposes," dated June 30, 1967, by J. Edward Embler, C. E., Superintendent of Public Works.

**PARCEL 2.** The land in Canton, Norfolk County, Massachusetts located off the northeasterly side of Pecunia Street and shown as Parcel 2 containing 10 acres, more or less, on said plan dated June 30, 1967.

**PARCEL 3.** The land in Canton, Norfolk County, Massachusetts on the northeasterly side of Pecunia Street and shown as Parcel 3 containing 8½ acres, more or less, on said plan dated June 30, 1967.

EUGENE J. DALLIGAN  
ATTORNEY AT LAW  
1110 WASHINGTON STREET  
MASTON, MASS

See # 10184 1967

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 O F F I C I A L                                      O F F I C I A L  
 C O P Y    C O P Y

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2.

PARCEL 1, The land in Canton, Norfolk County, Massachusetts on the north-  
 easterly side of Pecuit Street and shown as Parcel 1 containing 7½ acres,  
 more or less, on said plan dated June 30, 1967.

This taking includes all trees, walks, fences and structures on the pre-  
 mises above described.

And we determine and award as damages sustained by the respective persons or  
 corporations by reason of this taking the following amounts:

PARCELS NO.	OWNER	AMOUNT
1 and 2	Bickeman Construction Corp.	\$15,000.00
	Subject to the following recorded interests:	
	a. Norwood Cooperative Bank, Mortgage; (Mortgage dated January 11, 1945, Norfolk Deeds Book 2522, Page 328)	
	b. Norwood Cooperative Bank, Mortgage; (Mortgage dated August 9, 1950 Norfolk Deeds Book 2935, Page 500)	
	c. Joseph DeFazio and Rose DeFazio, Mortgagees; (Mortgage dated November 17, 1963 Norfolk Deeds Book 1309, Page 75)	
	d. David Malcomson, Trustee of the Sandy Realty Trust, Mortgagee (Mortgage dated March 26, 1966 Norfolk Deeds Book 1158, Page 30)	
	Tax allowance under the provisions of General Laws (Ter. Ed.) c. 79, sec. 12:	120.00
3	Thomas Columbo TAX allowance under the provisions of General Laws (Ter. Ed.) c. 79, sec. 12:	 \$15,000.00 120.00
4	Ruth M. Draper TAX allowance under the provisions of General Laws (Ter. Ed.) c. 79, sec. 12:	 \$19,575.00 3.00

The ownership of said parcels of land is supposed to be as herein stated,  
 but the aforesaid parcels are taken for the said purpose whether or not the  
 ownership is as herein stated.

EUGENE J. CALLAHAN  
 ATTORNEY AT LAW  
 11 WASHINGTON STREET  
 CANTON, MASS.

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In awarding damages we have awarded them to the persons or corporations believed to be the owners of the parcels, but in case the name of any owner is incorrectly stated, our award is made to the legal owner or owners of said parcels of land and all persons and corporations having any right, title or interest therein as their respective interests may appear.

No betterments are to be assessed for the improvements for which this taking is made.

We direct that this Order of Taking be filed in the office of the Town Clerk of the Town of Canton and that notice be given to every person and/or corporation whose property has been taken or who is otherwise entitled to damages on account of this taking, and that said persons and/or corporations and each of them be notified of the time within which they may petition the Superior Court to determine their damages in accordance with the provisions of Chapter 79 of the General Laws (Ten. Ed.) and we further direct that a duplicate original or a certified copy of this taking, signed by us, together with said plan dated June 30, 1967 be recorded in the Norfolk Registry of Deeds within the time required by law.

WITNES our hands and the seal of the Town of Canton at Canton aforesaid, this 15th day of November, 1967.

*Richard B. Egan*  
Richard B. Egan

*Henry B. Hampson*  
Henry B. Hampson

*Harold J. Fitzgerald*  
Harold J. Fitzgerald

SELECTORS OF THE TOWN OF CANTON

ERNEST J. GALLAGHER  
ATTORNEY AT LAW  
616 WASHINGTON STREET  
CANTON, MASS.

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OFFICIAL RECORDS OF THE COMMONWEALTH OF MASSACHUSETTS  
560 CHAMPLAIN COP. TOWN, NOVEMBER 18, 1967

Then personally appeared Richard B. Hegley, Henry S. Hampson and Harold J. Fitzgerald, known to me to be the duly elected, qualified and acting Selectmen of the Town of Canton, and acknowledged the foregoing instrument to be the free act and deed of the Town of Canton, before me.

*Virginia J. Sullivan*  
Notary Public

My commission expires November 29, 1967



5

November 18, 1967

I, Maurice E. Kenayne Jr., Town Clerk of the Town of Canton, do hereby certify that at a Special Town Meeting of the Town of Canton, duly called, warned, and held the ninth day of October, 1967, the following vote was adopted under Article 2 of the Warrant for said meeting:

Article 2. To see if the town will vote to raise and appropriate, by borrowing, transferring from available funds or otherwise, a sum of money for the purpose of acquiring, by eminent domain or otherwise, approximately thirty-five (35) acres of land off the easterly side of Pecunit Street, Canton, Massachusetts, shown as Parcel 1 containing 9.50 acres, more or less, Parcel 2 containing 10 acres, more or less, Parcel 3 containing 8.25 acres, more or less, and Parcel 4 containing 7.25 acres, more or less, on a plan entitled: "Plan of Land in Canton, Mass., To Be Acquired For School Purposes," dated June 30, 1967, by J. Edward Sumbay, C. E., on file in the office of the Department of Public Works, said land to be used for school construction purposes; or take any other action in relation thereto.

VOTED: That this article be adopted and that the Selectmen are hereby authorized and directed to acquire by eminent domain or otherwise, for school construction purposes, the following parcels of land shown on the plan described in this article: Parcel 1 containing 9.50 acres, more or less, Parcel 2 containing 10 acres, more or less, Parcel 3 containing 8.25 acres, more or less, and Parcel 4 containing 7.25 acres, more or less.

That the sum of \$125,175 be appropriated for the above described purpose, and that to meet said appropriation the sum of \$68,900 be transferred from the "Acquiring Land On Pecunit St. For Elementary School" account (appropriated under Article 61 of the warrant for the 1967 annual town meeting), that the sum of \$611.27 be transferred from the "Building and equipping an addition to the Dean G. Lucas School" account, that \$63.73 be transferred from the "Building, Equipping and Furnishing New Elementary School" account, and that the Treasurer, with the approval of the Selectmen, be, and hereby is, authorized to borrow the sum of \$56,000 and to issue notes therefor, said note to be payable in accordance with Chapter 84 of the General Laws, so that the whole loan will be paid in not more than two (2) years from the date of issue of the first note or at such earlier times as the Treasurer and Selectmen may determine.

A true copy, ATTEST:

*Maurice E. Kenayne Jr.*  
Town Clerk

Recorded Nov. 20, 1967 at 2h. 59m. P.M.



## Historic Relevance

According to the Massachusetts Historical Commission (MHC), William H. Galvin Middle School is not listed on the National Register of Historic Places and does not appear in the Massachusetts Cultural Resource Information System (MACRIS). Refer to the pop-up window below when the property 55 Pecunit Street, Canton is searched within the database.

Although the property is not listed on either of these databases, it may not preclude it from review by the Massachusetts Historical Commission.

Per 950 CMR 71.00, any project that is undertaken by a local government that seeks the provision of the financial assistance by a state body (MSBA) is required to submit a "Project Notification Form".

As part of this process, either the state body or the local government is required

to provide a notice to the Massachusetts Historical Commission (MHC) of the project. After the receipt of notice, the MHC will review any adverse effects, direct or indirect, from the proposed project on any property listed in the State Register of Historic Places. If the MHC determines that a project will have an adverse effect on a State Register property, the MHC, the state body, and the local government will consult to discuss ways to eliminate, minimize, or mitigate the adverse effects. The local government must adopt all prudent and feasible means to eliminate, minimize, or mitigate the adverse effects.

The Project Notification Form will be completed during the Schematic Design phase of the process once a proposed project direction has been identified.

### Search Results per the MHC MACRIS Database:

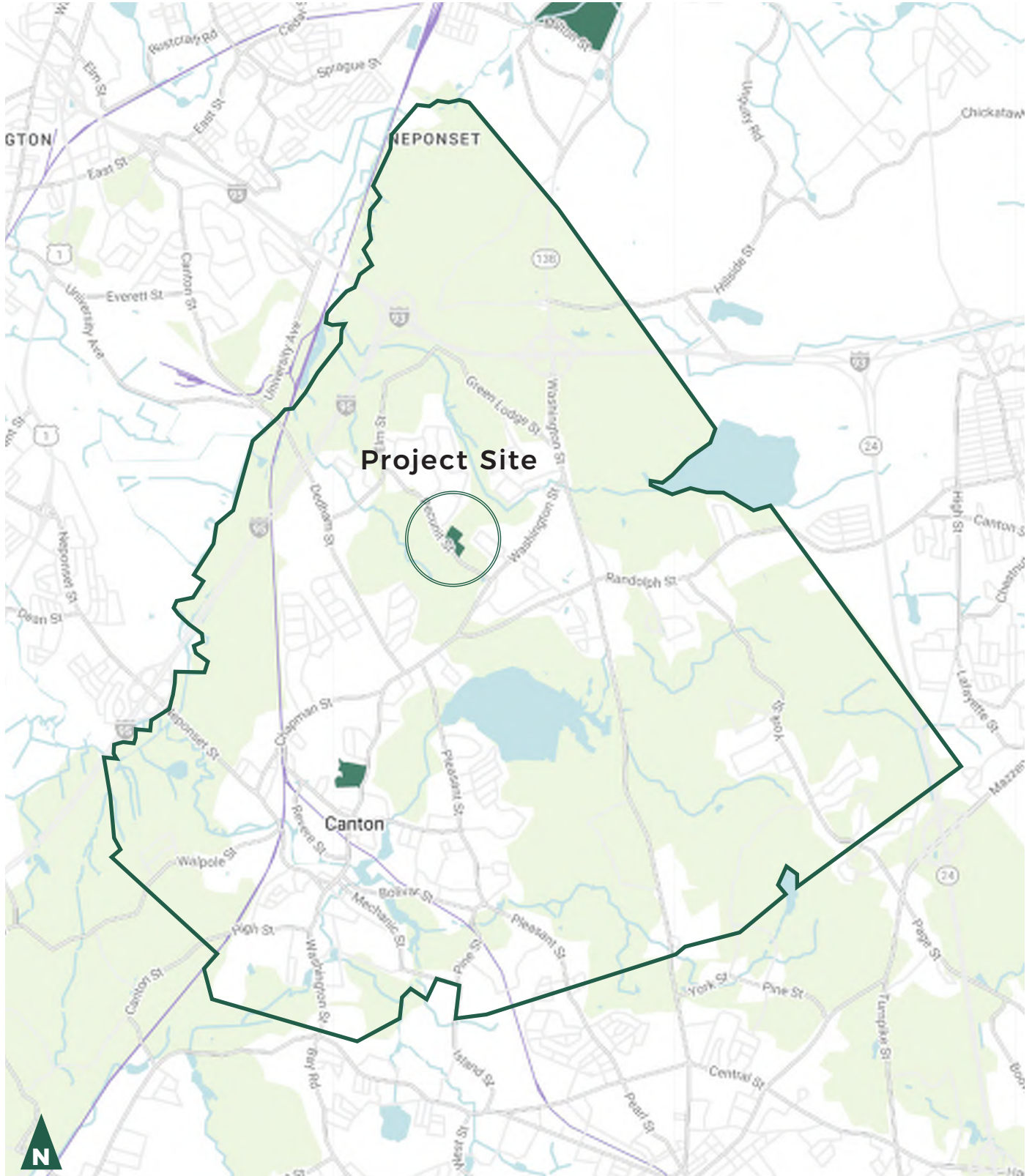
mhc-macris.net says

No properties found for the street [Pecunit] and street number [55].

Would you like to try without the street number?

*William H. Galvin Middle School is not listed on the National Register of Historic Places and does not appear in the Massachusetts Cultural Resource Information System (MACRIS).*

# SITE DEVELOPMENT



# Site Analysis Narrative

## School Location

The school property is located at 55 Pecunit Street in Canton Massachusetts. The site currently includes Galvin Middle School, associated parking, roadways, basketball courts, a playground and open field space for athletic fields. The property borders wetlands to the north and east, with residential neighborhoods to the east and northwest. Lieutenant Peter M. Hansen School is located on the site to the east. In between the school is an outdoor skating rink, playground and is the William E. Duggan field, used for baseball. The site is approximately 20.3 acres. The Cole-Harrington Kindergarten

Enrichment Center is also located on site adjacent to the middle school. The Middle school currently includes grades 6-8 with approximately 740 students and approximately 127 staff members.

## Site Circulation

The main entrances to the site are located off of Pecunit Street. Currently there are 14 buses which use an entrance north of the middle school for entry and egress to and from Pecunit Street. Buses will use an existing road loop to drop off and stack at the school entrance. Cars will also enter and exit the site using the entrance just south of the existing middle



Circulation Diagram



## SITE DEVELOPMENT

school. Stacking for cars begins at the main entrance drive and extends around the main parking lot located south of the middle school. There is a small percentage of students who bike to school, and also a population that will walk to school using an existing path system extending from surrounding neighborhoods. The path system also connects to the adjacent elementary school. Parking is broken up into two lots. The main, larger parking lot is located at the front of the school, while a smaller parking lot is located behind the school on the west side. The bike lanes on Pecunit were recently removed due to safety concerns.

### **Fire Access**

A paved road connects the both entry points to the site. There is a paved road which supports deliveries and service at the rear of the school and is accessed from the northern entry point off of Pecunit Street. These roads can also be accessed by emergency vehicles. The west side of the school includes a wide pedestrian path with potential for emergency vehicles to access if necessary.

### **Pedestrian Access**

Pedestrian access to the site is located on Pecunit Street just north of the baseball field. This paved walkway extends to the parking lot and middle school. Other paths connect to the elementary school and to Surrey Lane which is located in the neighborhood to the northeast of the middle school. Non-paved walkways exist at the northern most part of the site within the existing woodlands. These walkways also connect to the surrounding neighborhoods. Students utilize all of these walkways for circulation to school

and for recreational use of the open space and athletic fields. An outdoor classroom also connects to these walkways to the northeast.

### **Service/Maintenance**

Currently on site, there is (1) dumpster located to the rear of the school. A storage shed is located to the rear of the school near the open space. This structure houses controls for the existing irrigation system. A loading dock is located to the rear of the school and on the west side.

### **Maintenance**

Landscape Maintenance is managed by a combination of school staff including (4) custodians and DPW. Snow removal is done by the school.

### **Outdoor Spaces and Learning Areas**

Currently there is one outdoor learning area. This space is located at the northeast corner of the site within the existing wooded area. The area includes wooden benches and a teaching board. The area is approximately 30+ years old and is not maintained nor fully accessible. Additional outdoor classrooms are desired around the school and shall be accessible by all. There is also opportunity to expand on the existing trail system. Two basketball courts are located to the northwest along with a playground. A hockey rink, skate park, baseball field and playground are located to the west of the middle school. The open lawn space located at the main entry to the site off Pecunit has a large grass hill used for a water slide and sledding.

## SITE DEVELOPMENT

**Fields**

Fields include large open spaces and are used for sports by the school and town, most notably soccer. Please refer to the diagram below. The town youth soccer league currently uses the space for 7 vs 7, 11 vs 11 games and include ages kindergarten through 8th grade. The spaces are heavily used during the fair-weather months. Fields to the north of the middle school do become saturated and cause stability issues during games. The field is located within a floodplain and surrounded by wetland on multiple sides. This space currently fits an approximately 180'x300' foot soccer field locally known

as "Galvin upper" and is orientated north-south. The southern field area is known as "Galvin southern" and currently fits an approximately 180'x120' sized soccer field and is oriented east-west. Multiple smaller fields area also striped. No field striping is permanent and no field lighting exist currently. Both fields are currently irrigated. No sub-surface drainage was observed for any fields on site. Both fields show acceptable grass for playing with some patchy/brown areas. Some areas along the south and west side of Galvin upper show ponding from previous rain storm, which may indicate grading issues. The slope areas to the east are used for town activities such as water slides.



Athletic Fields Diagram

## SITE DEVELOPMENT

### **Natural Environment**

#### **Topography:**

The site generally slopes from Pecunit Street towards the northeast portion of the site. The highest elevation (elevation +/-130) is in the southeast corner of the property. The lowest elevation (elevation +/-55) is in the northeast corner of the parcel. In front of the school, the site slopes steeply from Pecunit Street onto the property. This characteristic could indicate the presence of rock and ledge.

#### **Soils:**

Existing soils were evaluated based on the USDA Natural Resource Conservation Service Web Soil Survey. Below is a description of the soils that are shown throughout the Site as shown on the NRCS Soil Survey. Test pits and final geotechnical borings will be required to determine soil conditions and groundwater elevations below proposed structures prior to final design.

The majority of the on-site soils in the assumed development are classified as either Urban land (Map Unit 602) or Udorthents, sandy (Map Unit 653). Both soil types indicate the presence of fill material. Minor components of Freetown much, 0 to 1 percent slopes (Map Unit 52), Hinckley loamy sand, 3 to 8 percent slopes (Map Unit 245B), Hinckley loamy sand, 15 to 35 percent slopes, and Canton fine sandy loam, 3 to 8 percent slopes are also present. The minor components are primarily in the wooded areas beyond developed portion of the site.

For purposes of stormwater infiltration, we recommend soil evaluations along the north and east side of the existing Middle School building where areas are available for typical infiltration practices.

Per the Town's Master Plan, portions of the site are classified as farmland of statewide importance. This does not cause any use restrictions or additional permitting. This classification is a potential indicator of good on-site soils.

#### **Wetlands:**

Record documents indicate the presence of wetlands in the northeast corner of the parcel. On-site wetland flagging performed by a wetland scientist identified wetland resource areas in the northern portion of the site as well in the east (beyond the assumed limits of development). Buffer zones associated with the eastern wetland could extend into the assumed development area. A small pocket of wetland area was also identified in front of the existing school adjacent to the main parking area. Any work in the wetlands or within 100-ft of the wetlands will fall in the jurisdiction of the Conservation Commission and DEP. Local regulations do not impose more stringent buffer zones than the State regulations.

The northern portion of the site is also within the floodplain. Work within the floodplain falls within the jurisdiction of the Conservation Commission and DEP. Filling in the floodplain results in a loss of available flood storage. The site design would need to include compensation for this loss should filling occur. The floodplain has been studied, meaning that the flood elevations have been determined. On-site field survey will verify the true extents of the floodplain.

#### **Rare Species & Cultural Resources:**

After review of the MassGIS certified and potential vernal pools layers, the Site does not appear to have potential or

# SITE DEVELOPMENT



Figure indicating the delineated wetlands on the Galvin Middle School site

## SITE DEVELOPMENT

certified vernal pools as defined by the Natural Heritage and Endangered Species Program (NHESP). If it is determined in an environmental review that a vernal pool exists, the local regulations require a 100-foot No-Disturbance Zone around the upland area edge or the wetland area edge that encompasses the vernal pool.

### **Infrastructure**

#### **Roadways and Parking Lots:**

Galvin Middle School is accessible via two (2) two-way driveways from Pecunit Street. The southern driveway serves as primary access to the main parking area

and it also used for vehicular drop-off and pickup. The northern driveway serves as primary access to the secondary parking area, the Cole-Harrington Kindergarten, and maintenance area in the rear of the building. Painted arrows provide site circulation for portions of the site. Bus drop-off and pickup occurs via the northern driveway as well.

Pecunit Street has paved sidewalks along the frontage in southern portion of the site in front of the Hansen School, but these walks do not extend along the frontage of the presumed development area from the southern access driveway to the northern access driveway. On-site



*Sidewalk approach to main entrance*



*Existing loading area*



*Existing site entrance drive with no curbing*



*Existing site driveway and main parking area*

## SITE DEVELOPMENT

sidewalks extend from Pecunit Street to doorways at the Galvin Middle School and Cole-Harrington Kindergarten. Crosswalks with exits across both driveways along Pecunit Street. The southern driveway has accessible ramps with warning panels on either side. Crosswalks also exist from the main parking area to the sidewalk leading to the school, near the bus loop, and across an internal driveway from a northern on-site sidewalk to the school. None of the interior crosswalks have accessible ramps with warning panels.

The site has a total count of 148 vehicles in 2 parking areas, Distribution is shown in the table below.

Location	Parking Stalls Count
Main Lot (west)	129
North Lot	16
Bus Loop	3
TOTAL	148

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# Site Utilities Narrative

## Utilities

The existing conditions utility information was found using aerial imagery and readily available record documents. Future development options would require that the existing utilities be verified, located and included in design plans.

## **Sewer**

According to readily available Town sewer maps, sewer pipes enter the site perpendicularly from the south collect sewage from the schools and neighborhoods to the east and west of the site and continues to flow north through the wetlands to the north. There is no sewer in Pecunit Street. Pipe sizes transition between 12", 8", and 10" mains as the pipes travel from south to north. Preferably, pipe sizes do not reduce and then increase in size further downstream again. DPW should be consulted to determine if there are any known sewer issues. A new school building located between the two on-site schools may cause the need to reroute the existing sewer infrastructure. The Town does not have a sewer treatment facility and is on the MWRA system.

## **Water**

Readily available water maps are not available. The Town's Master Plan indicates that the Town has seven groundwater wells, two booster pump stations, five water storage facilities, and two water treatment facilities. The nearest well is located on Charles Drive approximately 0.25-miles from the site. Based on hydrant locations it does not appear that water mains are located in Pecunit Street. In 2018, the last

year listed in the Master Plan, Canton received 62% of its water from the MWRA with the remainder supplied from the Town wells.

## **Drainage**

Record documents and survey show approximately ten (10) catch basins throughout the developed portion of the Galvin Middle School site. The closed drainage system appears to discharge into the on site wetland areas delineated in front of the school and to the north and northwest of the school building. It is unknown if the current drainage system provides any treatment for total suspended solids (TSS). The proposed drainage system will generally follow the existing drainage patterns. In addition to providing adequate stormwater conveyance for the proposed development, the drainage system will implement measures to attenuate the site runoff and match existing peak runoff values. The system will need to address water quality by removing 80% of total suspended solids, which can be accomplished with a combination of deep sump catch basins, hydrodynamic separators, and bio-retention. All site drainage will be designed to meet the Massachusetts Department of Environmental Protection stormwater standards and any Town of Canton drainage requirements.

## **Gas**

Eversource Energy is the supplier of natural gas to the Town of Canton. At this time, the location of existing gas facilities has not been confirmed. The availability of gas service, capacity of existing service, and required demand of the proposed new school will need to be confirmed as the design progresses. All improvements will be coordinated with National Grid.



### **Electric**

Eversource Energy is the supplier of electricity to the Town of Canton. Electricity appears to be supplied below ground. Future development options would require that the existing system be located and analyzed for capacity and the need for a new transformer should be evaluated prior to finalizing site plans. Coordination should occur with Eversource Energy regarding any service improvements.

### **Telecommunications**

At this time, the location of existing telecommunications lines are unknown and will need to be confirmed as the design progresses. Future development options would require that the existing system be located and analyzed for applicability to current needs. Coordination should occur with the Canton Public Schools Information Technology Officer and the relevant telecommunication companies regarding any service improvements.

## Site Permitting Narrative

The existing Galvin Middle School building was constructed in 1971.

The site, located in the Ponkapoag neighborhood, is approximately 20.3 acres in size and contains the William H. Galvin Middle School, Cole-Harrington Kindergarten Enrichment Center, and the Lieutenant Peter M Hansen Elementary School. The building is located at 55 Pecunit Street (Tax Map 64 Lot 9) in Canton, Massachusetts and is bounded by wooded areas to the north and west and grassed play fields to the east and south. Paved surface parking areas are located south of the school building and to the west of the building. Two driveway connections to Pecunit Street provide access to the site.

The site is bounded by Pecunit Street to the south, residential properties to the east and west, and wooded areas to the north. The Galvin Middle School structure is located in the western portion of the site, Cole-Harrington is adjacent to the northern portion of the Middle School, and the Hansen Elementary School is in the eastern part of the site. In addition to the on-site playing fields, the site also contains an outdoor skating rink, baseball field, two basketball courts, outdoor play space, and sidewalks connecting to Pecunit Street.

### Zoning Regulations

According to the "Zoning Map of Town of Canton Massachusetts" with revisions through March of 2002, the majority of the site, and the entirety of the Galvin School assumed development area, is located in the Single Residence A district (SRA) zoning district. Educational facilities require a special permit from the Board of Appeals in this district. Portions of the site are also within the Town's

Groundwater Protection Overlay District (GPOD) and the Flood Hazard Overlay District (FHOD). The GPOD is associated with the buffer zone extending from the municipal well located on Charles Drive. The FHOD is associated with flood hazard areas identified on the FEMA flood maps. The eastern portion of the site, which is presumed to be beyond the limits of the middle school project, is in the Single Residence B (SRB) zoning district. Educational uses in this zone require a special permit from the Board of Appeals as well.

Single Residence A District	
Min. Lot Size in Sq. Ft.	30,000
Min. Non-wetland Area in Sq. Ft.	20,000
Lot width in Ft.	150
Frontage & frontage lot width in Ft.	100
Max. Height in Stories	N/A
Max. % of Lot Coverage	25%
Min. Front Yard Depth in Ft.	40
Min. Side Yard Depth in Ft.	20
Min. Rear Yard Depth in Ft.	35

Single Residence B District	
Min. Lot Size in Sq. Ft.	15,000
Min. Non-wetland Area in Sq. Ft.	12,000
Lot width in Ft.	115
Frontage & frontage lot width in Ft.	100
Max. Height in Stories	N/A
Max. % of Lot Coverage	25%
Min. Front Yard Depth in Ft.	30
Min. Side Yard Depth in Ft.	15
Min. Rear Yard Depth in Ft.	35

## SITE DEVELOPMENT

The parking capacity requirements for schools as a “place of public assembly” in the Canton Zoning By-Laws are one (1) parking space for each two (2) seats; where no fixed seats are used (as in a terminal or dance hall) each twenty (20) square feet of public floor area shall equal one seat. “Place of public assembly” is the most applicable principal use category in the Zoning By-Laws, however, additional coordination with the Town is required to confirm the appropriate required parking capacity. The current Middle School has parking for approximately 148 vehicles within two (2) parking areas. Seven (7) spaces are either designated as accessible spaces or adjacent to striped accessible loading zones. Four (4) spaces are in close proximity to entrances on the western side of the building. Three (3) spaces are located along the bus loop near the main entrance.

The Canton Zoning By-Laws includes dimensional requirements for parking areas including parking space sizes, aisle widths, etc. For parking areas with twenty (20) or more spaces, a landscaped area of at least five (5) percent of the total interior parking lot area shall be provided. For parking areas with fifty (50) or more spaces, access drives bounded by granite or concrete curbing shall be provided.

### **Site Planning Requirements**

#### **Canton Board of Appeals:**

Required for any new building. Submission is sent to the Board of Appeals and is reviewed by the Planning Board. The Board of Appeals issues the final decision.

#### **Canton Conservation Commission:**

Work within wetlands and/or associated buffers and/or floodplain

triggers the need for permitting with the Conservation Commission.

#### **Groundwater Protection Overlay District**

Portions of the site are located in the Town’s Groundwater Protection Overlay District. The District corresponds with the Zone II well radius associated with the well on Charles Drive. Increasing impervious surface on the site in the District triggers the need for a special permit from the Board of Appeals.

#### **Flood Hazard Overlay District**

Portions of the site are located in the Town’s Flood Hazard Overlay District. The District corresponds with the FEMA floodplain mapping. Work in the flood zone triggers the need for a special permit from the Board of Appeals.

#### **Use Special Permit**

An educational use is permitted in the SRA zone through the receipt of a special permit from the Board of Appeals

#### **Massachusetts Environmental Policy Act (MEPA):**

It is not anticipated that any proposed construction activity at the site will trigger MEPA review.

#### **Massachusetts Department of Environmental Protection (MassDEP):**

MassDEP will review and comment on Notice of Intent applications filed with the local Conservation Commission.



# Site Aerial Survey

## Summary

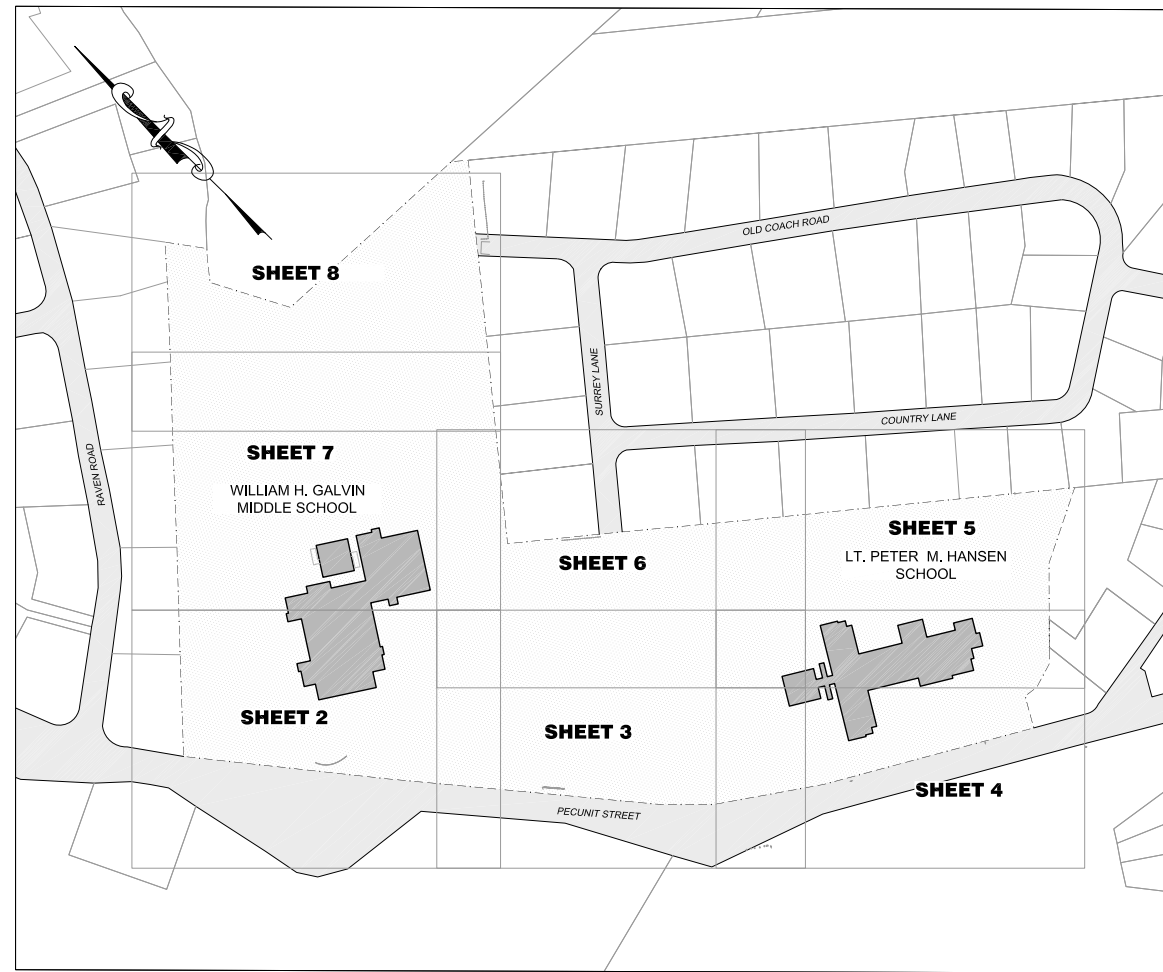
Ai3 Architects, LLC secured the services of Welch Associates Land Surveyors, Inc., in association with the Vertex Companies, to conduct a digital mapping survey of the Galvin Middle School site located on 55 Pecunit Street in Canton, Massachusetts. Surveying of the building and its materials occurred in September of 2023.

Given its acreage, the site is divided into eight parcels of varying data. Refer to the following foldout pages for the full survey.

## Site Aerial Survey

page 1

# WILLIAM H. GAVLIN MIDDLE SCHOOL & LIEUTENANT PETER M. HANSEN SCHOOL 55 PECUNIT STREET



**KEY MAP**  
SCALE: 1"=150'  
**not to scale**

**NOTES:**

1. THE ELEVATIONS SHOWN ON THIS SURVEY ARE BASED ON NAVD 88 DATUM AND WERE GENERATED VIA RTK GPS SURVEY MEASUREMENTS MADE USING LEICA GS18 RECEIVERS IN CONJUNCTION WITH THE SMARTNET NORTH AMERICA RTK NETWORK.
2. THE COORDINATES SHOWN ON THIS SURVEY ARE BASED ON THE MASSACHUSETTS STATE PLANE COORDINATE SYSTEM - MAINLAND ZONE 2001 AS REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83). THE COORDINATES WERE GENERATED VIA RTK GPS SURVEY MEASUREMENTS MADE USING LEICA GS18 RECEIVERS IN CONJUNCTION WITH THE SMARTNET NORTH AMERICA RTK NETWORK.
3. SITE IMPROVEMENTS & TOPOGRAPHY SHOWN HEREON ARE BASED ON AERIAL MAPPING PREPARED BY EASTERN TOPOGRAPHICS USING DIGITAL TERRAIN MODELING (DTM) METHODS WITH KLI ATLAS SOFTWARE. BUILDING OUTLINES REPRESENT PERIMETER ROOF LINES. WITH THE EXCEPTION OF LABELING OF SITE FEATURES, NO FIELD EDITING OF THE AERIAL MAPPING WAS PERFORMED BY WELCH ASSOCIATES LAND SURVEYORS, INC..
4. TRAVERSE POINTS & CONTROL POINTS USED FOR AERIAL MAPPING ARE BASED ON AN ON-THE-GROUND INSTRUMENT SURVEY PERFORMED BY WELCH ASSOCIATES LAND SURVEYORS, INC. BETWEEN MONTH XX, XXXX & MONTH XX, XXXX.
5. PROPERTY & STREET LINES SHOWN HEREON ARE TAKEN FROM MASS GIS, ARE APPROXIMATE, AND ARE SHOWN FOR REFERENCE/ORIENTATION ONLY. WELCH ASSOCIATES LAND SURVEYORS, INC. HAS NOT PERFORMED A PROPERTY LINE RETRACEMENT AS PART OF THIS SURVEY.
6. CIRCLED LOT NUMBERS ARE TOWN OF CANTON ASSESSOR'S LOT IDENTIFICATION NUMBERS.
7. AS DELINEATED ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR COMMUNITY NO. 250235 PANEL NO. 0002 B WITH AN EFFECTIVE DATE OF JUNE 4, 1987, SUBJECT PROPERTY IS PARTIALLY LOCATED WITHIN:
  - FLOOD ZONE X (OTHER AREAS)
  - SPECIAL FLOOD HAZARD AREAS (ZONE AE-BASE FLOOD ELEVATIONS DETERMINED)
8. THIS PLAN IS COPYRIGHT PROTECTED. IT IS A VIOLATION OF COPYRIGHT LAWS TO EDIT THIS PLAN AND CONTINUE TO REPRESENT IT AS THE ORIGINAL WORK OF WELCH ASSOCIATES LAND SURVEYORS, INC.. IT IS ALSO A VIOLATION OF COPYRIGHT LAWS FOR ANYONE TO REPRESENT THIS PLAN AS THEIR OWN ORIGINAL WORK, WITH OR WITHOUT EDITING.

**LEGEND**

APPROX	APPROXIMATE
BCB	BITUMINOUS CONCRETE BERM
BCC	BITUMINOUS CONCRETE CURB
BCD	BITUMINOUS CONCRETE DRIVE
BCW	BITUMINOUS CONCRETE WALK
BIT CONC	BITUMINOUS CONCRETE
CLF	CHAIN LINK FENCE
CNC	CONCRETE
CNCR	CONCRETE RAMP
CNCS	CONCRETE STEP
CNCW	CONCRETE WALK
CPD	CONCRETE PAD
CRW	CONCRETE RETAINING WALL
DMH	DRAIN MANHOLE
DYL	DOUBLE YELLOW LINE
ELEC	ELECTRIC
EMH	ELECTRIC HAND HOLE
EP	EDGE OF PAVEMENT
GC	GRANITE CURB
GRNT	GRANITE
GW	GUY WIRE
ICB	IRRIGATION CONTROL BOX
ICV	IRRIGATION CONTROL VALVE
MHR	METAL HANDRAIL
OHANG	OVERHANG
OHW	OVERHEAD WIRES
OBS	OBSCURED
PA	PLANTED AREA
SRW	STONE RETAINING WALL
S	SIGN
SMH	SEWER MANHOLE
SWL	SINGLE WHITE LINE
SYL	SINGLE YELLOW LINE
TRANS	TRANSFORMER
TWS	TACTILE WARNING STRIP
TYP	TYPICAL
UC	UNDERGROUND
UCG	UNDERGROUND CONDUIT
USE	UNDERGROUND ELECTRIC
UNK	UNKNOWN
UP	UTILITY POLE
XX* C	CONIFEROUS TREE
XX* D	DECIDUOUS TREE

**LEGEND**

CB	CATCH BASIN
FH	HYDRANT
FP	FLAG POLE
LP	LIGHT POLE
MH	MANHOLE
S	SIGN
UP	UTILITY POLE
MN	TRAVERSE POINT (MAG NAIL)
RBP	TRAVERSE POINT (REBAR W/PUNCH)
TS	TRAFFIC SIGNAL
SBDH(FD)	STONE BOUND DRILL HOLE(FOUND)
SBBC(FD)	STONE BOUND/BACK CENTER(FOUND)
RRS(FD)	RAILROAD SPIKE(FOUND)
CBDH(FD)	CONCRETE BOUND DRILL HOLE(FOUND)

DATE \_\_\_\_\_

PAMELA M. WELCH AS AGENT FOR WELCH ASSOCIATES LAND SURVEYORS, INC.  
REGISTRATION NUMBER 36129

SHEET 1 OF 9

**WELCH**  
Associates Land  
Surveyors, Inc.  
218 North Main Street  
West Bridgewater, MA 02379  
(508) 590-4696  
WWW.WELCHINC.COM

**AERIAL MAPPING SURVEY**  
WILLIAM H. GALVIN MIDDLE SCHOOL  
& LT. PETER M. HANSEN SCHOOL  
55 PECUNIT STREET  
CANTON, MASSACHUSETTS  
(NORFOLK COUNTY)  
Prepared for:  
THE VERTEX CORPORATION



AS-NOTED

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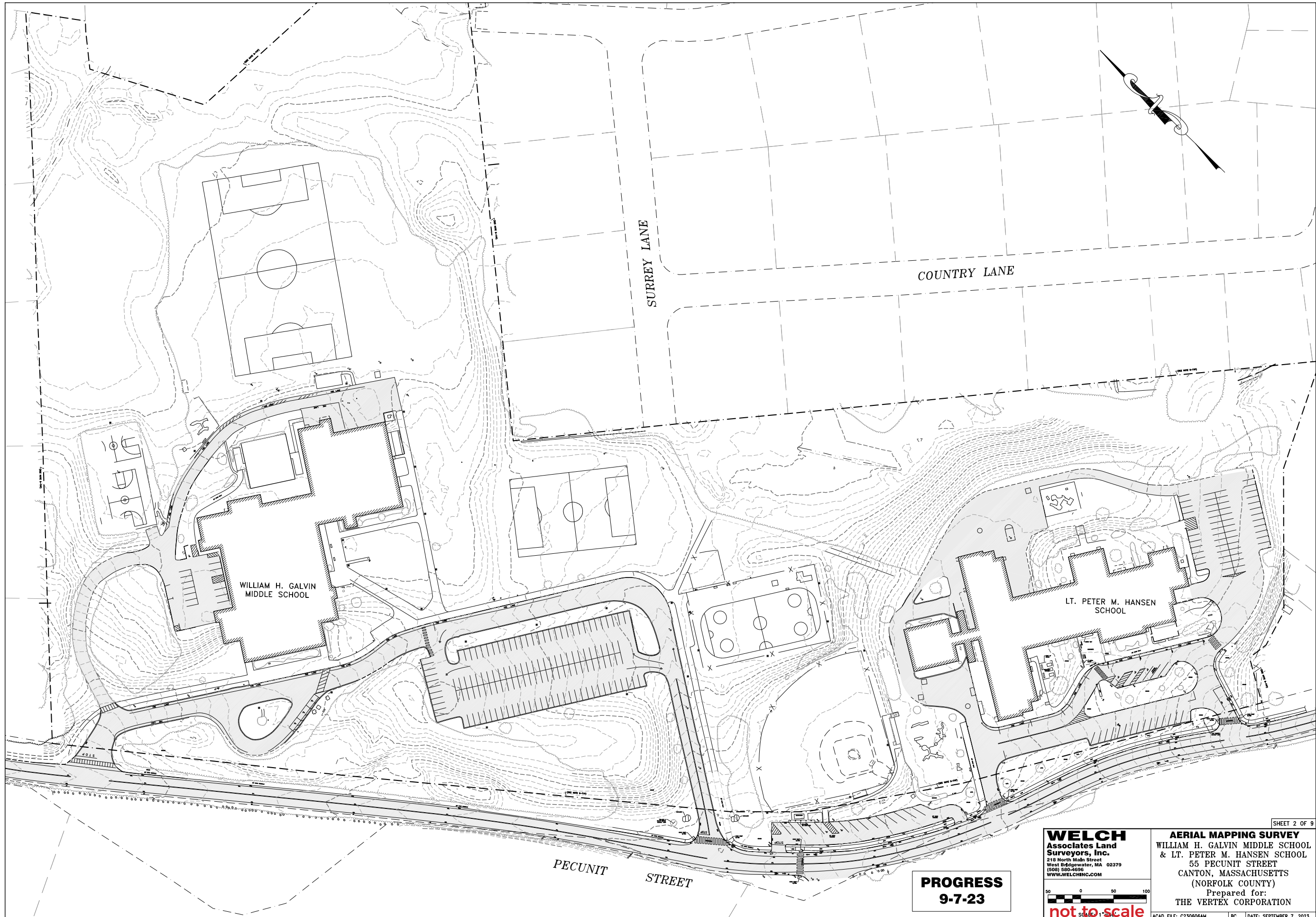
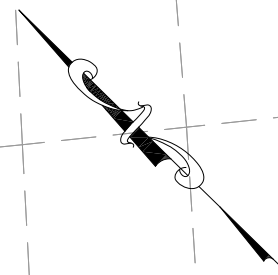
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DATE: SEPTEMBER 7, 2023

**PROGRESS**  
**9-7-23**

**Site Aerial Survey**

**page 2**



WILLIAM H. GALVIN  
MIDDLE SCHOOL

LT. PETER M. HANSEN  
SCHOOL

PECUNIT  
STREET

**PROGRESS**  
9-7-23

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50 0 50 100  
**not to scale**

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SHEET 2 OF 9

ACAD FILE: C230606AM BC DATE: SEPTEMBER 7, 2023



**Site Aerial Survey**

**page 3**

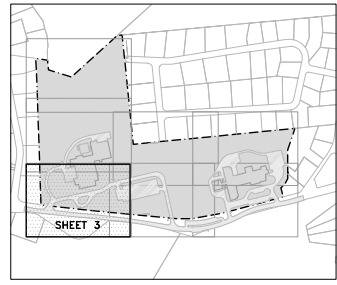
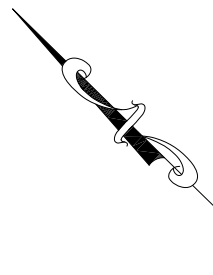
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MARILYN L. DIAMANDIS  
FAMILY TRUST  
BK. 34117 PG. 3

48/14  
N/F  
JOHN B. & MONICA  
L. PIECYK  
BK. 12606 PG. 233

SEE SHEET 8

SEE SHEET 4

WILLIAM H. GALVIN  
MIDDLE SCHOOL  
3 STORY  
BRICK



KEY MAP

**PROGRESS**  
9-7-23

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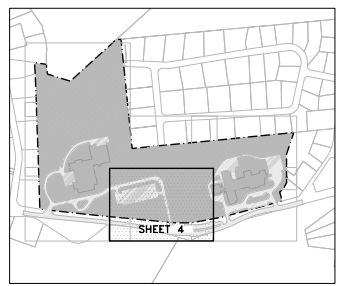
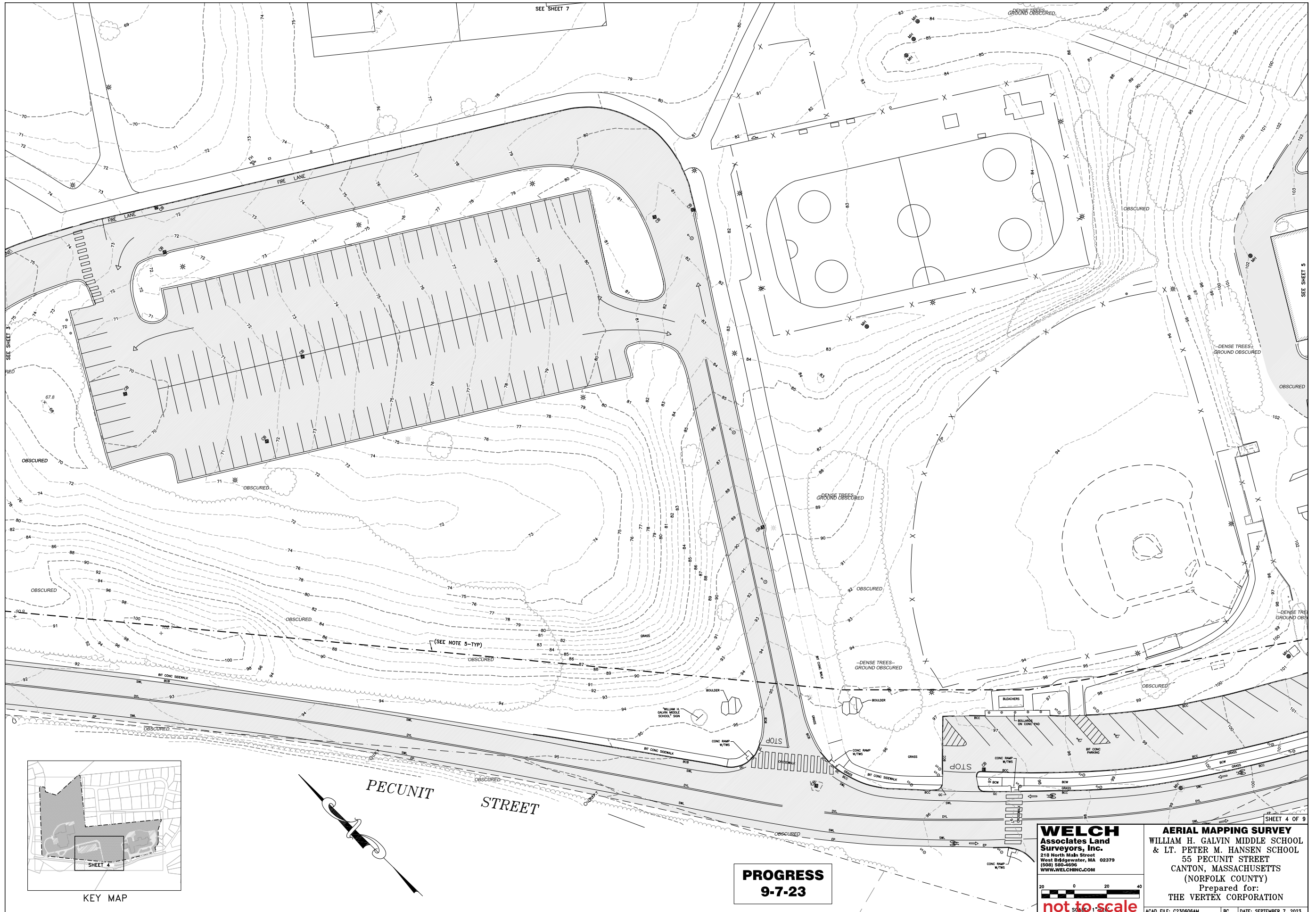


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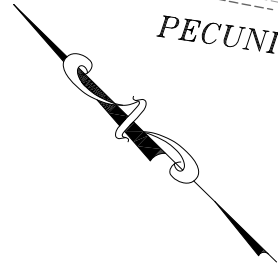
SHEET 3 OF 9

**Site Aerial Survey**

**page 4**



KEY MAP

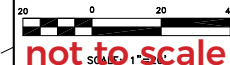


PECUNIT STREET

**PROGRESS**  
9-7-23

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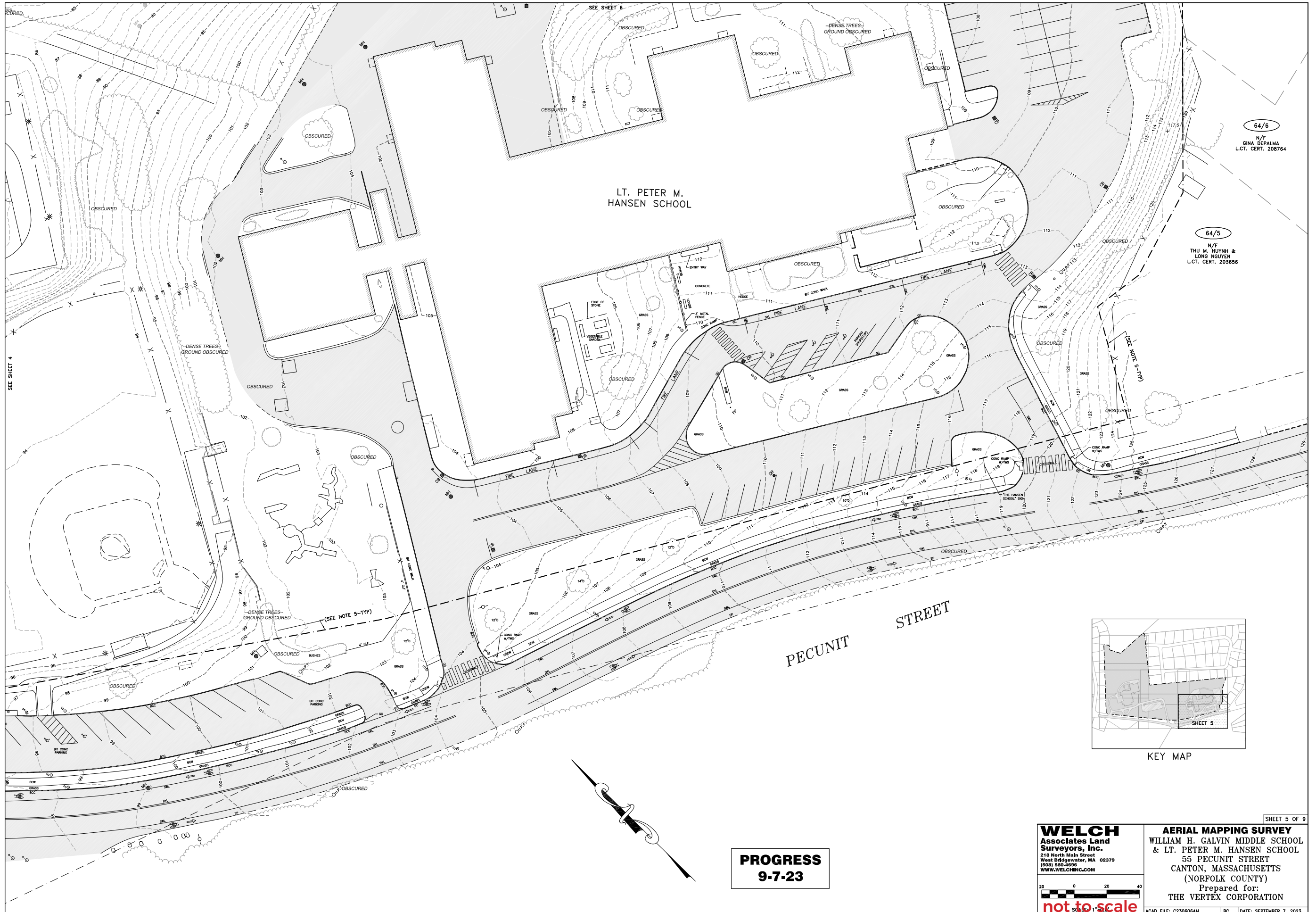
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**Site Aerial Survey**

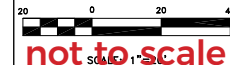
**page 5**



**PROGRESS**  
9-7-23

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SHEET 5 OF 9

**Site Aerial Survey**

**page 6**

COUNTRY LANE



64/16  
N/F  
FRANKLIN R. &  
MARGARET L. SARRA  
BK. 4728 PG. 63

64/15  
N/F  
MICHAEL G. & LISA  
A. HANSEN  
BK. 12737 PG. 33

64/14  
N/F  
MATTHEW &  
JENNIFER MCCABE  
BK. 32301 PG. 122

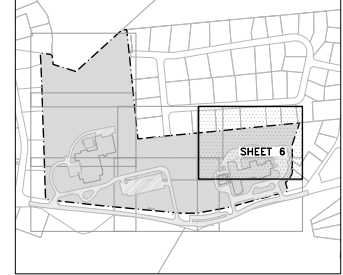
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FRANCIS E. &  
DEBORAH A. DAMON  
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64/12  
N/F  
EDWARD J. & JOAN A. MARSHALL  
IRREVOCABLE LIVING TRUST  
BK. 30406 PG. 60

64/11  
N/F  
EDWARD LEUNG &  
DEANNE LAM-LEUNG  
BK. 29919 PG. 21

64/199  
N/F  
LIFEWORX, INC.  
L.C.T. CERT. 184071

64/6  
N/F  
GINA DEPALMA  
L.C.T. CERT. 208764



KEY MAP

(SEE NOTE 5-TYP)

**PROGRESS**  
**9-7-23**

LT. PETER M. HANSEN SCHOOL

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(NORFOLK COUNTY)  
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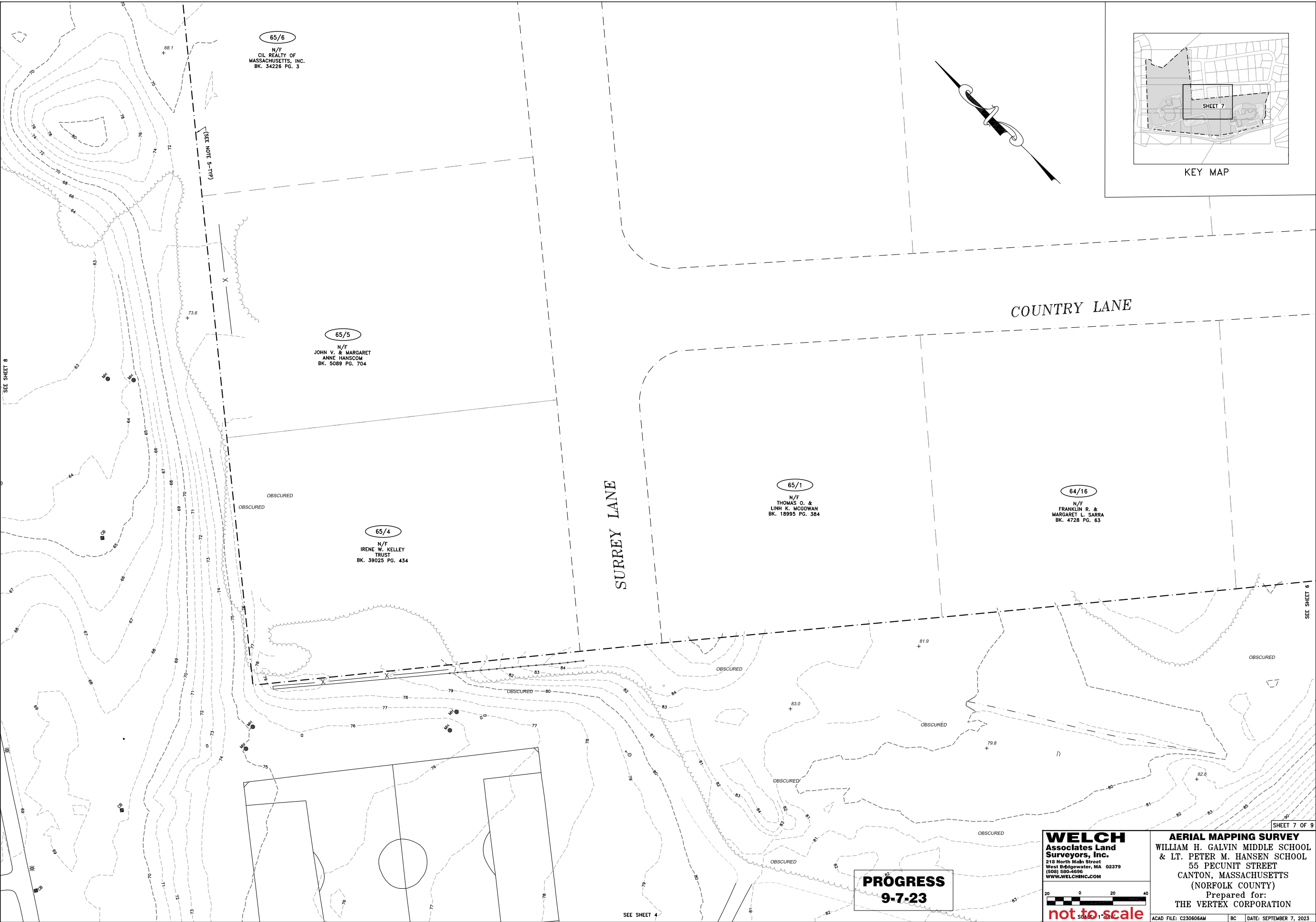
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SHEET 6 OF 9



**Site Aerial Survey**

**page 7**



65/6  
N/F  
CIL REALTY OF  
MASSACHUSETTS, INC.  
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65/5  
N/F  
JOHN V. & MARGARET  
ANNE HANSCOM  
BK. 5089 PG. 704

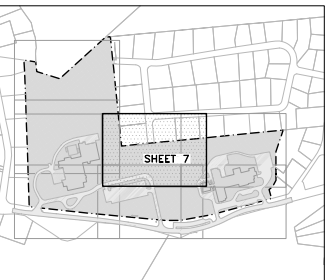
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N/F  
IRENE W. KELLEY  
TRUST  
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N/F  
THOMAS O. &  
LINH K. MCGOWAN  
BK. 18995 PG. 384

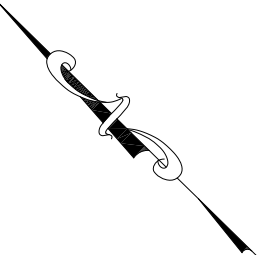
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FRANKLIN R. &  
MARGARET L. SARRA  
BK. 4728 PG. 63

COUNTRY LANE

SURREY LANE



KEY MAP



**PROGRESS**  
9-7-23

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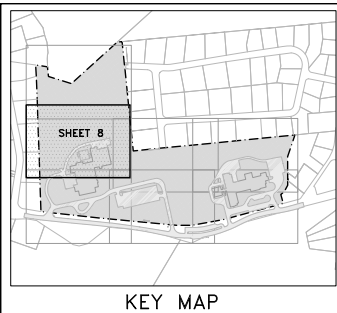
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& LT. PETER M. HANSEN SCHOOL  
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(NORFOLK COUNTY)  
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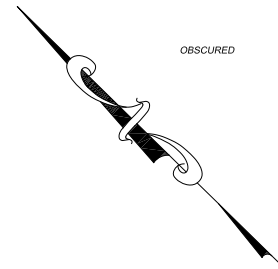
**Site Aerial Survey**

**page 8**



48/28  
N/F  
MARK & CATHERINE  
T. SLUSARZ  
BK. 10579 PG. 277

48/27  
N/F  
RGA REALTY TRUST  
BK. 36966 PG. 516



SEE SHEET 9

SEE NOTE 5-TTP

SEE SHEET 7

(ALL-5 110N 1857

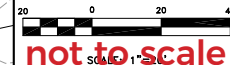
SEE SHEET 3

SHEET 8 OF 9

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9-7-23

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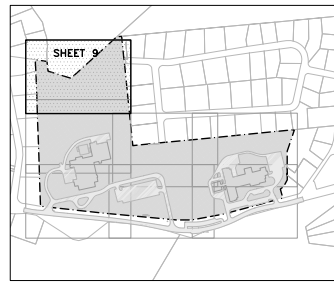


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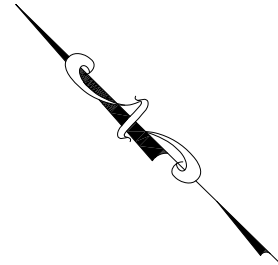
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**Site Aerial Survey**

**page 9**



KEY MAP



48/51  
N/F  
GHAZWAN GHAZI &  
SUHAIR HIJAZI  
L.C.T. CERT. 183043

48/30  
N/F  
MATTHEW A. & KIM  
D. OSBORNE  
BK. 26800 PG. 573

48/29  
N/F  
DARREN CHI-LUNG WONG  
& KHATU HO-WONG  
BK. 39202 PG. 176

48/28  
N/F  
MARK & CATHERINE  
T. SLUSARZ  
BK. 10579 PG. 277

65/20  
N/F  
COMMONWEALTH OF  
MASSACHUSETTS, DEPARTMENT OF  
CONSERVATION AND RECREATION  
BK. 27872 PG. 504

65/18  
N/F  
THOMAS F. &  
JANICE M. TAYLOR  
BK. 11376 PG. 596

65/7  
N/F  
M & R TRUST  
BK. 31538 PG. 241

(SEE NOTE 5-71P)

(SEE NOTE 5-71P)

**PROGRESS**  
9-7-23

**WELCH**  
Associates Land  
Surveyors, Inc.  
218 North Main Street  
West Edgewater, MA 02379  
(508) 590-4696  
WWW.WELCHINC.COM

not to scale

**AERIAL MAPPING SURVEY**  
WILLIAM H. GALVIN MIDDLE SCHOOL  
& LT. PETER M. HANSEN SCHOOL  
55 PECUNIT STREET  
CANTON, MASSACHUSETTS  
(NORFOLK COUNTY)  
Prepared for:  
THE VERTEX CORPORATION

ACAD FILE: C230606AM BC DATE: SEPTEMBER 7, 2023

SEE SHEET 7

SHEET 9 OF 9

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## **Geotechnical Evaluation/Soils Analysis**

Ai3 Architects, LLC secured the services of Lahlaf Geotechnical Consulting, Inc. to conduct a preliminary geotechnical report for Galvin Middle School located at 55 Pecunit Street in Canton, Massachusetts. Lahlaf Geotechnical Consulting, Inc. completed initial explorations at the site to obtain preliminary subsurface information and to provide preliminary recommendations for foundation design and construction. The following services were provided:

- Coordinated field explorations with Ai3 Architects, LLC; Lahlaf Geotechnical Consulting, Inc.; and the Town of Canton.
- Engaged a drilling subcontractor to provide borings.
- Provided geotechnical engineers at the site to coordinate and observe the borings, describe the soil samples, and prepare field logs.
- Submitted soil samples for grain-size analysis.
- Prepared the geotechnical report containing the results of the preliminary subsurface explorations and the preliminary recommendations for foundation design and construction.

These tests and samplings were performed in compliance with MSBA regulations identified in Module 3, Feasibility Study: Article 3.1.4 Evaluation of Existing Conditions. A second phase of geotechnical investigation will be performed in the Design Development phase of the project.

Following the Phase I geotechnical investigation, initial items of note include:

- Groundwater level observed does not appear to be of concern. An underslab drainage system is not required.
- Engineers recommend shallow footing system
- Preliminarily not susceptible to liquefaction

For a complete copy of the Preliminary Geotechnical Report, refer to the Appendix.



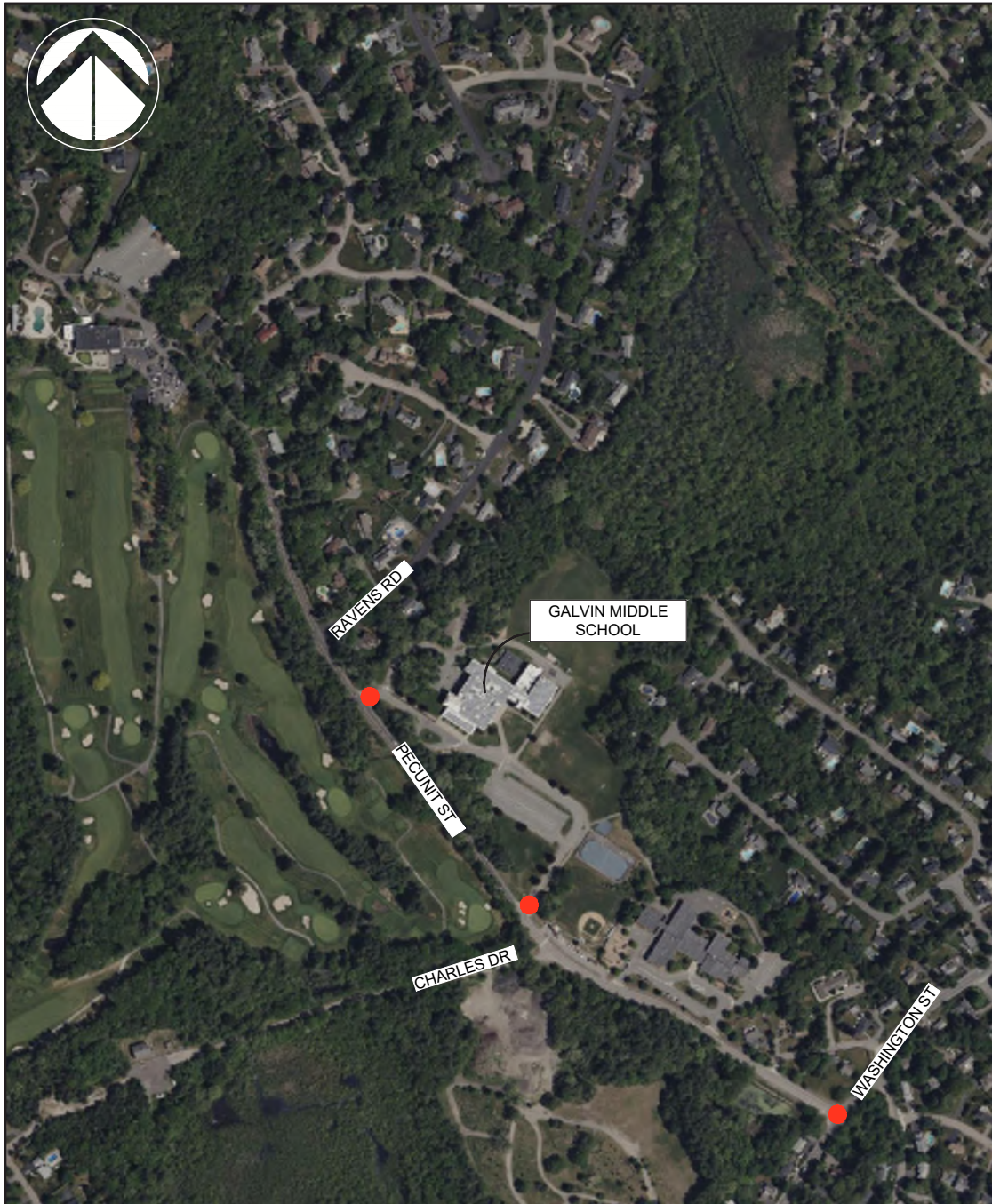
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# **Phase I Environmental Site Assessment Report**

Ai3 Architects, LLC secured the services of The Vertex Companies, Inc. (Vertex) to conduct a Phase I Environmental Site Assessment (ESA) for Galvin Middle School located at 55 Pecunit Street in Canton, Massachusetts. The purpose of the ESA is to evaluate the Site with respect to potential presence of “Recognized Environmental Conditions” (REC). The ESA included review of the following:

- Records review: review of historical and regulatory records readily available from state, federal, and local agencies concerning the Site and nearby properties.
- Site Reconnaissance: Evaluation of the Site for indications of REC and to identify general uses of abutting parcels.
- Interviews/Inquiries: Interview of readily available persons associated with the Site Owner and occupants of the Site relative to Site history and use.
- Interviews with local government officials: collect information and conduct inquiries of the local regulatory / licensing agencies regarding the Site.

The ESA was performed in compliance with MSBA regulations identified in Module 3, Feasibility Study: Article 3.1.4 Evaluation of Existing Conditions. For a complete copy of the Phase I ESA, refer to the Appendix.



● = STUDY INTERSECTIONS

PROJECT NO. 23192.00

DATE: OCTOBER 2023



**FIGURE 1**  
LOCUS MAP

GALVIN MIDDLE SCHOOL  
CANTON, MASSACHUSETTS

## **T**raffic Impact Analysis

The Traffic Impact Analysis for Galvin Middle School was prepared by Pare Corporation, Inc. The report contains existing roadway conditions surrounding the site at 55 Pecunit Street in Canton, Massachusetts. The report includes existing conditions, site observations for morning and afternoon school dismissal, site layout and internal circulation patterns and conditions, and on-site safety observations. The traffic impact analysis also includes a safety analysis, future conditions of both a 760-pupil middle school and a 1020-pupil middle school, capacity analysis, mitigation, and recommendations.

The existing middle school currently enrolls 740 students between grades 6 through 8 with classes scheduled from 7:40 a.m. to 2:15 p.m.

Presented within are existing conditions in the vicinity of the project site, a safety analysis of the study area, an analysis of the traffic based on existing, future no-build and future build conditions, and proposed mitigation measures and/or recommendations, as necessary. A locus map of the study area is provided on the adjacent page.

For a complete copy of the Traffic Impact Analysis, refer to Appendix D.

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## **A**lternate Site Options

There are no alternate site options that would be better suited for a new Galvin Middle School than the existing site.

The current lot is of sufficient size to house a school building, adjacent recreation spaces, and serve access/circulation needs. The topography is generally flat with steep slopes at the southwest side of the site adjacent to the property line. Based on the information gathered by the Phase I Environmental Site Assessment, the site is acceptable for continued use and the soils are suitable for future development. It is centrally located within Canton, relatively secluded from the nearby residences, and its proximity to the wetlands offers educational opportunities.

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## 3.1.6 PRELIMINARY EVALUATION OF ALTERNATIVES

### **D**istrict Student Distribution Practices

The Canton School District consists of six school buildings. Each school has its own location throughout the Town of Canton. Rodman Early Childhood Center (Pre-K), Lt. Peter M. Hansen, Dean S. Luce, and John F. Kennedy Elementary Schools (Grades K-5), William H. Galvin Middle School (Grades 6-8), and Canton High School (Grades 9-12). There is no additional identified space available in other schools based on the current and projected enrollment.



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## **T**uition Agreements with Adjacent Districts

Canton Public Schools does not have tuition agreements with other districts. Students are able to attend choice districts or charter schools. The issues outlined in the Statement of Interest could not be addressed or mitigated by initiating tuition agreements with other districts.

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## **R**ental/Acquisition of Existing Buildings

As part of the site analysis process, the Town analyzed other available sites and buildings for the Galvin Middle School student population. There are no school or commercial buildings currently for rent or sale that could house the Galvin Middle School in the district.

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## Summary of Options

Many options were developed as part of the overall analysis of the best possible scheme for resolving the educational and physical deficiencies at Galvin Middle School, including the 8 following options, based on the eight space summaries included previously in this report. Half of the options explore solutions for a 6-8 grade-level configuration and the other half explore solutions for a 5-8 grade-level solution. Of either of these possibilities, two of each grade-level configuration consider addition and comprehensive renovation possibilities, while the other remaining options consider new construction. Aside from addition/renovation or new construction, one additional option that considers code upgrades and base repairs only is included.

All options will continue to be evaluated during the next phase of the project. Simultaneously, the School Building Committee will finalize the ranking criteria for evaluating options. Several primary objectives have been discussed thus far including:

- Provide sufficient 21st Century educational space for middle school students within the Town of Canton
- Provide a middle school environment which includes all of the necessary program space and adjacencies to achieve the highly detailed goals and vision described in the educational plan and the educational visioning workshops.
- The preferred option shall be organized to provide grade level separation. Connectivity within grade levels could be organized either vertical or horizontal but should be integral to the design.
- Expand outdoor educational opportunities with play fields, recreation space, and secure outdoor educational areas.
- The desire for outdoor learning spaces in addition to outdoor social and recreational spaces was a major takeaway from the initial visioning sessions with students and faculty.
- Improve safety of the overall school environment by providing appropriate auto and bus circulation on site, as well as by providing sufficient distributed parking for visitors, staff, and administration.
- The existing site and its future improvements are an essential resource for the community.
- The adjacent Hansen Elementary School needs to be considered in circulation patterns
- Minimize impact to the Town, community, and School Department throughout construction.
- Investigate solutions to accommodate either a 6-8 grade-level configuration or a 5-8 grade-level configuration.
- The District plans to continue the evaluation of a 5-8 middle school model vs. a 6-8 middle school model and the educational advantages and disadvantages for each through the next design phase, Preferred Schematic Report (PSR).
- Any proposed option should be educationally appropriate, fiscally

## PRELIMINARY OPTIONS

responsible, sustainable, and provide a solid long-term solution to school and facility needs in the Town.

- The desire for a sustainability conscious design, and the potential for a net-zero energy building, are interests within the Canton community.

### **Site Analysis**

A preliminary analysis identifies multiple constraints on the current site including the presence of wetlands and a flood plain. The adjacent graphic begins to organize the site with a buildable area lens. With the Hansen Elementary School sharing the site, the analysis ultimately needs to be from a campus perspective rather than a single project perspective. The final location of a new building or direction of an addition/renovation option should support campus use for both the elementary and middle school students. The project should not cut off or isolate the lower field area, and access for all students and the community should be provided to the ecological resource and trails through the wetlands area. It is for this reason that all new construction options are located adjacent to Pecunit Street, allowing for a visual and physical connection to all site elements.

Further analysis and discussion with all stakeholders will occur to ensure these goals come to fruition.

# PRELIMINARY OPTIONS





## PRELIMINARY OPTIONS

### **Preliminary Options**

The 9 preliminary options included herein are as follows:

**Option 1** - Code Upgrade/Base Repair ONLY to the Existing Building

**Option 2** - Grades 6-8, Addition/Renovation (NO Auditorium)

**Option 3** - Grades 6-8, Addition/Renovation (with Auditorium)

**Option 4** - Grades 6-8, New Construction (NO Auditorium)

**Option 5** - Grades 6-8, New Construction (with Auditorium)

**Option 6** - Grades 5-8, Addition/Renovation (NO Auditorium)

**Option 7** - Grades 5-8, Addition/Renovation (with Auditorium)

**Option 8** - Grades 5-8, New Construction (NO Auditorium)

**Option 9** - Grades 5-8, New Construction (with Auditorium)

Refer to the following for a summary of each option, including conceptual site and building plans, phasing, and preliminary cost estimates.

PRELIMINARY OPTIONS

1

Code Upgrade/ Base Repair ONLY to the Existing Building



**Option 1**

The Code Upgrade/ Base Repair Option being evaluated for comparison purposes only. It is not being proposed as a viable solution for the Town of Canton. By definition, it maintains the existing building layout and all of the existing space deficiencies. It does not resolve the Facility or Educational Deficiencies that have been identified for the Galvin Middle

School. It does not provide any additional or new educational space, and does not modernize any existing educational space. It does not provide new instructional technology, needed programs, expanded community resources, or many of the educational and community benefits inherent in a viable solution.

This option is intended to identify the significant expenditures required to

resolve basic infrastructure, accessibility, and code compliance issues within the existing Galvin Middle School building. The MSBA requires this evaluation of a Code Upgrade/Base Repair option in order to provide a baseline for comparison of the other options which do address the comprehensive needs of the district in addition to addressing all of the code issues. Refer to the evaluations of existing building code compliance and accessibility included in this report for the types of issues that would be addressed by a code upgrade/base repair option.

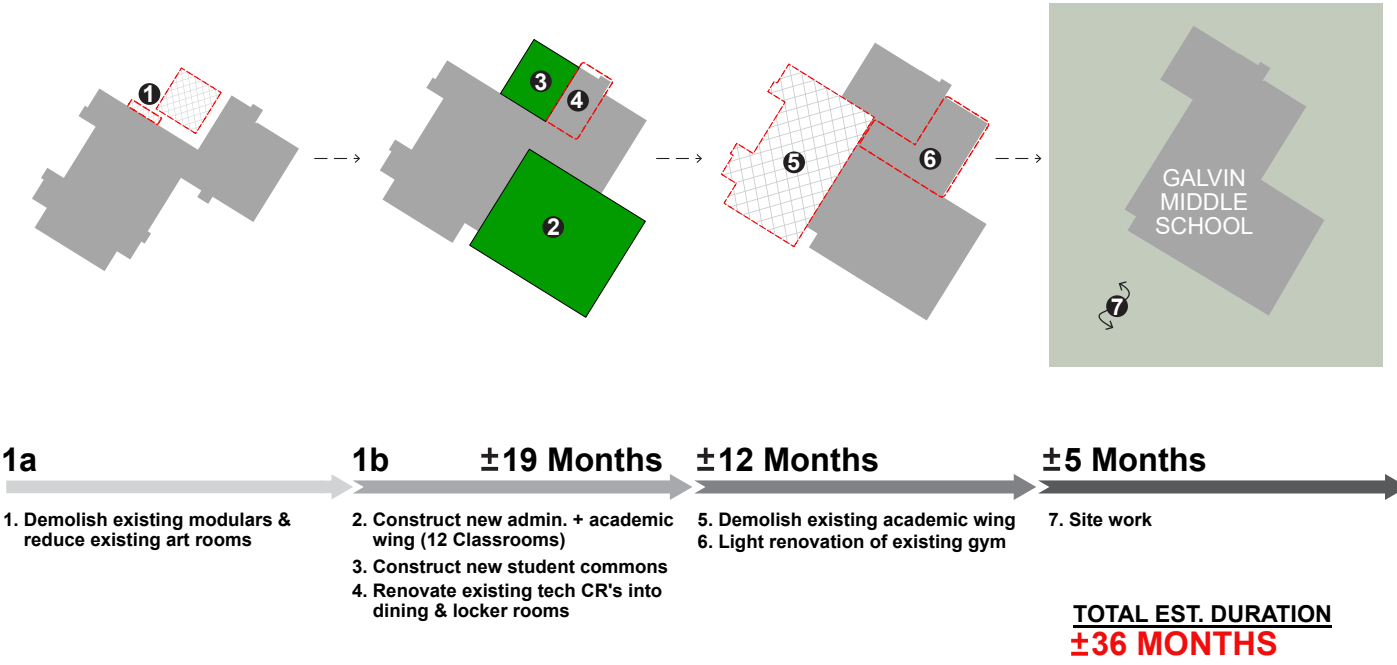
In the case of the Galvin Middle School, the significant cost of this option would be an enormous expenditure for the Town in the near future, only to address significant infrastructure, accessibility, and code compliance issues without any improvement to the educational program. Furthermore, the building would remain occupied over the course of the repairs, which could prove disruptive to the educational environment. Estimated duration of the repairs is equivalent, if not more, to the length of time required for a new construction project.

This expenditure of the Town's funds for basic repairs on a building that has proven to be a poorly organized educational facility, that is extremely inefficient to operate, would be a poor investment. A more comprehensive solution that addresses all needs and includes MSBA grant reimbursement funding is the more educationally appropriate and financially responsible approach.

PRELIMINARY OPTIONS

**2** Addition/Renovation Grades 6-8 (NO Auditorium)

Conceptual Phasing



**Option 2**

This option proposes to renovate the gymnasium wing of the existing middle school and demolish the undersized and poorly configured classroom, dining, and student support portion of the existing building. New construction would include a new 3 story academic wing, student support spaces, and a cafetorium.

Some reconfiguration of spaces in the existing gymnasium wing would also occur, and all code and life safety issues would be addressed.

Advantages of this option include:

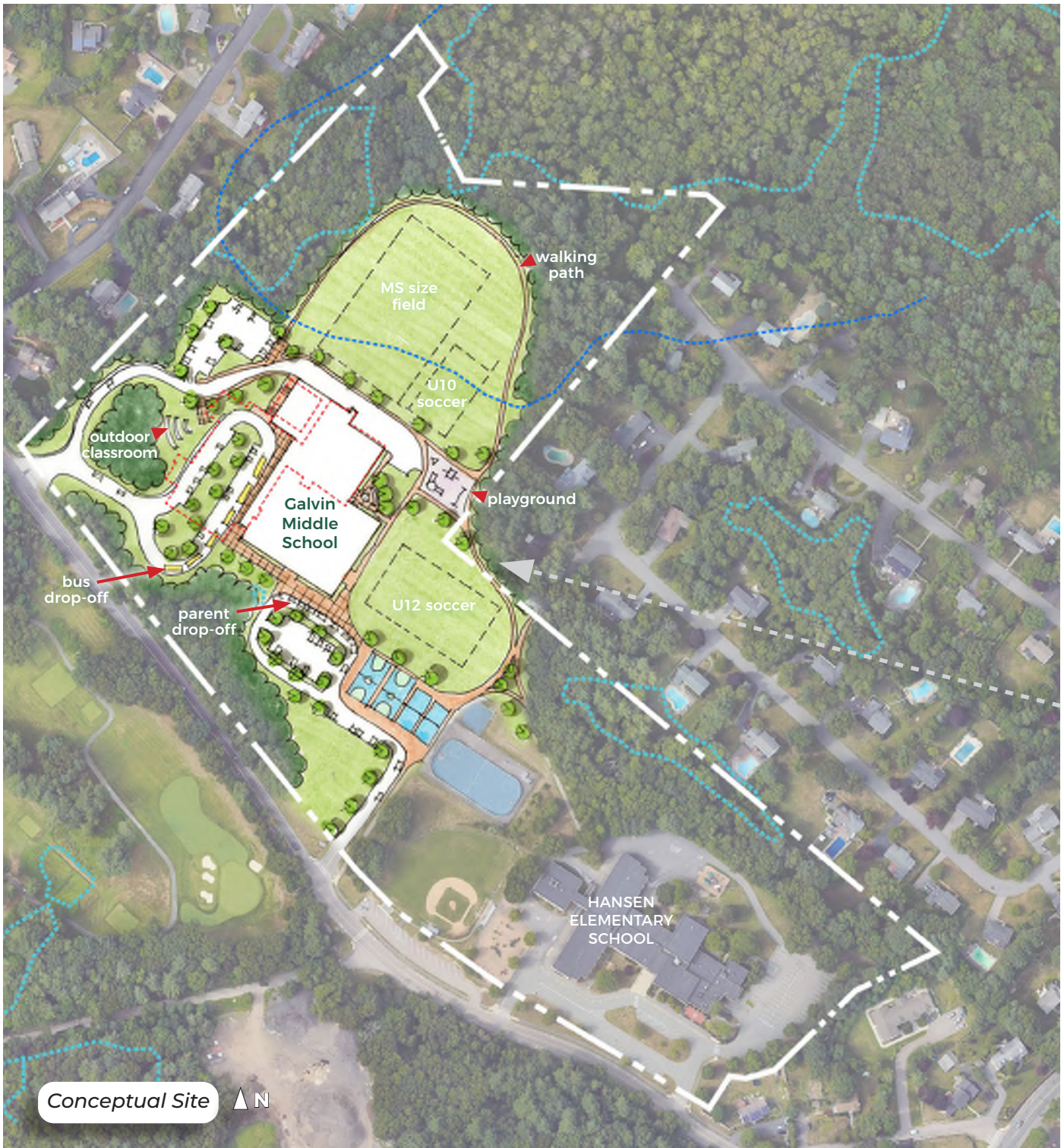
- It provides appropriately sized classrooms with the desired grade level adjacencies and flexible break out spaces
- The new classrooms would receive natural daylight and views,

addressing the serious problem of nine landlocked classrooms in the existing school configuration

- It would provide the desired layout for grade level team teaching identified as a major goal in the Educational Program
- It would strategically retain the gymnasium wing which is an appropriate candidate for renovation

It would require significantly more time to complete than all-new construction, and during the three years of phased/occupied construction, students and staff would be coping with increased disruption. Unlike the new construction options, construction activities would occur directly adjacent to student-occupied spaces during the school day.

# PRELIMINARY OPTIONS

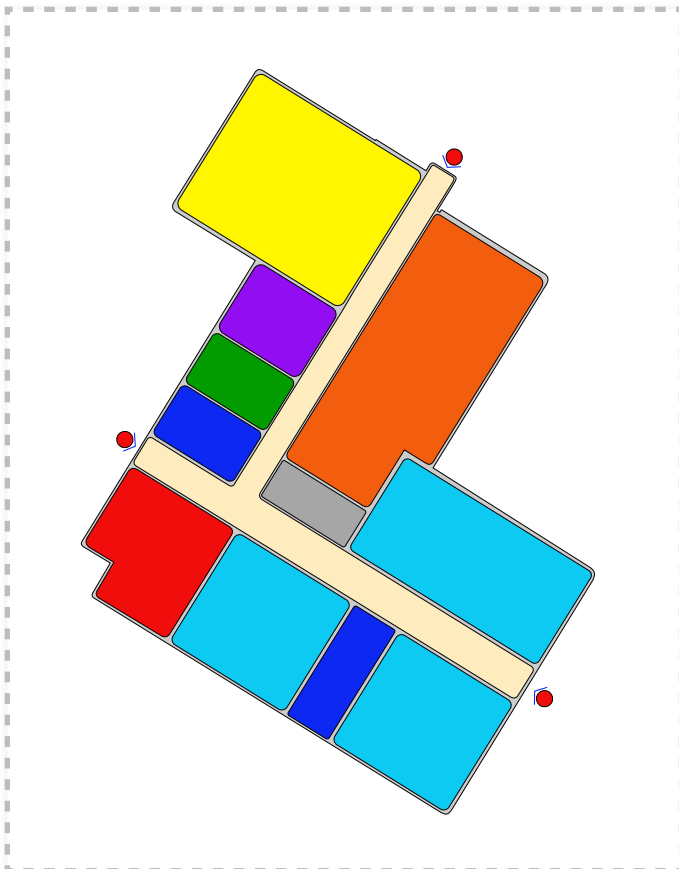


PRELIMINARY OPTIONS

**Option 2: Summary**

<b>GRADE LEVELS</b>	6-8
<b>ENROLLMENT</b>	760 students
<b>AUDITORIUM</b>	NO
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	160,655 SF
<b>RENOVATED SF</b>	39,600 SF
<b>TOTAL SF</b>	200,255 SF
<b>EST. DURATION</b>	± 36 Months

**2** Conceptual First Floor Plan



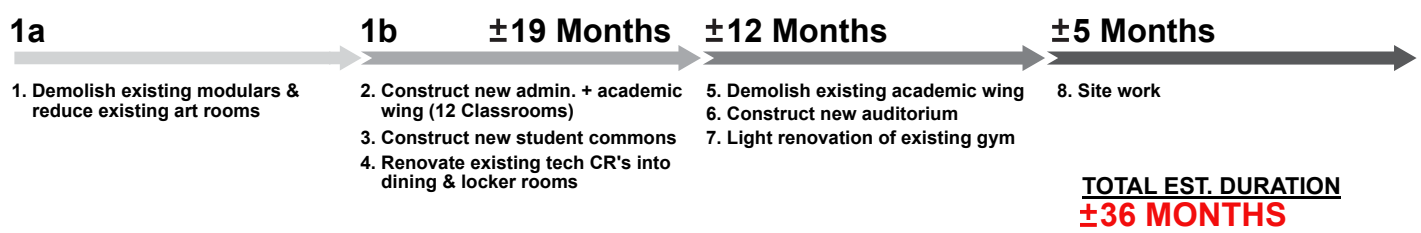
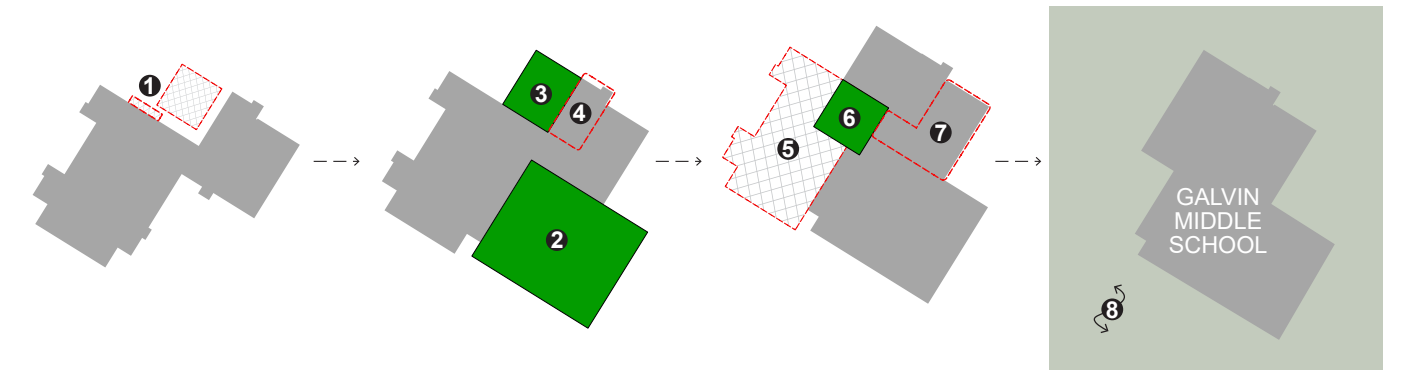
PROGRAM LEGEND	
	Core Academic Spaces
	Special Education
	Art & Music
	Vocations & Technology
	Health & Physical Education
	Administration & Guidance
	Dining & Food Service
	Circulation

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PRELIMINARY OPTIONS

**3** Addition/Renovation Grades 6-8 (with Auditorium)

Conceptual Phasing



**Option 3**

This option is similar to option 2, but it also provides a new auditorium. It still includes the renovation of the existing gymnasium wing and demolition of the undersized and poorly configured classroom, dining, and student support portion of the existing building. New construction would include a new 3 story academic wing, student support spaces, student dining, and an auditorium.

Some reconfiguration of spaces in the existing gymnasium wing would also occur, and all code and life safety issues would be addressed.

Advantages of this option include:

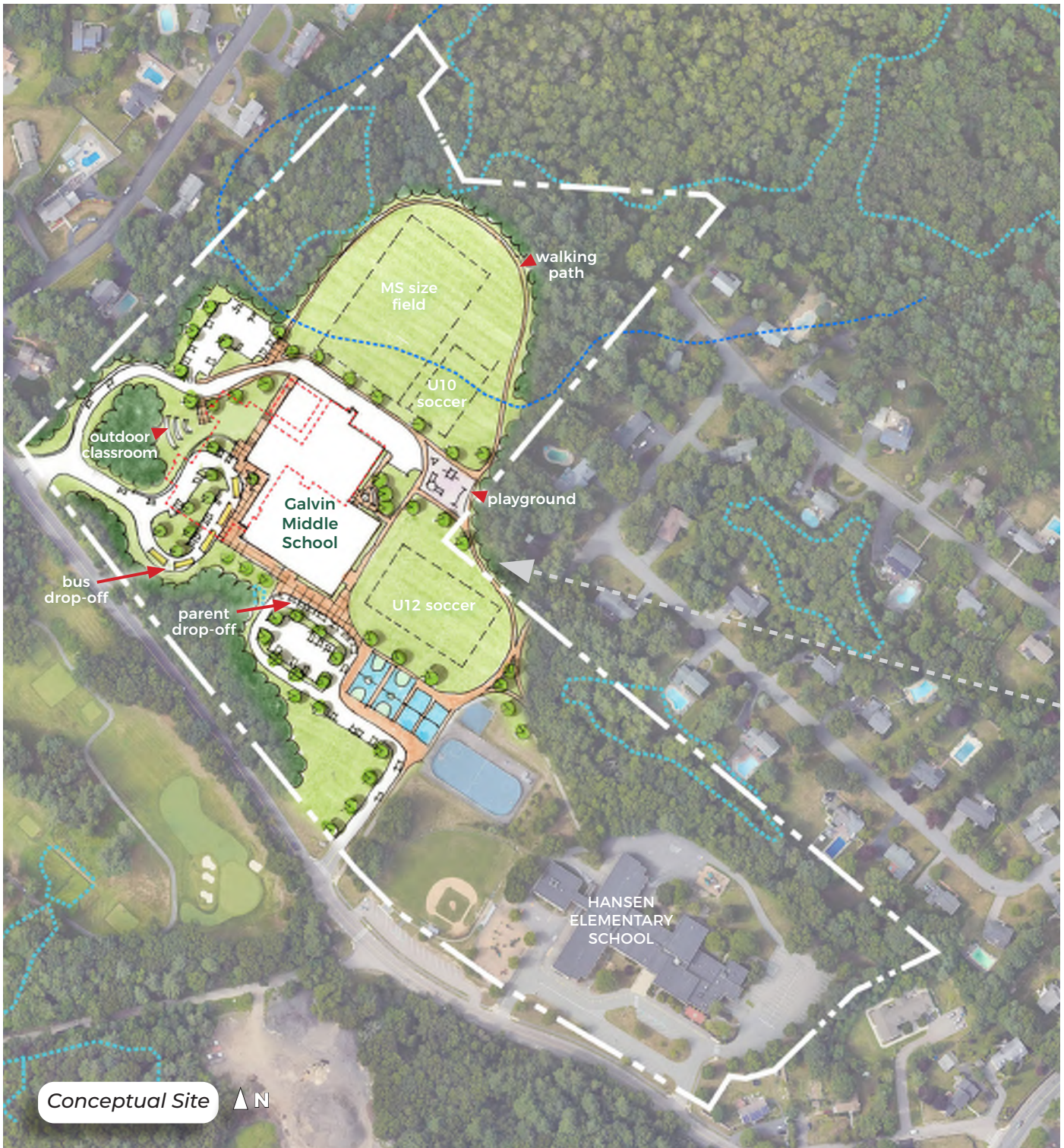
- It provides appropriately sized classrooms with the desired grade level adjacencies and flexible break out spaces

- The new classrooms would receive natural daylight and views, addressing the serious problem of nine landlocked classrooms in the existing school configuration
- It would provide the desired layout for grade level team teaching identified as a major goal in the Educational Program
- It would include an auditorium to support the existing robust music and performing arts programming at the middle school and provide a multipurpose and acoustically appropriate assembly space
- It would strategically retain the gymnasium wing which is an appropriate candidate for renovation

This option would require significantly more time to complete than all-new



# PRELIMINARY OPTIONS



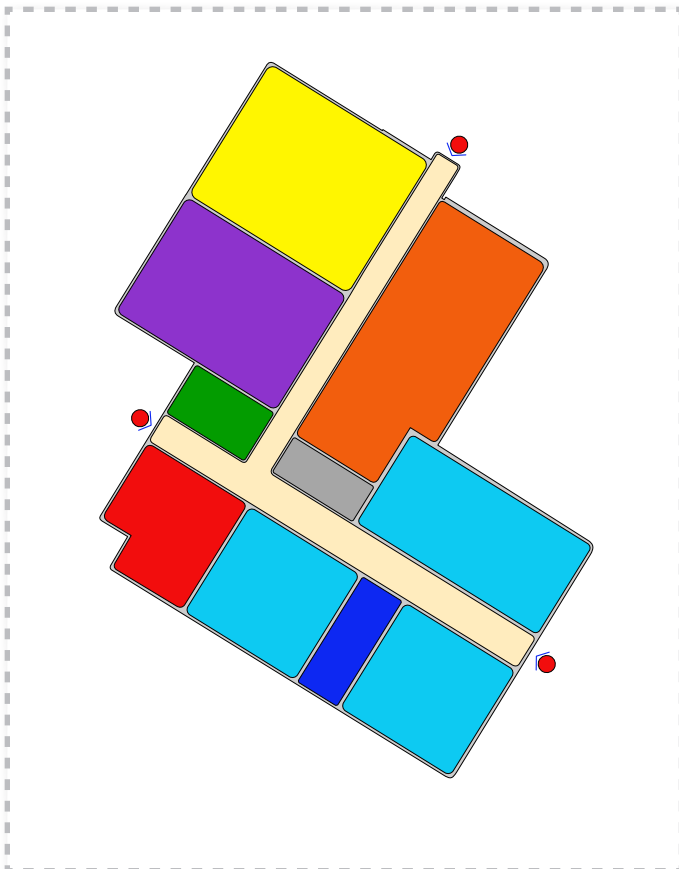
## PRELIMINARY OPTIONS

### Option 3: Summary

<b>GRADE LEVELS</b>	6-8
<b>ENROLLMENT</b>	760 students
<b>AUDITORIUM</b>	YES
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	170,155 SF
<b>RENOVATED SF</b>	39,600 SF
<b>TOTAL SF</b>	209,755 SF
<b>EST. DURATION</b>	± 36 Months

construction, and during the three years of phased/occupied construction, students and staff would be coping with increased disruption. Unlike the new construction options, construction activities would occur directly adjacent to student-occupied spaces during the school day.

### 3 Conceptual First Floor Plan



PROGRAM LEGEND	
<span style="color: lightblue;">■</span>	Core Academic Spaces
<span style="color: blue;">■</span>	Special Education
<span style="color: purple;">■</span>	Art & Music
<span style="color: green;">■</span>	Vocations & Technology
<span style="color: orange;">■</span>	Health & Physical Education
<span style="color: red;">■</span>	Administration & Guidance
<span style="color: yellow;">■</span>	Dining & Food Service
<span style="color: yellow;">■</span>	Circulation

## PRELIMINARY OPTIONS

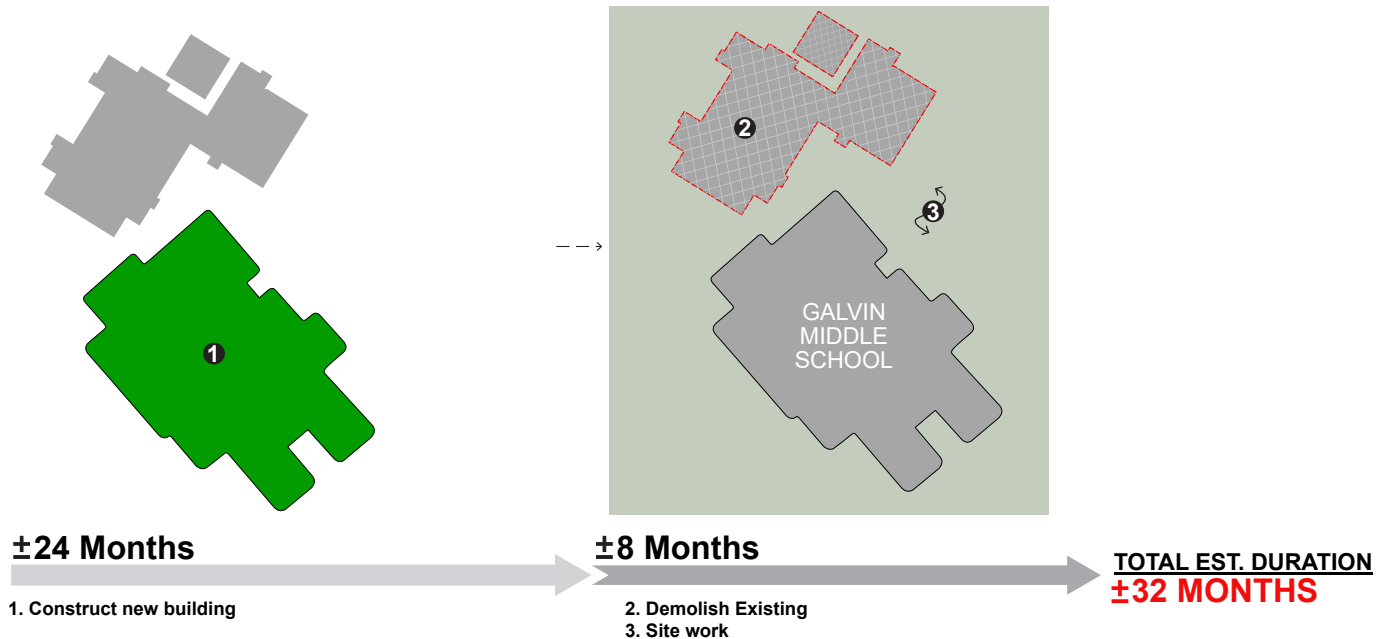
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## PRELIMINARY OPTIONS

4

## New Construction Grades 6-8 (NO Auditorium)

## Conceptual Phasing



*Phasing of a new construction project would be significantly less, compared to an addition/renovation project. It would not require phased-occupied construction of the existing or temporary modular classrooms.*

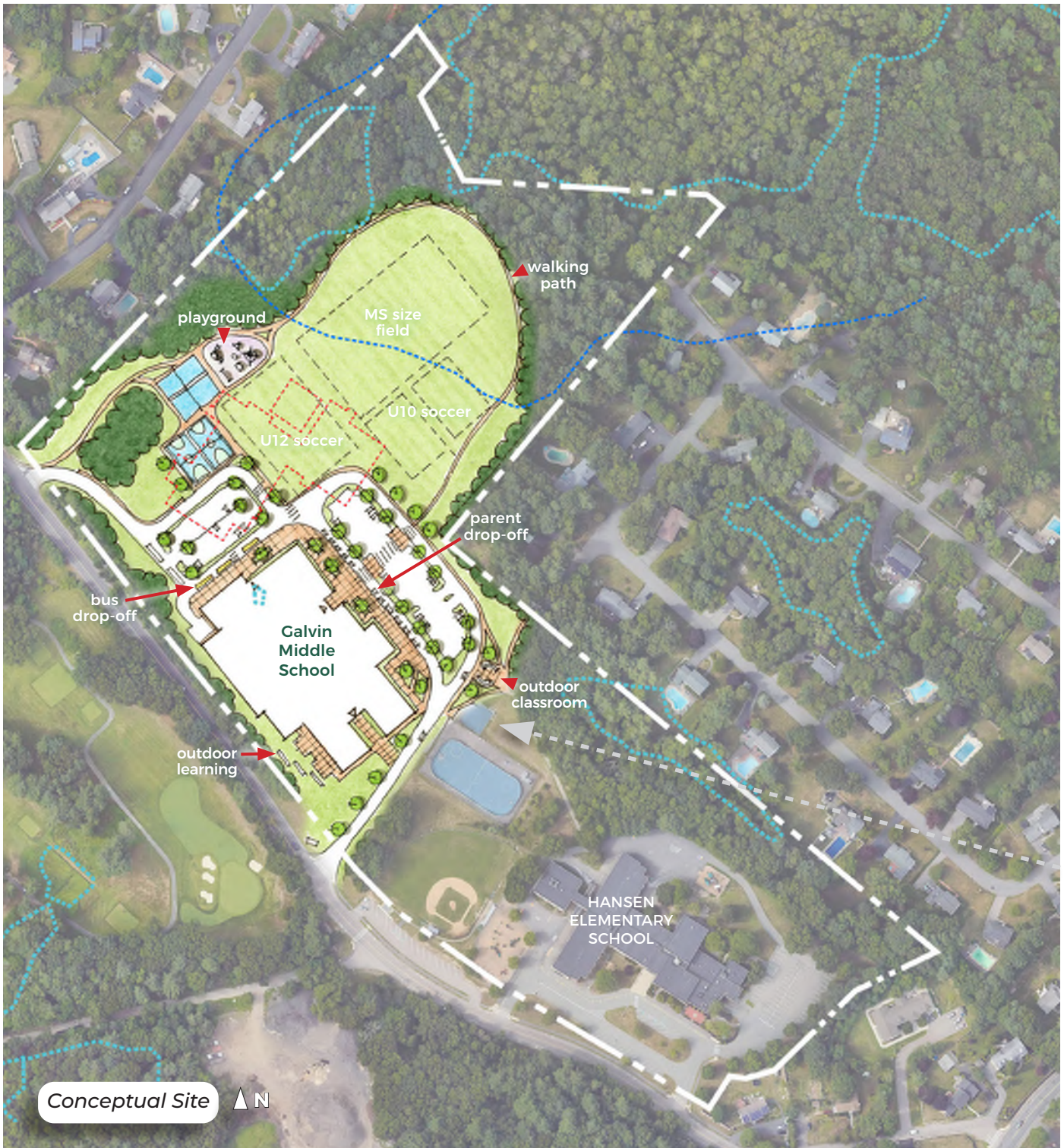
**Option 4**

This option would require the construction of a new 3-story Galvin Middle School on the existing middle school site. The existing facility would be demolished upon completion of the new building.

Advantages of this option include:

- A building with an identifiable main entrance from the site and building approach
- An efficient building layout and internal circulation
- A flexible building layout
- Efficient site circulation
- An efficient building to operate
- Less disruptive to students during construction compared to an addition/renovation option, and shorter overall construction duration
- Fewer “unknowns” and “unforeseen conditions” compared to an addition/renovation option as the building would be all new
- Ability to easily partition the building for after-hours use

# PRELIMINARY OPTIONS

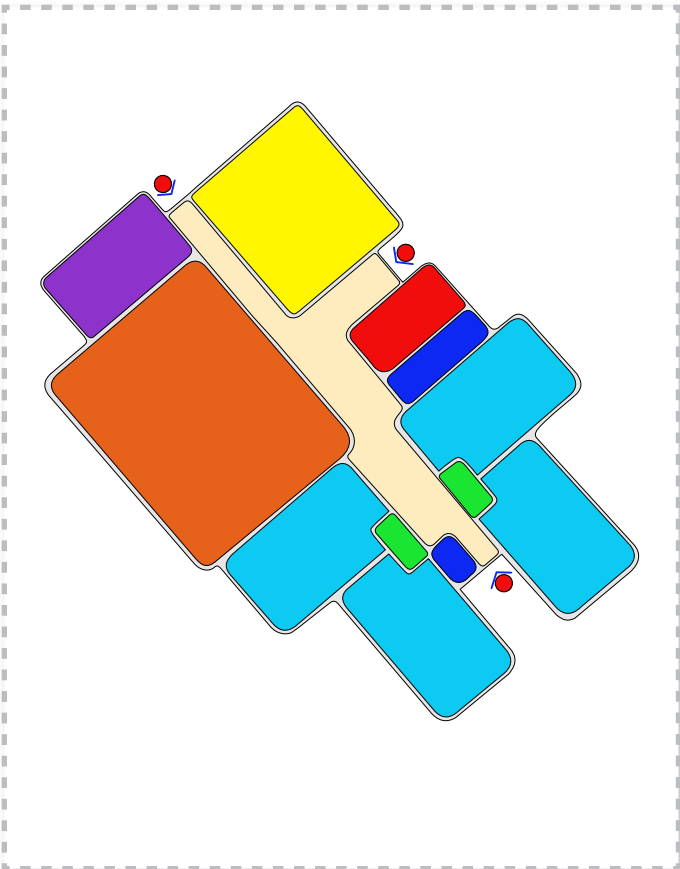










PRELIMINARY OPTIONS

**Option 4: Summary**

<b>GRADE LEVELS</b>	6-8
<b>ENROLLMENT</b>	760 students
<b>AUDITORIUM</b>	NO
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	174,935 SF
<b>RENOVATED SF</b>	0 SF
<b>TOTAL SF</b>	174,935 SF
<b>EST. DURATION</b>	± 32 Months

**4** Conceptual First Floor Plan

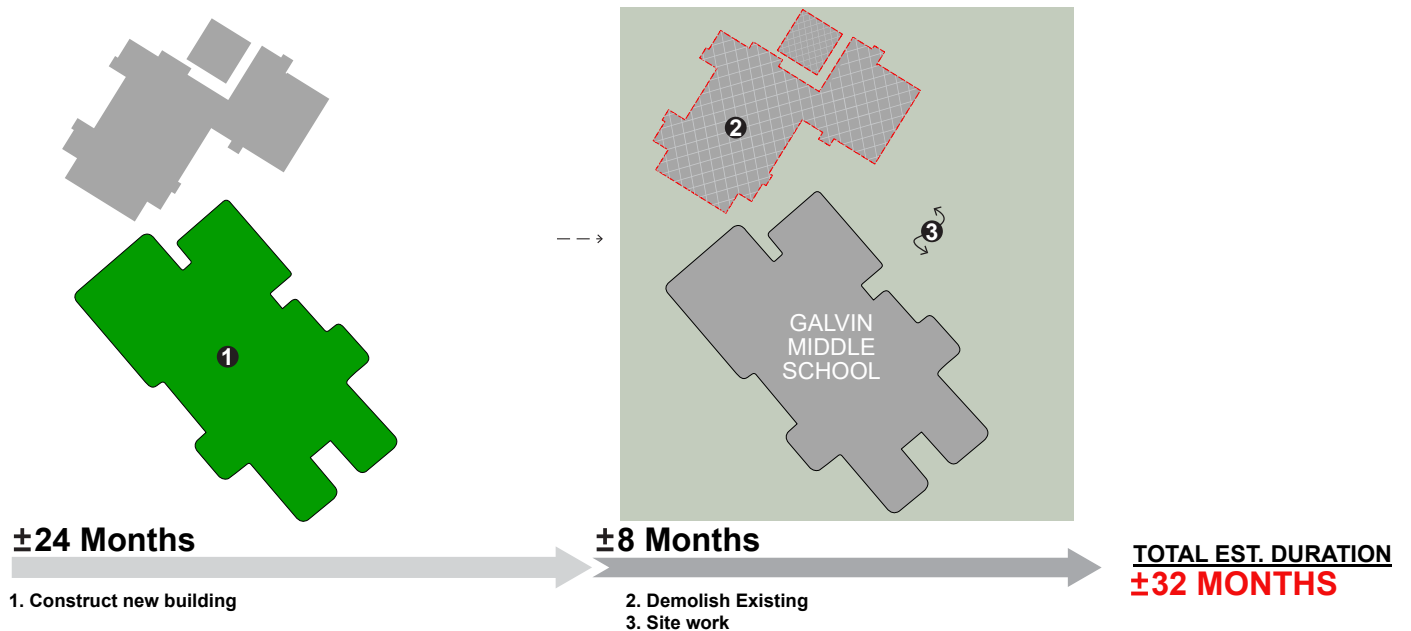


PROGRAM LEGEND	
	Core Academic Spaces
	Special Education
	Art & Music
	Vocations & Technology
	Health & Physical Education
	Administration & Guidance
	Dining & Food Service
	Circulation

## PRELIMINARY OPTIONS

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## PRELIMINARY OPTIONS

**5****New Construction Grades 6-8 (with Auditorium)****Conceptual Phasing**

*Phasing of a new construction project would be significantly less, compared to an addition/renovation project. It would not require phased-occupied construction of the existing or temporary modular classrooms.*

**Option 5**

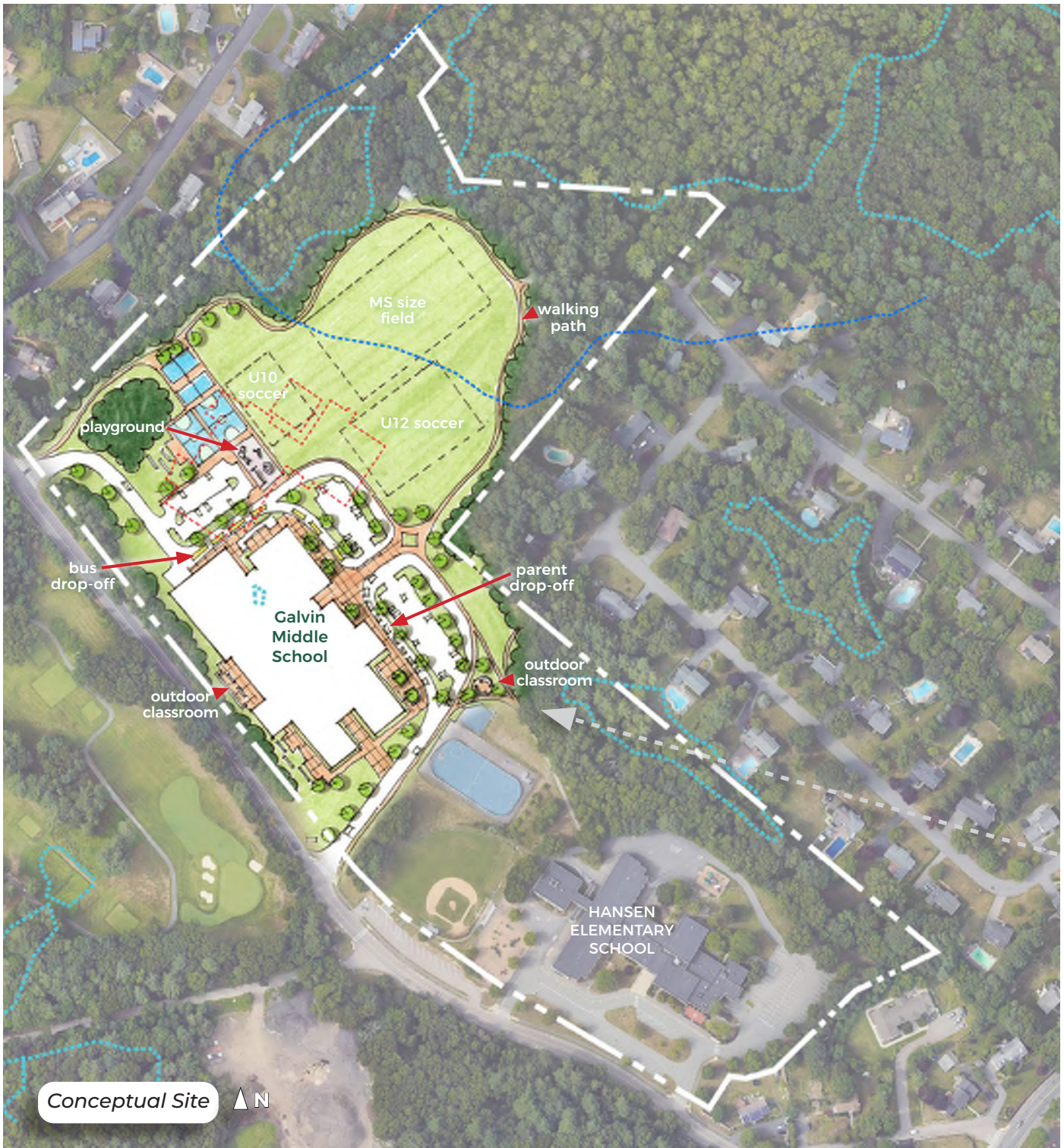
This option is similar to option 4, but it also provides a new auditorium. It would require the construction of a new 3-story Galvin Middle School on the existing middle school site. The existing facility would be demolished upon completion of the new building.

Advantages of this option include:

- A building with an identifiable main entrance from the site and building approach
- An efficient building layout and internal circulation
- A flexible building layout
- Efficient site circulation
- An efficient building to operate
- Less disruptive to students during construction compared to an addition/renovation option, and shorter overall construction duration
- Fewer “unknowns” and “unforeseen conditions” compared to an addition/renovation option as the building would be all new
- Ability to easily partition the building for after-hours use



# PRELIMINARY OPTIONS



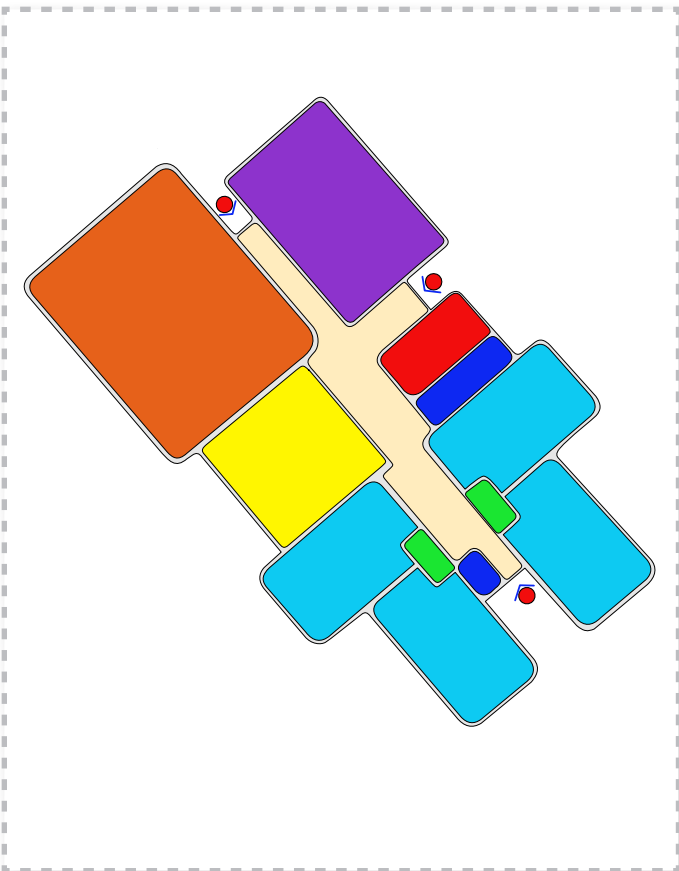
PRELIMINARY OPTIONS

**Option 5: Summary**

<b>GRADE LEVELS</b>	6-8
<b>ENROLLMENT</b>	760 students
<b>AUDITORIUM</b>	YES
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	185,435 SF
<b>RENOVATED SF</b>	0 SF
<b>TOTAL SF</b>	185,435 SF
<b>EST. DURATION</b>	± 32 Months

- It would include an auditorium to support the existing robust music and performing arts programming at the middle school and provide a multipurpose and acoustically appropriate assembly space

**5** Conceptual First Floor Plan



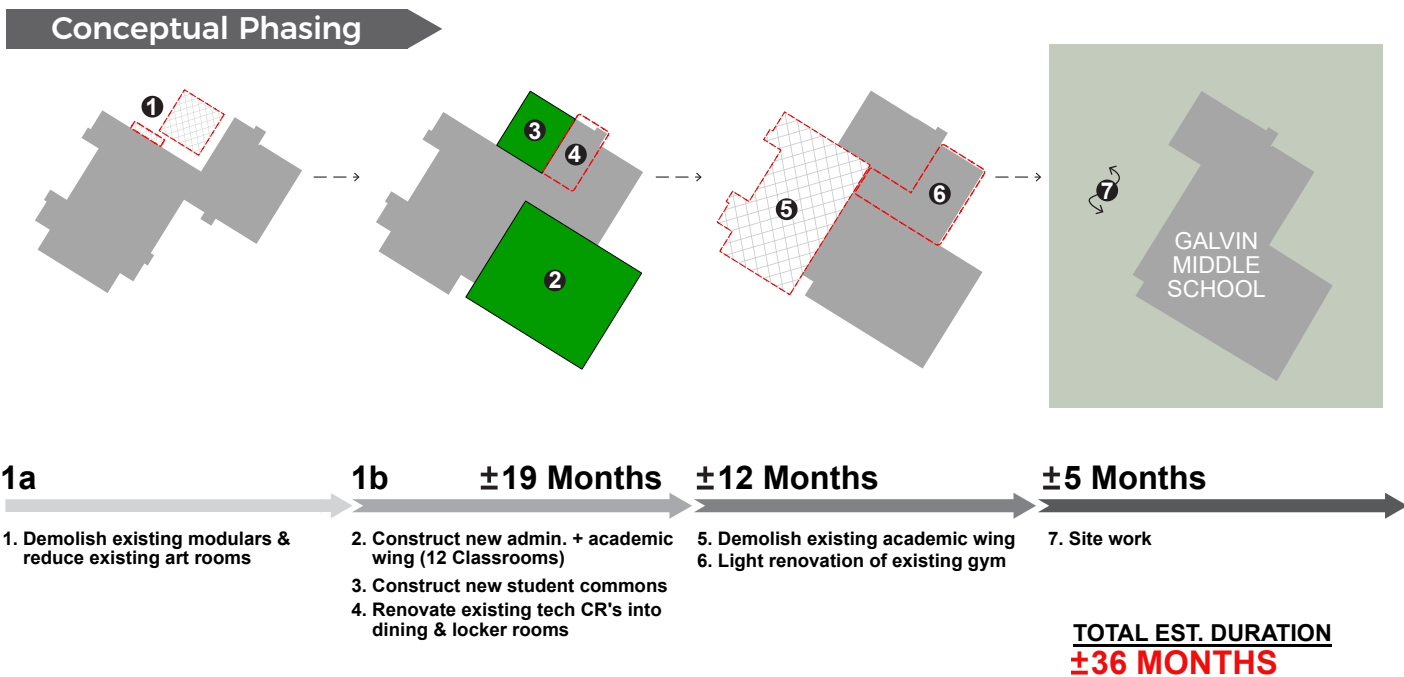
PROGRAM LEGEND	
	Core Academic Spaces
	Special Education
	Art & Music
	Vocations & Technology
	Health & Physical Education
	Administration & Guidance
	Dining & Food Service
	Circulation

## PRELIMINARY OPTIONS

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PRELIMINARY OPTIONS

**6** Addition/Renovation Grades 5-8 (NO Auditorium)



**Option 6**

This option proposes to renovate the gymnasium wing of the existing middle school and demolish the undersized and poorly configured classroom, dining, and student support portion of the existing building. New construction would include a new 3 story academic wing, student support spaces, and a cafetorium. It is similar to option 2, but with the additional programmatic and support spaces required for the added 5th grade level.

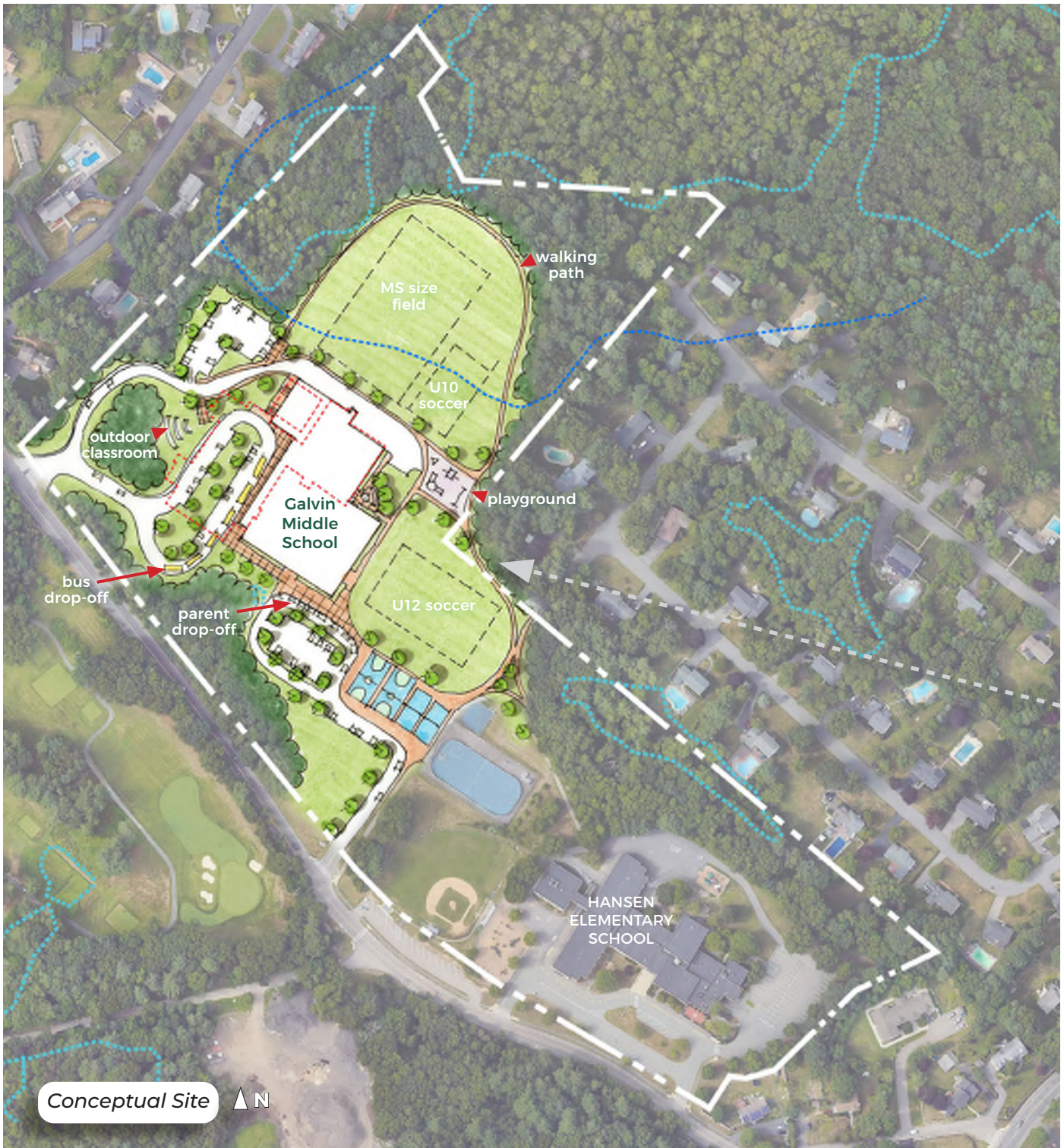
Some reconfiguration of spaces in the existing gymnasium wing would also occur, and all code and life safety issues would be addressed.

Advantages of this option include:

- It provides appropriately sized classrooms with the desired grade level adjacencies and flexible break out spaces

- The new classrooms would receive natural daylight and views, addressing the serious problem of nine landlocked classrooms in the existing school configuration
- It would provide the desired layout for grade level team teaching identified as a major goal in the Educational Program
- It would strategically retain the gymnasium wing which is an appropriate candidate for renovation

It would require significantly more time to complete than all-new construction, and during the three years of phased/occupied construction, students and staff would be coping with increased disruption. Unlike the new construction options, construction activities would occur directly adjacent to student-occupied spaces during the school day.

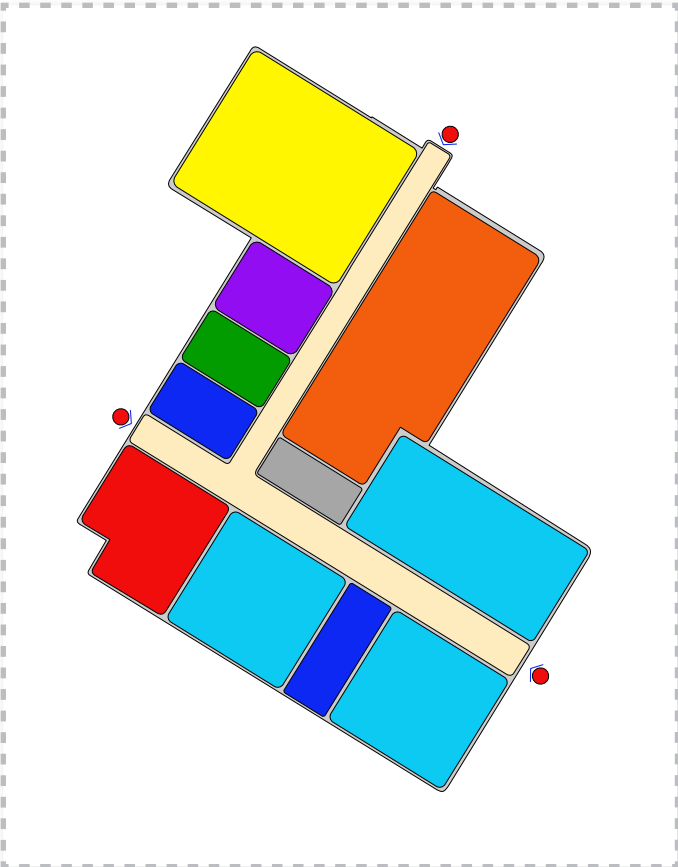


PRELIMINARY OPTIONS

**Option 6: Summary**

<b>GRADE LEVELS</b>	5-8
<b>ENROLLMENT</b>	1020 students
<b>AUDITORIUM</b>	NO
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	188,800 SF
<b>RENOVATED SF</b>	39,600 SF
<b>TOTAL SF</b>	228,400 SF
<b>EST. DURATION</b>	± 36 Months

**6** Conceptual First Floor Plan

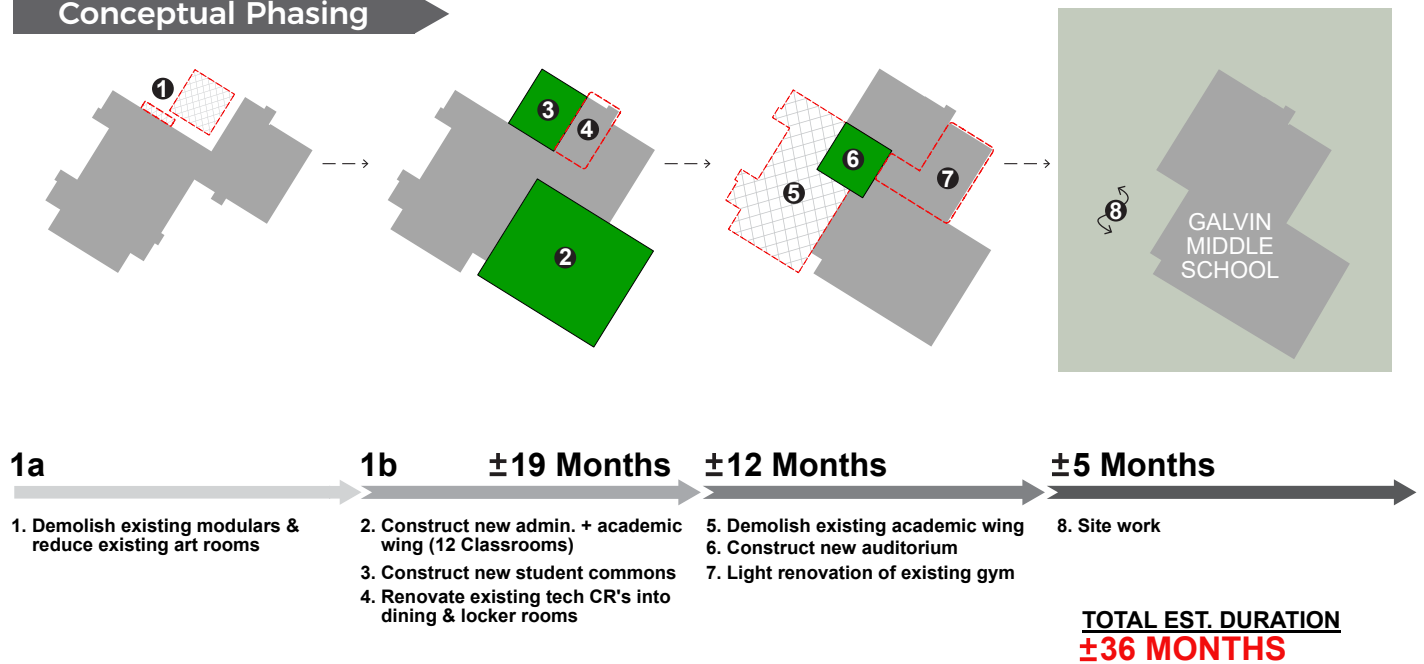


PROGRAM LEGEND	
<span style="color: cyan;">■</span>	Core Academic Spaces
<span style="color: blue;">■</span>	Special Education
<span style="color: purple;">■</span>	Art & Music
<span style="color: green;">■</span>	Vocations & Technology
<span style="color: orange;">■</span>	Health & Physical Education
<span style="color: red;">■</span>	Administration & Guidance
<span style="color: yellow;">■</span>	Dining & Food Service
<span style="color: lightyellow;">■</span>	Circulation

## PRELIMINARY OPTIONS

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## PRELIMINARY OPTIONS

**7****Addition/Renovation Grades 5-8 (with Auditorium)****Conceptual Phasing****Option 7**

This option is similar to option 6, but it also provides a new auditorium. It still includes the renovation of the existing gymnasium wing and demolition of the undersized and poorly configured classroom, dining, and student support portion of the existing building. New construction would include a new 3 story academic wing, student support spaces, student dining, and an auditorium. Like option 6, it includes the additional programmatic and support spaces required for the added 5th grade level.

Some reconfiguration of spaces in the existing gymnasium wing would also occur, and all code and life safety issues would be addressed.

Advantages of this option include:

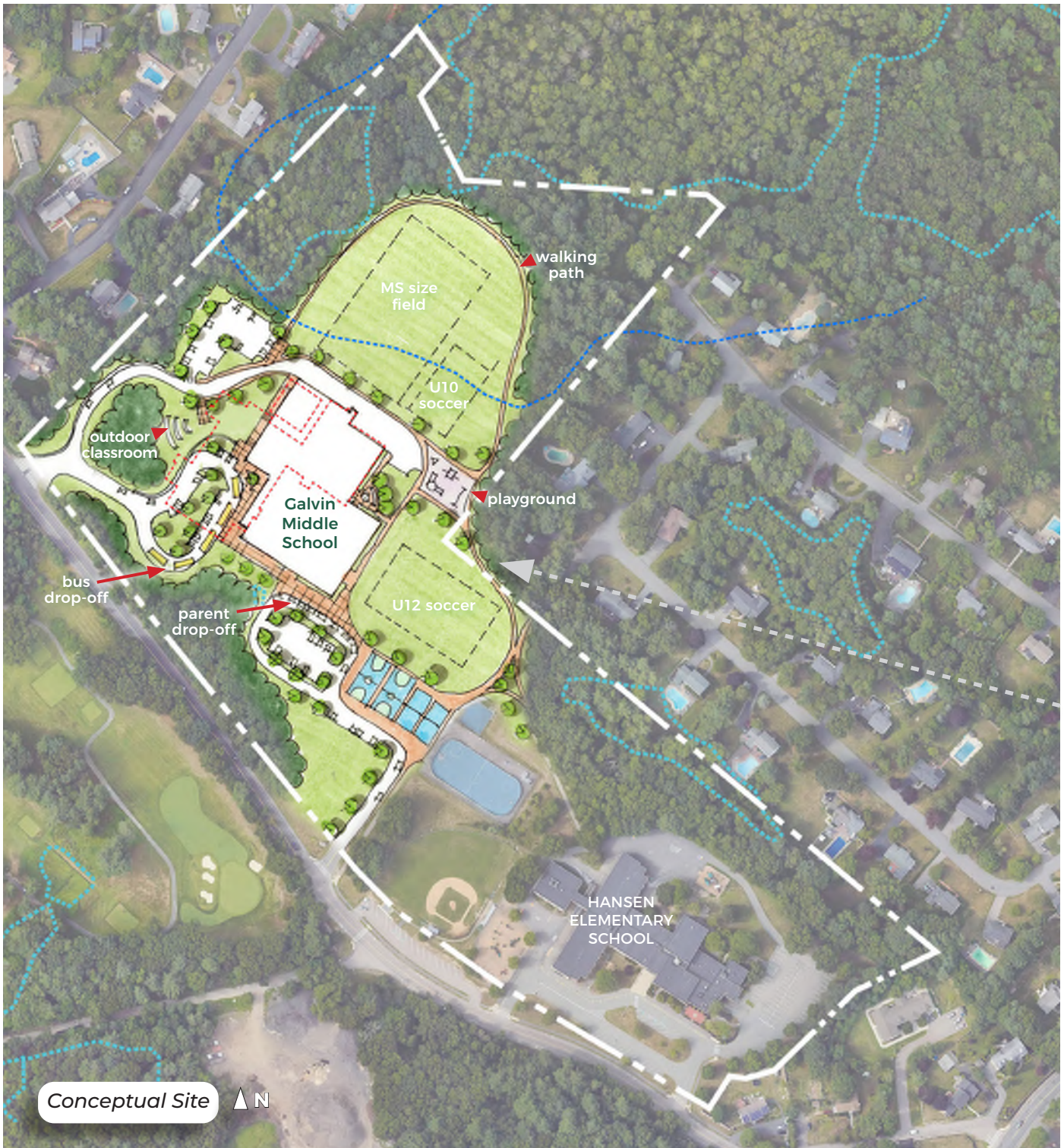
- It provides appropriately sized classrooms with the desired grade

level adjacencies and flexible break out spaces

- The new classrooms would receive natural daylight and views, addressing the serious problem of nine landlocked classrooms in the existing school configuration
- It would provide the desired layout for grade level team teaching identified as a major goal in the Educational Program
- It would include an auditorium to support the existing robust music and performing arts programming at the middle school and provide a multipurpose and acoustically appropriate assembly space
- It would strategically retain the gymnasium wing which is an appropriate candidate for renovation



# PRELIMINARY OPTIONS



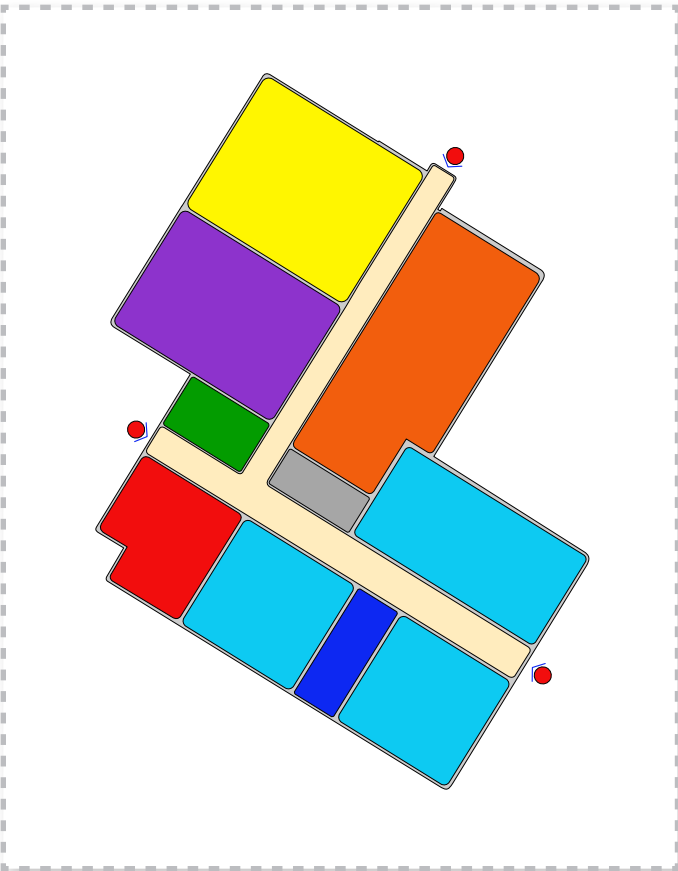
PRELIMINARY OPTIONS

**Option 7: Summary**

<b>GRADE LEVELS</b>	5-8
<b>ENROLLMENT</b>	1020 students
<b>AUDITORIUM</b>	YES
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	199,300 SF
<b>RENOVATED SF</b>	39,600 SF
<b>TOTAL SF</b>	238,900 SF
<b>EST. DURATION</b>	± 36 Months

This option would require significantly more time to complete than all-new construction, and during the three years of phased/occupied construction, students and staff would be coping with increased disruption. Unlike the new construction options, construction activities would occur directly adjacent to student-occupied spaces during the school day.

**7** Conceptual First Floor Plan



PROGRAM LEGEND	
<span style="color: cyan;">■</span>	Core Academic Spaces
<span style="color: blue;">■</span>	Special Education
<span style="color: purple;">■</span>	Art & Music
<span style="color: green;">■</span>	Vocations & Technology
<span style="color: orange;">■</span>	Health & Physical Education
<span style="color: red;">■</span>	Administration & Guidance
<span style="color: yellow;">■</span>	Dining & Food Service
<span style="color: yellow;">■</span>	Circulation

## PRELIMINARY OPTIONS

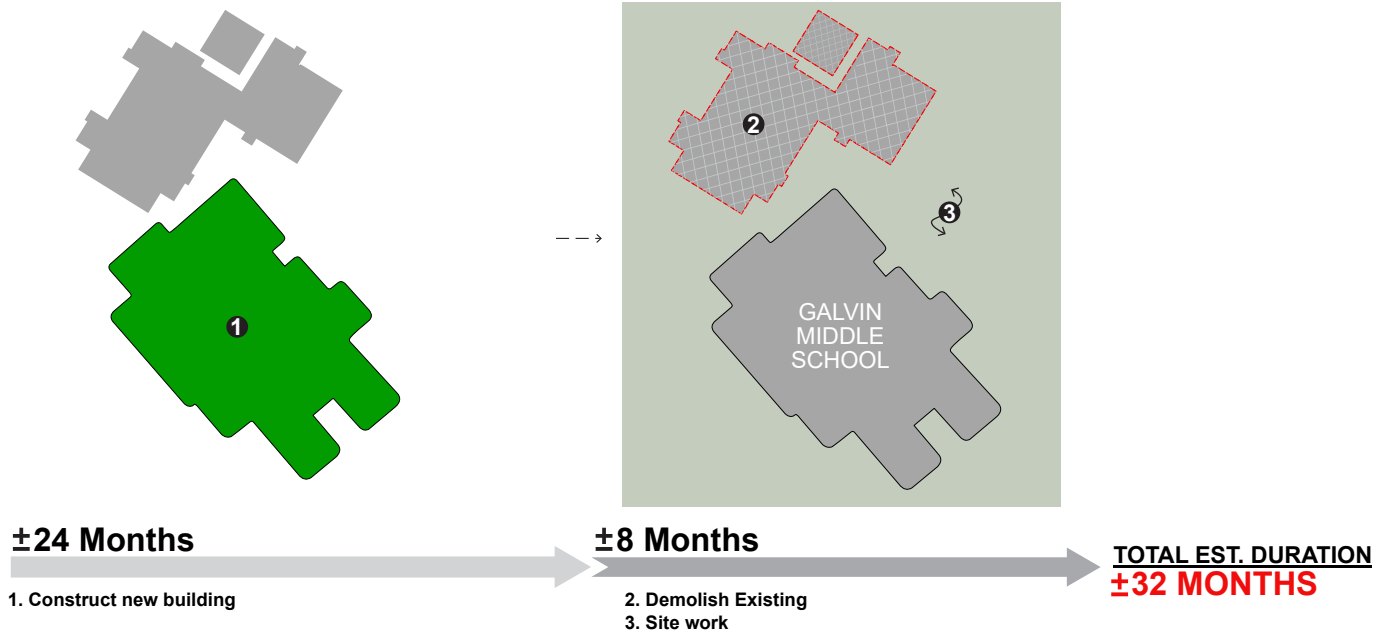
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## PRELIMINARY OPTIONS

8

## New Construction Grades 5-8 (NO Auditorium)

## Conceptual Phasing



*Phasing of a new construction project would be significantly less, compared to an addition/renovation project. It would not require phased-occupied construction of the existing or temporary modular classrooms.*

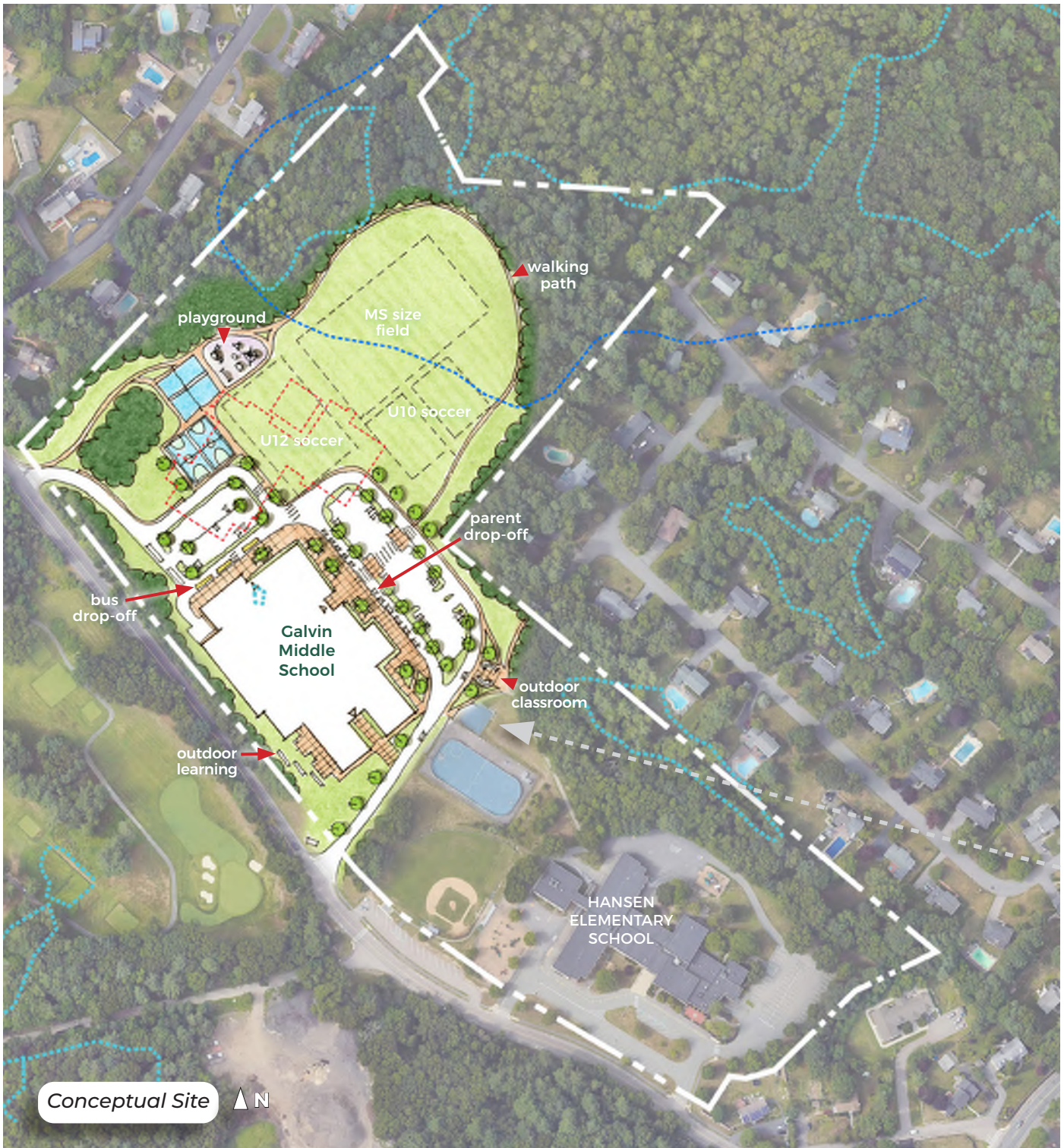
**Option 8**

This option would require the construction of a new 3-story Galvin Middle School on the existing middle school site. The existing facility would be demolished upon completion of the new building. It is similar to option 4, but with the additional programmatic and support spaces required for the added 5th grade level.

Advantages of this option include:

- A building with an identifiable main entrance from the site and building approach
- An efficient building layout and internal circulation
- A flexible building layout
- Efficient site circulation
- An efficient building to operate
- Less disruptive to students during construction compared to an addition/renovation option, and shorter overall construction duration
- Fewer “unknowns” and “unforeseen conditions” compared to an addition/renovation option as the building would be all new
- Ability to easily partition the building for after-hours use

# PRELIMINARY OPTIONS

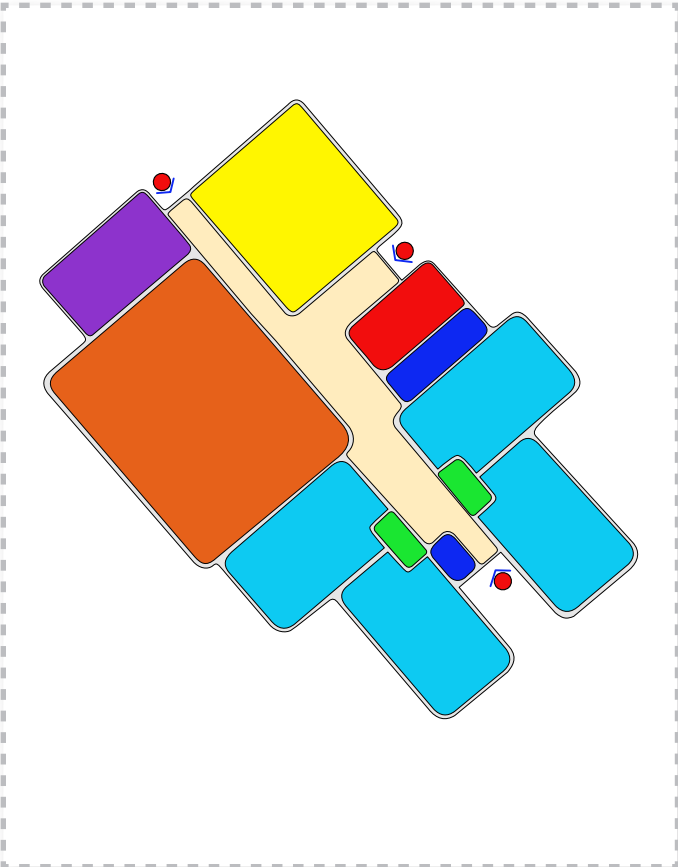


PRELIMINARY OPTIONS

**Option 8: Summary**

<b>GRADE LEVELS</b>	5-8
<b>ENROLLMENT</b>	1020 students
<b>AUDITORIUM</b>	NO
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	204,400 SF
<b>RENOVATED SF</b>	0 SF
<b>TOTAL SF</b>	204,400 SF
<b>EST. DURATION</b>	± 32 Months

**8** Conceptual First Floor Plan



PROGRAM LEGEND	
	Core Academic Spaces
	Special Education
	Art & Music
	Vocations & Technology
	Health & Physical Education
	Administration & Guidance
	Dining & Food Service
	Circulation

## PRELIMINARY OPTIONS

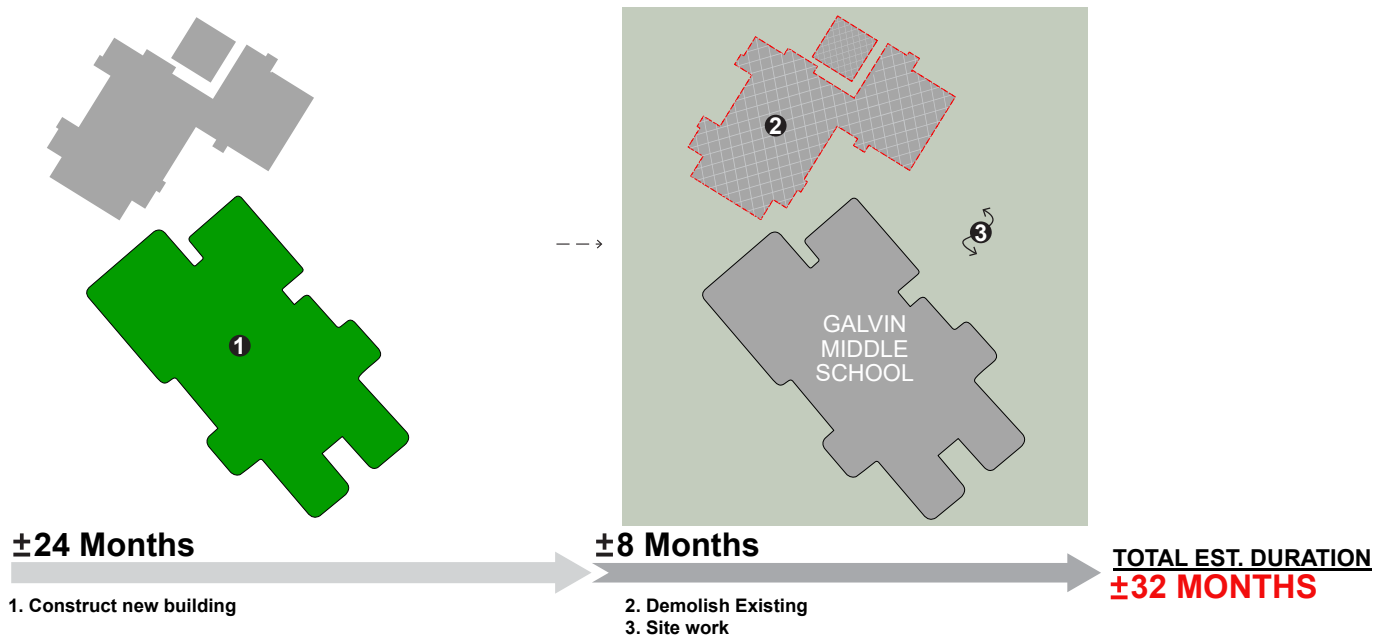
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## PRELIMINARY OPTIONS

9

## New Construction Grades 5-8 (with Auditorium)

## Conceptual Phasing



*Phasing of a new construction project would be significantly less, compared to an addition/renovation project. It would not require phased-occupied construction of the existing or temporary modular classrooms.*

**Option 9**

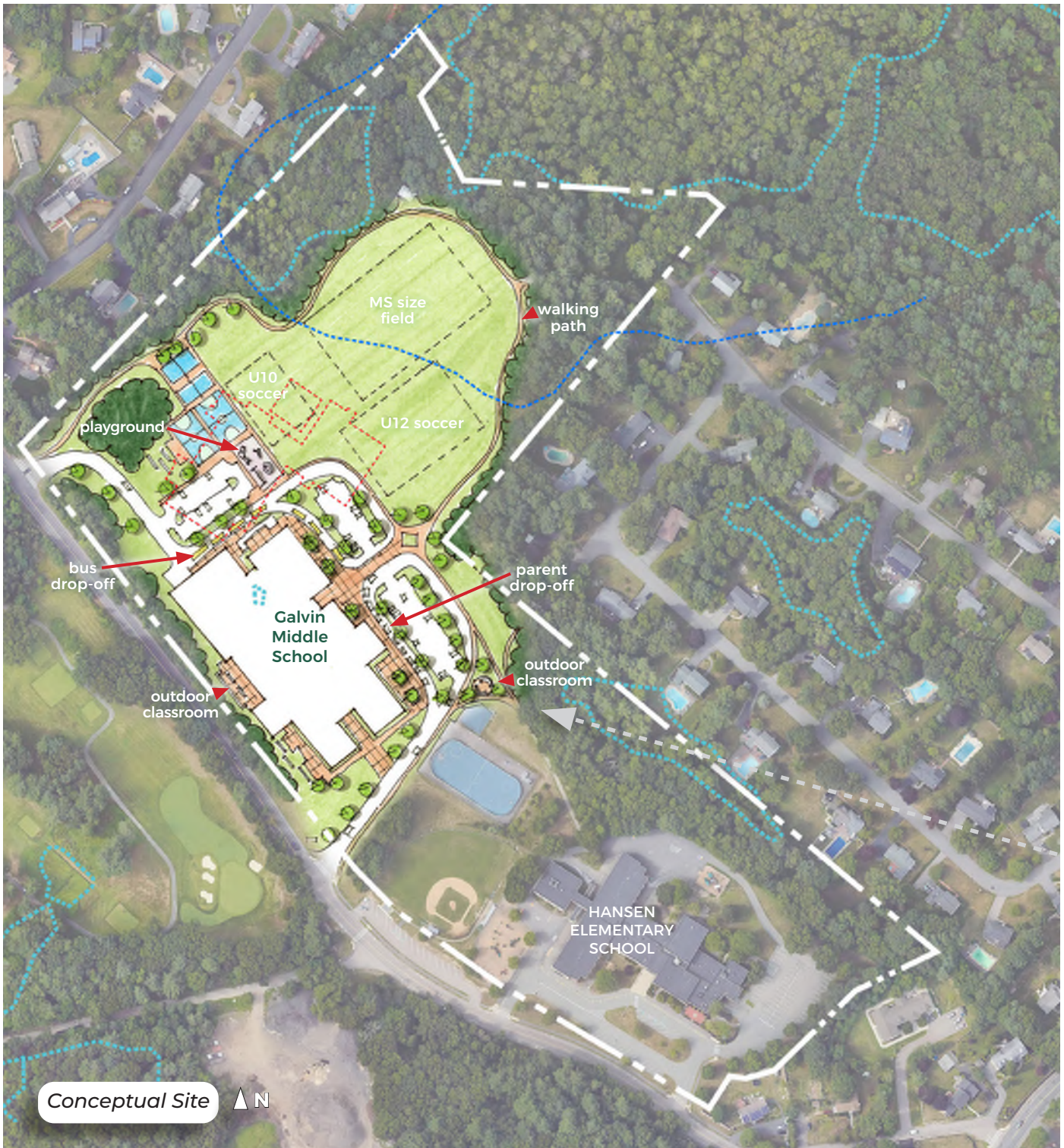
This option is similar to option 8, but it also provides a new auditorium. It would require the construction of a new 3-story Galvin Middle School on the existing middle school site. The existing facility would be demolished upon completion of the new building. Similar to option 8, it provides the additional programmatic and support spaces required for the added 5th grade level.

Advantages of this option include:

- A building with an identifiable main entrance from the site and building approach
- An efficient building layout and internal circulation
- A flexible building layout
- Efficient site circulation
- An efficient building to operate
- Less disruptive to students during construction compared to an addition/renovation option, and shorter overall construction duration
- Fewer “unknowns” and “unforeseen conditions” compared to an addition/renovation option as the building would be all new



# PRELIMINARY OPTIONS



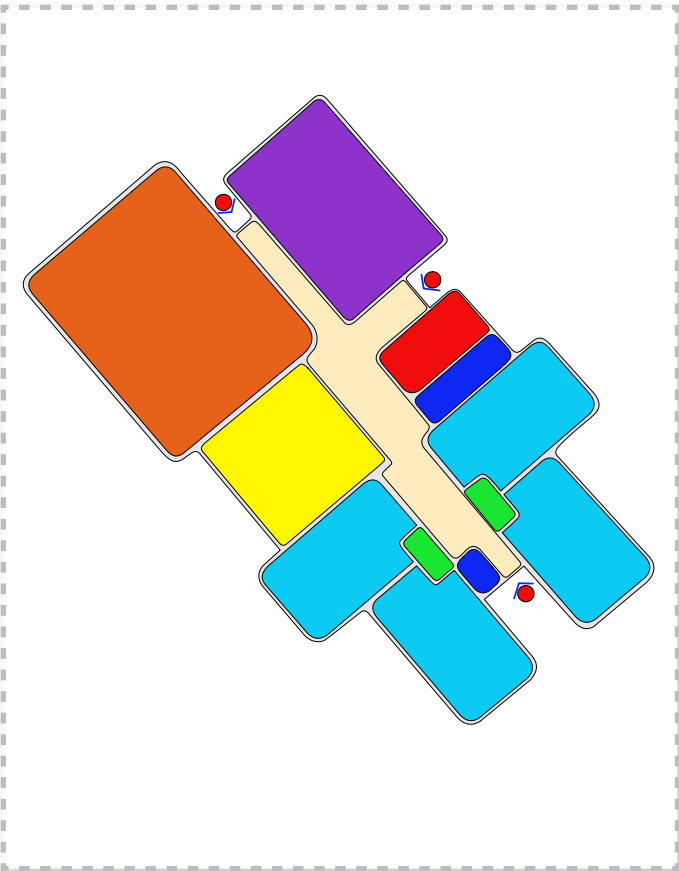
PRELIMINARY OPTIONS

**Option 9: Summary**

<b>GRADE LEVELS</b>	5-8
<b>ENROLLMENT</b>	1020 students
<b>AUDITORIUM</b>	YES
<b>FLOORS</b>	3
<b>ADD/NEW SF</b>	215,100 SF
<b>RENOVATED SF</b>	0 SF
<b>TOTAL SF</b>	215,100 SF
<b>EST. DURATION</b>	± 32 Months

- Ability to easily partition the building for after-hours use
- It would include an auditorium to support the existing robust music and performing arts programming at the middle school and provide a multipurpose and acoustically appropriate assembly space

**9** Conceptual First Floor Plan



PROGRAM LEGEND	
<span style="color: cyan;">■</span>	Core Academic Spaces
<span style="color: blue;">■</span>	Special Education
<span style="color: purple;">■</span>	Art & Music
<span style="color: green;">■</span>	Vocations & Technology
<span style="color: orange;">■</span>	Health & Physical Education
<span style="color: red;">■</span>	Administration & Guidance
<span style="color: yellow;">■</span>	Dining & Food Service
<span style="color: lightyellow;">■</span>	Circulation

## PRELIMINARY OPTIONS

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# Conceptual Cost Estimates

Comparison of preliminary cost estimates of all options		Option 1	Option 2	Option 3	Option 4	Option 5	Option 6	Option 7	Option 8	Option 9
		Code Upgrade/ Base Repair ONLY	(6-8) Add/Reno (NO Auditorium)	(6-8) Add/Reno (w/ Auditorium)	(6-8) New Con. (NO Auditorium)	(6-8) New Con. (w/ Auditorium)	(5-8) Add/Reno (NO Auditorium)	(5-8) Add/Reno (w/ Auditorium)	(5-8) New Con. (NO Auditorium)	(5-8) New Con. (w/ Auditorium)
A	Demolished SF	-	97,503	97,503	136,903	136,903	97,503	97,503	136,903	136,903
B	<b>Total Renovated SF</b>	-	<b>39,600</b>	<b>39,600</b>	-	-	<b>39,600</b>	<b>39,600</b>	-	-
C	<b>Total New SF</b>	-	<b>160,655</b>	<b>170,155</b>	<b>174,935</b>	<b>185,435</b>	<b>188,800</b>	<b>199,300</b>	<b>204,400</b>	<b>215,100</b>
D	<b>Total Renovated SF + New SF</b>	-	<b>200,255</b>	<b>209,755</b>	<b>174,935</b>	<b>185,435</b>	<b>228,400</b>	<b>238,900</b>	<b>204,400</b>	<b>215,100</b>
E	Estimated Duration	±42 months	±36 months	±36 months	±32 months	±32 months	±36 months	±36 months	±32 months	±32 months
F	Site, Building Demo, Haz. Mat., Temporary Construction	\$86,686,904	\$135,443,480	\$144,833,384	\$123,064,131	\$133,726,204	\$152,291,093	\$162,940,821	\$140,645,242	\$151,787,834
G	Phasing, General Conditions & Requirements, Insurance, Estimating Contingency, Escalation	\$16,732,217	\$20,142,402	\$21,151,347	\$14,370,100	\$15,184,683	\$21,952,678	\$23,717,991	\$15,713,297	\$16,564,591
H	<b>Estimated Construction Cost</b>	<b>\$103,419,121</b>	<b>\$155,585,882</b>	<b>\$165,984,731</b>	<b>\$137,434,231</b>	<b>\$148,910,887</b>	<b>\$174,243,771</b>	<b>\$186,037,812</b>	<b>\$156,358,539</b>	<b>\$168,352,425</b>
J	Soft Costs (25%)	\$25,854,780	\$38,896,471	\$41,496,183	\$34,358,558	\$37,227,722	\$43,560,943	\$46,509,453	\$39,322,510	\$42,088,107
K	Contingency for Add/Reno unknowns (5%)	-	\$7,779,294	\$8,299,237	-	-	\$8,712,189	\$9,301,891	-	-
L	<b>Estimated Total Project Cost</b> In Millions (range established by using +/- 5%)	<b>\$122.8</b> <b>\$135.5</b>	<b>\$192.1</b> <b>\$212.3</b>	<b>\$204.9</b> <b>\$226.5</b>	<b>\$163.2</b> <b>\$180.4</b>	<b>\$176.8</b> <b>\$195.5</b>	<b>\$215.2</b> <b>\$237.8</b>	<b>\$229.7</b> <b>\$253.9</b>	<b>\$185.9</b> <b>\$205.5</b>	<b>\$199.9</b> <b>\$220.9</b>

Notes:

- Estimates based on a Net-Zero Ready building. There would be additional cost for a full Net-Zero Energy building with renewable power sources on site.

- Estimates are based off of a design-bid-build procurement method. If construction manager at risk was selected, additional fees would need to be added to these values below.



The estimated construction and total project cost provided are for COMPARISON PURPOSES ONLY. The estimated costs will be updated at the Preliminary Schematic Report (PSR) phase to assist the committee in defining the single preferred solution to proceed into the Schematic Design (SD) phase. The actual costs and total project budget will be established at the end of the Schematic Design (SD) phase for the district's preferred solution.

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## **R**ecommendations for Further Work

Ai3 Architects, LLC recommends that a number of components in the feasibility study receive further and more detailed analysis during the next phase of the study and leading up to any recommendations regarding a Preferred Solution as follows:

- Further development of the building and site plans should be developed and analyzed for each preliminary option. This will enable an evaluation of the educational benefits that can be provided in the various options and the ability of each option to meet primary objectives defined in the educational visioning and the educational programming. A preliminary site plan will also allow an evaluation of the specific impact on existing playfields, parking, site security, site circulation.
- Cost estimates should be refined to reflect the specific preliminary site and building plans developed within the next phase of the feasibility study. These estimates should also be reviewed with MSBA to refine soft costs and potential eligible versus ineligible costs. Current costs estimates assume a specific \$/sf construction cost based on the existing site and building conditions and a database of similar projects. The renovation/addition costs, along with the proposed costs of a new facility, should be evaluated in more detail in the next phase of the feasibility study.

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## 3.1.7 LOCAL ACTIONS & APPROVAL CERTIFICATION

7

### **L**ocal Actions and Approvals Letter

The Local Actions and Approvals Certification Letter has been executed by the Town's Chief Executive Officer, the Superintendent of Schools, and the School Committee Chair, and is included herein.



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**William H. Galvin Middle School (GMS)  
Canton Public School District  
GMS School Building Committee**

October 27, 2023

Mr. Mike McGurl  
Director of Capital Planning  
40 Broad Street  
Boston, Massachusetts 02109

Re: GMS Feasibility Study  
Module 3 – Local Actions and Approval Certification

Dear Mr. McGurl:

The GMS School Building Committee (“SBC”) has completed its review of the Feasibility Study – Preliminary Design Program for the William H. Galvin Middle School Project (the “Project”), and on October 18, 2023, the SBC voted to approve and authorize the Designer and the Owner’s Project Manager to submit the Feasibility Study related materials to the MSBA for its consideration. A certified copy of the SBC meeting minutes from November 2, 2022 through September 20, 2023 is attached for record. The certified copy of the October 18, 2023 meeting minutes which includes the specific language of the vote and the number of votes in favor, opposed, and abstained will be sent along after their approval at the SBC’s next meeting.

Since the MSBA’s Board of Directors invited the District to conduct a Feasibility Study on October 26, 2022, the SBC has held 8 meetings regarding the proposed project, in compliance with the state Open Meeting Law.

The following is a summary of GMS SBC meetings held to discuss and/or present to the public material related to the Project since the Committee’s inception. Where no action was required or taken, or where discussion is noted, please refer to the attached meeting minutes for additional detail. Notice for each meeting was posted at the GMS School Department office and on the GMS website.

11/02/2022	6:00pm	GMS School Building Committee Meeting – In Person Meeting @ Rodman Building
Call to Order		No action required/taken.
Introductions		No action required/taken.
Owner’s Project Manager Selection process		No action required/taken.
Review timelines for the Feasibility Phase		No action required/taken.
Future meeting schedule		No action required/taken.
Adjourn		No action required/taken.
12/07/2022	6:00pm	GMS School Building Committee Meeting - In Person @ Rodman Building
Call to Order		No action required/taken.
Review OPM RFS Draft		No action required/taken.
Review OPM RFS Selection Timeline		No action required/taken.
Vote to Appoint: OPM Selection Committee		Motion taken/approved.
Vote to approve meeting minutes		Motion taken/approved.
Next Meeting		No action required/taken.
Adjourn		No action required/taken.
02/15/2023	6:00pm	GMS School Building Committee Meeting - In Person @ Rodman Building
Call to Order		No action required/taken.
Membership update		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved.
Review OPM selection package sent to MSBA		No action required/taken.
Review designer selection process		No action required/taken.
Feasibility Phase next steps and timeline		No action required/taken.
Schedule upcoming meeting		No action required/taken.
Adjourn		No action required/taken.
03/15/2023	6:00pm	GMS School Building Committee Meeting - Remote Meeting
Call to Order		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved.
OPM Introductions		No action required/taken.
Review/Vote on Designer Selection RFS		Motion taken/approved
Schedule upcoming meeting		No action required/taken.
Adjourn		No action required/taken.
06/14/2023	6:00pm	GMS School Building Committee Meeting - Remote Meeting
Call to Order		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved
Vote to approve invoices		Motion taken/approved
Feasibility Study Budget Update		No action required/taken.
Project Timeline		No action required/taken.
Designer Procurement Update		No action required/taken.
Public Comment		No action required/taken.
Next Meeting		No action required/taken.
Adjourn		No action required/taken.

06/28/2023	5:00pm	GMS School Building Committee Meeting - Remote Meeting
Call to Order		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved.
Designer Selection Process & Contract Review		Motion taken/approved.
Next Steps		No action required/taken.
Next Meeting		No action required/taken.
Adjourn		No action required/taken.
09/20/2023	5:30pm	GMS School Building Committee Meeting - Remote Meeting
Call to Order		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved.
Vote to approve invoices		Motion taken/approved.
Project Budget Update		No action required/taken.
Schedule Review		No action required/taken.
MSBA Process Update		No action required/taken.
Next Steps		No action required/taken.
Next Meeting		No action required/taken.
Adjourn		No action required/taken.
10/18/2023	5:30pm	GMS School Building Committee Meeting - Remote Meeting
Call to Order		No action required/taken.
Vote to approve meeting minutes		Motion taken/approved.
Vote to approve invoices		Motion taken/approved.
Feasibility Study Budget Update		No action required/taken.
Schedule Overview		No action required/taken.
Preliminary Design Program (PDP) Summary		No action required/taken.
Vote to submit PDP to MSBA		Motion taken/approved.
Public Comment		No action required/taken.
Next Meeting		No action required/taken.
Adjourn		No action required/taken.

In addition to the SBC meetings listed above, the District held two community meeting, at which the Project was discussed. Formal meeting notes were not kept for this community meeting.

GMS Community Forum #1

*Open meetings w/ brief informational presentation followed by public comment.  
No formal meeting notes were taken.*

09/27/2022	7:00pm	GMS Community Forum #1 In Person @ Canton High School Library
Team Introductions		
The MSBA Process		
Project Timeline / Project Milestones		
Work To Date		
Next Steps		
Site Plan Community Use Charette		
Questions & Answers		

GMS Community Forum #2

*Open meetings w/ brief informational presentation followed by public comment.  
No formal meeting notes were taken.*

10/25/2022 7:00pm

GMS Community Forum #2  
In Person @ Galvin Middle School Library

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Grade Configuration  
Student Centered Design  
Existing Elementary School Analysis  
Massachusetts Middle School Configurations  
Social Emotional Learning Aspects  
Case Study Interviews with Natick & Quincy  
Building Organization Options  
Questions & Answers  
Community Engagement / Live Polling

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Agenda's, meeting minutes, and presentation materials for each of the above listed meetings are available for public viewing electronically via the following links:

For SBC information: <https://galvinmsproject.com/>

For School Committee Information: <https://www.cantonma.org/school-committee>

To the best of my knowledge and belief, each of the meetings listed above complied with the requirements of the Open Meeting Law, M.G.L. c. 30A, §§ 18-25 and 940 CMR 29 *et seq.*

If you have any questions or require any additional information, please contact Jen Carlson via e-mail at [jcarlson@leftfieldpm.com](mailto:jcarlson@leftfieldpm.com).

By signing this Local Action and Approval Certification, I hereby certify that, to the best of my knowledge and belief, the information supplied by the District in this Certification is true, complete, and accurate.

By signing this Local Action and Approval Certification, I hereby certify that, to the best of my knowledge and belief, the information supplied by the District in this Certification is true, complete, and accurate.

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**By: Charles E. Doody**

**Title: Town Administrator**

**Date:**

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**By: Derek Folan**

**Title: Superintendent of Schools**

**Date:**

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**By: Kendal O'Halloran**

**Title: Chair of the School Committee**

**Date:**

## **School Building Committee Agendas & Minutes**

The agendas and meeting minutes for all Galvin Middle School Building Committee (SBC) Meetings noted on the certification letter are included in the following pages.

Each set of meeting minutes was approved by a vote of the committee at the beginning of subsequent meeting.

All actions taken by the SBC are recorded in the meeting minutes. Actions are authorized by a vote of the committee, and the meeting minutes record the specific vote language and resulting vote.

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Canton School Building Committee  
Rodman Administration Building  
960 Washington Street, Canton MA 02021

**November 2, 2022**

**6:00 PM**

**Rodman Building  
Room 33A**

**Purpose/Agenda**

1. Introductions
2. Owner's Project Manager (OPM) Selection process
3. Review timelines for the Feasibility Phase
4. Future meeting schedule



Approved by the School Building Committee  
on December 7, 2022

**Canton School Building Committee  
November 2, 2022 6:00 PM  
Meeting Minutes**

- 1. Introductions:** Prior to calling the meeting to order, Superintendent Folan welcomed the group and thanked them for their service. Mr. Folan reminded them that the committee is purposefully large. With a broad, ambitious, and considerably lengthy mission, Mr. Folan acknowledged and understood that every member may not make every meeting, but requested members notify the administration office of any absences prior to the session. Members then introduced themselves, offering their professional and personal backgrounds, including previous experiences, and rationale for being a part of the committee.

Superintendent Folan, as Chair, asked for a motion to open the Wednesday, November 2nd, 2022 Building Committee meeting at 6:17 pm. Mr. Connolly made the motion and Mr. Marshall seconded.

The vote was recorded as follows:

Superintendent Folan	yea
Mr. Stephen Marshall	yea
John Connolly	yea
Jon Mulhern	yea
Brian Lynch	yea
Bob Benedetti	yea
Bob McCarthy	yea
Mike Loughran	yea
Louis Tarmy	yea
Sarah Shannon	yea
Andrea Stuart	yea
Amy Tom	yea
Randy Scollins	yea

Vote was unanimous and recorded as 13-0

- 2. Owner's Project Manager (OPM) Selection Process:** A concise description of the MSBA process was given, including steps CPS has taken to complete a statement of interest and a number of deliverables. CPS has now entered the Feasibility Phase where a number of tasks need completion with strict adherence to the signed MSBA agreement. The Building Committee's charge is to provide good input and opinions on tasks, focusing on what is in the best interests of Canton students. Mr. Folan explained how this committee is administered;

Approved by the School Building Committee  
on December 7, 2022

voting versus non-voting members was defined. In accordance with MSBA compliance, the Building Committee is a subcommittee of the BRC and voting members include:

Derek Folan  
Stephen Marshall  
Randy Scollins  
John Connolly  
Kristian Merenda  
Bob McCarthy  
Bob Benedetti  
Charles Doody

MSBA offers a 47.21% reimbursement rate for the OPM as long as the town works within their guidelines. Mr. McCarthy suggested that the subcommittee review carefully each applicant's previous roles and experience in all aspects of project management to assure the person selected has the best skill set for Canton. The goal will be to retain this OPM through completion of the project. The group agreed. Mr. Scollins asked about the efficacy of a virtual information session offered by the Inspector General's office regarding this process. Mr. Tarmy, who has experience in this arena, suggested the session was worthwhile and will also send committee members his company's presentation as well.

- 3. Timelines for the Feasibility Phase:** Chair Folan reminded the group that the guidelines of the signed contract with MSBA must be adhered to or Canton risks being released by the MSBA.
- a. Based on the template provided by MSBA, the draft OPM RFS must be received by MSBA for review on December 15, 2022. Mr. Marshall hopes to target December 1st to allow a 2 week period for MSBA review.
  - b. Advertisement placed in the Central Register by December 29, 2022;
  - c. Advertisement appears in the Central Register by January 4, 2023;
  - d. Applications due to the District by January 18, 2023
  - e. Selection Package received by MSBA for review and vote by February 8, 2023
  - f. District presents at OPM Panel on March 6, 2023. This is a non-negotiable date.

Committee members voiced concern over the short period of time to review candidates. Mr. Marshall quelled apprehensions suggesting that, although it is tight, the timeline can be carried out.

Mr. Marshall inquired of Mr. Tarmy if his firm is considering bidding on this project. Mr. Tarmy responded by saying the company would not be bidding as they are quite busy with current projects.

Approved by the School Building Committee  
on December 7, 2022

Chair Folan announced procedures for the committee:

- a. Next meeting will be held **Wednesday, December 7th at 6pm**. Calendar invites will be sent out prior to all meetings;
- b. Links to a shared drive housing all appropriate documents will be available to all members;
- c. All members of the committee must abide by open meeting law;
- d. Members will be asked to sign off on conflict of interest;
- e. Mr. Folan encouraged members to call, phone, or text him with any questions, concerns or comments at any time, and made his cell number available to all.

**5. Adjournment:** With no further questions from the committee, Superintendent Folan asked for a motion to adjourn the Wednesday, November 2nd, 2022 Building Committee meeting at 7:01 pm.

Mr. Scollins made the motion and Mr. McCarthy seconded.

The vote was recorded as follows:

Superintendent Folan	yea
Mr. Stephen Marshall	yea
Jack Connolly	yea
Jon Mulhern	yea
Brian Lynch	yea
Bob Bennedetti	yea
Bob McCarthy	yea
Mike Loughran	yea
Louis Tarmy	yea
Sarah Shannon	yea
Andrea Stuart	yea
Amy Tom	yea
Randy Scollins	yea

Vote was unanimous and recorded as 13-0

Canton School Building Committee  
Rodman Administration Building  
960 Washington Street, Canton MA 02021

**December 7, 2022**

**6:00 PM**

**Rodman Building  
Room 33A**

**Purpose/Agenda**

1. Review Owner's Project Manager (OPM ) Request for Services (RFS) Draft
2. Review OPM RFS Selection Timeline
3. Vote to Appoint: OPM Selection Committee
4. Vote to Approve: Minutes of November 2, 2022
4. Schedule Upcoming Meeting

Approved by the Committee  
On February 15, 2023

**Canton School Building Committee**  
Rodman Administration Building  
960 Washington Street, Canton MA 02021  
December 7, 2022 6:00 PM  
Rodman Building Room 33A  
**MINUTES**

Superintendent Folan asked for a motion to convene the Wednesday, December 7, 2022 Canton School Building Committee at 6:03 pm. Mr. McCarthy made the motion and seconded by Mr. Connolly. The vote was unanimous and recorded as 5-0:

Derek Folan	yea
Stephen Marshall	yea
Bob McCarthy	yea
John Connolly	yea
Randy Scollins	yea

**Attendees:**

Derek Folan  
Stephen Marshall  
Bob McCarthy  
Tina Perez  
John Connolly  
Louis Tarmy  
Jonathan Mulhern  
Sarah Shannon  
Amy Tom  
Randy Scollins  
Andrea Stuart  
Brian Lynch

**Absent:**

Kristian Merenda  
Bob Benedetti  
Andrea Capone  
Mike Loughran  
Charles Doody

1. **Review Owner's Project Manager (OPM) Request for Services (RFS) Draft:** Mr. Marshall reviewed the updated RFS that included changes requested by the committee. There were no questions or requests for further discussion.

Mr. Marshall requested a motion to approve the RFS and authorize the Selection Committee to issue the RFS.

Motion was made by Randy Scollins and seconded by Bob McCarthy.

Vote was unanimous and recorded as follows:

Derek Folan	yea
Stephen Marshall	yea
Bob McCarthy	yea

Approved by the Committee  
On February 15, 2023

John Connolly        yea  
Randy Scollins        yea

2. **Review OPM RFS Selection Timeline:** Mr. Marshall reviewed the course of hiring an OPM including requirements, reviews and due dates for each step of the process. Critical dates include:

- a. 11.28.22-RFS due to MSBA. Mr Marshall expects MSBA review will be back in his hands by 12/14/22;
- b. 12.14.22-RFS appears in the Canton Citizen;
- c. 12.21.22-Non mandatory Informational meeting and site inspection starting at 2pm at the Rodman Building.Meeting will include a tour of the Galvin Middle School at 2:30. Mr. Marshall noted that a tour of all CPS buildings will be available on 12.21 as well if there is interest from the committee.
- d. 1.9.23-last day for questions from applicants-4pm close;
- e. 1.11.2023-applications due by 4pm;
- f. 1.20.23-OPM subcommittee decides on short list of applicants;
- g. 1.20.23-1.27.23-candidate interviews conducted;
- h. 1.27.23-Negotiate with final candidate;
- i. 2.8.23-OPM final candidate selection sent to MSBA for review and approval;
- j. 3/6/2023-anticipated MSBA OPM Review Panel Meeting
- k. 3.22.23-anticipated execution of contract with approved OPM.

3. **Vote to Appoint: OPM Selection Committee:** Superintendent Folan made a motion to entertain approving, as listed below, the OPM Selection Committee.

Bob McCarthy-Chair of the BRC  
Derek Folan-Chair, School Building Committee  
Stephen Marshall-CPS Director of Operations and Finance, acting as Procurement Officer, an MSBA requirement  
Kristian Merenda-Chair, School Committee  
Bob Benedetti-BRC Committee member  
Chuck Armando-BRC Committee member  
John McCourt-BRC Committee member

Motion was made by Randy Scollins and seconded by Bob McCarthy. Mr. Tarmy requested some discussion of the selected team. Mr. Tarmy suggested adding Ms. Perez or himself to the subcommittee group as each of them has direct and current OPM experience. Discussion ensued. Mr. McCarthy expressed concern over the risk of any perceived conflict of interest. Both Mr. Tarmy and Ms. Perez, on behalf of their respective companies, stated that neither will pursue negotiations for this contract. It was also noted that anything discussed in this subcommittee is confidential and will not be brought back to the full committee. Mr. Marshall indicated that a non-voting advisor is allowed to sit for candidate interviews and suggested the best resolution may be to have Ms. Perez sit on the

Approved by the Committee  
On February 15, 2023

subcommittee as an advisor.

Mr. Tarmy also asked the subcommittee to consider weighting the voting system differently as it may allow the strongest candidate to rise to the top.

Chair Folan suggested that the committee allow him to get more information from the MSBA liaison and asked the group to vote in the present members (7 in total), allow him time to discuss options with MSBA liaison; review MSBA timeline with Ms. Perez to be sure she has the bandwidth for all the meeting dates throughout the process; and return to the committee with a proposed resolution.

Ms. Stuart asked what the Building Committee might look like if there is a change in the membership of the School Committee, specifically, if Ms. Merenda decides to step down as Chair. Mr. Folan assured her that there is a process for that; however, regardless of her title, Ms. Merenda acts as a representative of the School Committee.

Mr. Folan reinforced that he will keep all members involved. Mr. McCarthy reminded the committee that the process is long and there will be many opportunities for all. Mr. Folan then called for a vote to approve appointment of the OPM Selection Committee as written. Vote was unanimous and recorded as follows:

Derek Folan	yea
Stephen Marshall	yea
Bob McCarthy	yea
John Connolly	yea
Randy Scollins	yea

**4. Approval of Minutes of November 2, 2022:** Chair Folan asked for a motion to approve the November 2, 2022 minutes as presented. The motion was made by Mr. Scollins and seconded by Mr. McCarthy. Hearing no request for discussion, Mr. Folan called for a vote:

Vote was unanimous and recorded as follows:

Derek Folan	yea
Stephen Marshall	yea
Bob McCarthy	yea
John Connolly	yea
Randy Scollins	yea

**5. Schedule Upcoming Meeting:** Chair Folan recommended that the School Building Committee reconvene on Wednesday, February 15, 2023. All present Committee members agreed to that date.

Mr. Folan voiced that it will be vital to build relationships in every part of the community to establish this building process as a whole community effort. As homework, Mr. Folan asked each committee member to think about ways each of them can build community relationships in and out of their circles that will strategically persuade all members of the community that the new school is integral in enhancing the lives of all of Canton's residents. He asked members to bring their ideas to the February meeting.

**6. Adjournment:** With no further business to discuss, Chair Folan called for a motion to adjourn the Wednesday, December 7, 2022 Canton School Building Committee meeting at 6:53 pm. Mr. McCarthy made the motion and Mr. Connolly seconded. Vote was unanimous and recorded as follows:

Derek Folan	yea
-------------	-----

Approved by the Committee  
On February 15, 2023

Stephen Marshall	yea
Bob McCarthy	yea
John Connolly	yea
Randy Scollins	yea



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Canton School Building Committee  
Rodman Administration Building  
960 Washington Street, Canton MA 02021

**February 15, 2023**

**6:00 PM**

**Rodman Building  
Room 33A**

**Purpose/Agenda**

1. Membership update
2. Vote to approve: Minutes of December 7, 2022
3. Review OPM selection package provided to MSBA
4. Review designer selection process
5. Feasibility Phase next steps and timeline
6. Schedule upcoming meeting

Approved on March 15, 2023

**Canton Schools Building Committee  
Rodman Administration Building  
960 Washington Street, Canton MA 02021  
February 15, 2023 6:00 PM  
Rodman Building Room 33A  
MINUTES**

Superintendent Folan called the Wednesday, February 15, 2023 Canton School Building Committee to order at 6:02 pm.

**Attendees:**

Derek Folan  
Stephen Marshall  
Bob McCarthy  
Tina Perez  
Jonathan Mulhern  
Sarah Shannon  
Randy Scollins  
Tom Keleher  
Bob Benedetti  
Mike Loughran  
Charles Doody

**Absent:**

Kristian Merenda  
Louis Tarmy  
John Connolly  
Brian Lynch  
Andrea Stuart  
Andrea Tom

- 1. Membership Update:** Superintendent Folan welcomed new Building Committee member, Mr. Tom Keleher, Deputy Chief of the Canton Police Department.
- 2. Vote to approve Minutes of December 7, 2022:** Hearing no questions or concerns from the group, Mr Folan asked for a motion to approve the December 7, 2022 minutes as written and presented. Mr Scollins made the motion; Mr. McCarthy seconded. Motion was passed unanimously (6-0) and recorded as follows:

Derek Folan	yea	
Stephen Marshall	yea	
Bob McCarthy	yea	
Randy Scollins	yea	
Bob Benedetti		yea
Charles Doody	yea	

Approved on March 15, 2023

- 3. **Review OPM Selection Package provided by MSBA:** Superintendent Folan gave a brief review of the selection process. 7 companies submitted proposals. The final candidate was chosen after interviews and proposal presentations. These documents were then sent to MSBA for their consideration. MSBA representatives have reviewed and asked for some minor corrections and more detail for a few items. Discussion ensued about the finalist’s qualifications, highlighting their deep commitment to earning trust in and realizing community support.

Canton town officials are due back at MSBA on March 6th for an open meeting that will determine MSBA approval of Canton’s final candidate. If approved, this company will take over the project. An official, public announcement will be made after MSBA approval and an agreement has been signed and executed by both candidate and Town of Canton officials.

- 4. **Review Designer Selection Process:** Once the OPM has been approved and contracted, their first task will be to review and select an architect/firm and work with them through the preliminary design phase including a schematic design. Timeline for this phase is through April 2024. Preliminary design is expected to be completed by November 2023. It was noted that renovation is still being considered. A short list of options including pricing will be due by February 2024 and the final approval by MSBA will be expected by October of 2024. The town then has 60 days to present full financing for the entire project. There was discussion about best ways to raise finances and garner community support.

The Building Committee will ask OPM for strategies on how to inform the community and prepare a discussion of grades that will be included in the Middle School (5-8 or 6-8).

- 5. **Schedule next meeting:** Following the outcome of the March 6th MSBA approval meeting and the preparedness of the final candidate, Mr. Folan asked the group to tentatively hold Wednesdays March 22 and 29 for the next Canton School Building Committee meeting.

- 6. **Adjournment:** Superintendent Folan called for a motion to adjourn the Wednesday, February 15, 2023 Canton School Building Committee at 6:45 pm. Mr. McCarthy made the motion and Mr. Benedetti. The vote was unanimous at 6-0.

Derek Folan	yea
Stephen Marshall	yea
Bob McCarthy	yea
Randy Scollins	yea
Bob Benedetti	yea
Charles Doody	yea

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## **Canton School Building Committee**

Amended (location) 3/13/2023

**March 15, 2023**

**6:00 PM**

**Zoom (link below)**

### **Purpose/Agenda**

1. Vote to approve: Minutes of February 15, 2023
2. LeftField introductions
3. Review/Vote on Designer Selection Request for Services (RFS)
4. Schedule upcoming meeting

### Join Zoom Meeting

<https://cantonma-org.zoom.us/j/85635221600?pwd=dU5hYXhjdk1TUXI2dTVwb1o3aE1wQT09>

Meeting ID: 856 3522 1600

Passcode: 425194

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+1 646 931 3860 US

+1 301 715 8592 US (Washington DC)

+1 305 224 1968 US

Approved on June 14, 2023

**Canton School Building Committee  
March 15, 2023 (Via Zoom)  
Minutes**

- 1. Call to Order:** Superintendent Folan called the Wednesday, March 15, 2023 Canton School Building Committee to order at 6:03 pm and asked for roll call for attendance purposes.

**Attendees:**

Derek Folan  
Stephen Marshall  
Bob McCarthy  
Tina Perez  
Jonathan Mulhern  
Sarah Shannon  
Randy Scollins (left the meeting at 6:58pm)  
Tom Keleher  
Charles Doody  
Lou Tarmy  
Kristian Merenda  
Louis Tarmy  
John Connolly  
Brian Lynch  
Andrea Stuart  
Andrea Tom

**Absent:**

Bob Benedetti  
Brian Lynch  
Mike Loughran

- 2. Vote to approve: Minutes of February 15, 2023:** Hearing no requests for further review of the 2/15/23 minutes, Mr. Folan called for a motion to approve the minutes of Wednesday, February 15, 2023 as written and presented. Mr. McCarthy made the motion; Mr. Scollins seconded. Roll call vote was unanimous at 7-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Kristian Merenda	yea
Bob McCarthy	yea
Randy Scollins	yea
Charlie Doody	yea
Derek Folan	yea

Approved on June 14, 2023

**2. LeftField introductions:** On behalf of the School Building Committee (SBC), Mr. Folan welcomed LeftField, the recently selected OPM for the GMS building project. Members of the LeftField Team introduced themselves, each giving a brief description of their experience and role in the GMS project. Of particular note were Mr. Jim Rogers, Principal Lead; Jen Carlson, Liaison to CPS; Linda Liporto, Senior Project Manager; Adele Sands, Educational Liaison; and Lynn Stapleton, Team Advisor. Members of the SBC introduced themselves as well.

**3. Review/Vote on Designer Selection Request for Services (RFS):** The LeftField team provided a presentation including steps in the MSBA process, conceptual project and feasibility budgets, and the next step, the Designer Selection Process, including composition and governance of the Designer Selection Panel (DSP). Selection criteria as well as guidelines for awarding the contract within a condensed timeline were discussed. Due dates of particular concern to the committee were also examined. Mr. Rogers asked for a vote to approve the draft RFS as written, assuring the group that he and his team will work to coordinate dates that are within the MSBA timeline and convenient for members of the SBC. With that, Mr. Folan asked for a motion for approval of the draft Designer Selection Request for Services (RFS) as written and presented. Mr. McCarthy made the motion; Mr Doody seconded. A roll call vote was unanimous at 7-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Kristian Merenda	yea
Bob McCarthy	yea
Randy Scollins	yea
Charlie Doody	yea
Derek Folan	yea

A discussion followed regarding the selection of the three (3) town representatives to the Designer Selection Panel. Prerequisites include a representative from the Canton School Committee or their designee, the Superintendent of Schools or their designee, and the CEO of Canton or their designee. School Committee Chair, Kristian Merenda, Superintendent Derek Folan and Mr. John Connolly, Chair of the Select Board, agreed to these appointments. Hearing no requests for further discussion, Mr. Folan asked for a motion to accept the three representatives noted above as Town Representatives to the Designer Selection Panel. Mr. Bob McCarthy made the motion; Mr Charles Doody seconded. A roll call vote was unanimous at 6-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Kristian Merenda	yea
Bob McCarthy	yea
Charlie Doody	yea
Derek Folan	yea



Approved on June 14, 2023

LeftField representatives and committee members reviewed due dates from the Designer Selection Process through end date projection. Committee members expressed concern over the tight schedule, and the ability to stay on schedule particularly over the summer months. Ms. Carlson estimated that, once funding is established, end date projections can be estimated for about 30 months (6 more months of design and 24 months for construction). Ms. Carlson offered to send a projected end date to the committee.

Committee members inquired about how LeftField will manage the community engagement piece. Mr. Rogers indicated that the LeftField team is working on a website that will include all documents to date, deliverables, educational vision including all communications between the educational team, meeting dates, agendas and minutes. They also expect to hold public forums.

**4. Schedule upcoming meeting:** Hearing no requests for further discussion or questions, Mr. Folan proposed the next meeting in the established cadence of once a month. Mr. Rogers suggested this meeting be postponed until the Designer is on board to allow this designee time to put together a substantial project plan. After discussion, all agreed to consider a meeting in April to brainstorm before final designer selection. Members were asked to hold **Wednesday, April 26th at 6pm** in the Rodman Building as a tentative date for the next meeting of the SBC. Mr. Folan asked LeftField representatives to keep him in the loop for all administrative concerns.

**Adjournment:** With no further agenda items or questions from the committee, Superintendent Folan asked for a motion to adjourn the Wednesday, March 15, 2023 Canton Building Committee meeting at 7:19 pm. Bob McCarthy made the motion; Kristian Merenda seconded. A roll call vote was unanimous at 6-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Kristian Merenda	yea
Bob McCarthy	yea
Charlie Doody	yea
Derek Folan	yea

## Canton School Building Committee

**June 14, 2023**

**6:00 PM**

**Zoom (link Below)**

### **Purpose/Agenda**

1. Call Meeting to Order
2. Project Approvals
  - March 15, 2023 Meeting Minutes
  - LeftField Invoices
3. Feasibility Study Budget Update
4. Project Timeline
  - MSBA Process
  - Feasibility Study Timeline
  - Overall Project Timeline
5. Designer Procurement Update
  - Next Steps
  - Preliminary Design Concepts
6. Public Comment
7. Next Meeting
8. Adjourn

<https://cantonma-org.zoom.us/j/87363207339?pwd=eEpWVytmRFhwQlITbnRvNkpCSjAvQT09>

Meeting ID: 873 6320 7339

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Approved on June 28, 2023

**Canton School Building Committee  
June 14, 2023 (Via Zoom)  
Minutes**

1. **Call to Order:** Superintendent Folan called the Wednesday, June 14th, 2023 Canton School Building Committee to order at 6:00 pm and asked for roll call for attendance purposes.

**Attendees:**

Derek Folan  
Stephen Marshall  
Bob McCarthy  
Mike Loughran  
Randy Scollins  
Tom Kelleher  
Charles Doody  
Lou Tarmy  
John Connolly  
Brian Lynch  
Andrea Stuart  
Amy Tom  
Bob Benedetti

**Absent:**

Tina Perez  
Jonathan Mulhern  
Sarah Shannon  
Kristian Merenda

**LeftField Representatives:**

Jen Carlson  
Linda Liporto  
Adele Sands  
Chris Spiegel

**2. Project Approvals:**

- a. **Vote to approve: Minutes of March 15, 2023:** Hearing no requests for further review of the 3/15/23 minutes, Mr. Folan called for a motion to approve the minutes of Wednesday, March 15, 2023 as written and presented. Mr. Scollins made the motion; Mr. McCarthy seconded. Roll call vote was unanimous at 6-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Bob McCarthy	yea
Randy Scollins	yea
Charlie Doody	yea
Derek Folan	yea

- b. **LeftField Invoices:** LeftField representative, Jen Carlson, reviewed 3 bills for services rendered from March 6th-May 31 totalling \$51,900 (\$17,300 per month) in accordance

Approved on June 28, 2023

with their contract. Ms. Carlson noted that LeftField will begin a monthly cadence of bills beginning in June. Responding to a question on whether these bills could be submitted immediately for MSBA reimbursement, Ms. Carlson stated that monthly bills can be submitted to MSBA immediately with reimbursement expected within a few weeks. Mr. Marshall concurred with the total amount due and indicated that he has completed ProPay training through LeftField. Hearing no further questions or concerns, Mr. Folan called for a motion to approve payment of the invoices as written and presented. Mr. Scollins made the motion; Mr. Doody seconded. Roll call vote was unanimous at 6-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Bob McCarthy	yea
Randy Scollins	yea
Charlie Doody	yea
Derek Folan	yea

### 3. Feasibility Study Timeline:

Ms. Carlson reviewed the Feasibility Budget with members of the committee. Real line item budget numbers are expected to be in line with this budget model once a designer contract has been committed.

### 4. Project Timeline:

Ms. Carlson summarized the project timeline based on the MSBA Module system. She explained the process as beginning with PDP (Preliminary Design Program) where goals and priorities are determined, all feasible options are identified and vetted. Toward the end of this phase, LeftField will look to the wider community for feedback before a town vote and approval of the project. PDP is followed by PSR (Preferred Schematic Report) where options, priorities and goals are narrowed to one option. Budgets will be estimated at every step with a final PSR submitted to MSBA by December 2023. Pending any unforeseen issues, LeftField expects Canton's proposal to be on the March 2024 MSBA docket and hopes for approval from MSBA by August 2024. It is important to note that the final budget needs to be determined by then. Budgets cannot be changed after MSBA rules on the project. Ms. Carlson emphasized that the Canton community needs to be well-informed of the project before this vote. Ms. Carlson walked committee members through the Feasibility Study Timeline highlighting duration of each phase and target submission dates with a final School Open date of Fall 2028.

### 5. Designer Procurement Update:

- a. **Next Steps:** Ms. Carlson reviewed the procurement process. After significant responses to the RFP, Canton DSP leadership held day-long interviews and presentations for 11 companies. The larger group was culled to three design companies. These companies will present their vision and designs for renovation/new QMS building on Tuesday, June 20th. The Canton community is welcome and encouraged to join this meeting to view the work of these designers on this day. Decisions on the final candidate for design will be announced by July 1. Mr. Folan encouraged SBC members to know what is important to the community and the district. Committee members are encouraged to review the

Approved on June 28, 2023

contract pages that LeftField will pull from the contract and forward in preparation for the June 20th meeting. A designer will be selected directly from that meeting.

- b. **Preliminary Design Concepts:** Ms. Carlson presented design concepts from each of the three finalists. It was noted that all three firms worked the building to the southeast corner of the property.

**6. Public Comment:**

Mr. Folan asked committee members for their thoughts of top priorities the design should include. These included:

1. Net zero sustainability;
2. Community space/Performance space/alternate use of spaces for programming;
3. Mindfulness of grade separation, particularly if 5th grade students will be in the building;
4. Build with the thought of the school growing in time-specifically the language program;
5. Keep “teaming” concept in mind and in practice;
6. Awareness that St. Gerard’s may be helpful in the demand for open space as there is a path connecting GMS with St. Gerard’s;
7. Awareness of the congested roads and the need to maximize space, parking and traffic flow during school hours and community events;
8. Conversation with high school AD and coaches to be sure courts are regulation size for those sports that use the GMS gym space
9. Understand maintenance needs during and after construction.

Mr. Folan asked members to consider what is wanted as well as what is NOT ideal and send him and/or Colleen Hutchinson any additional thoughts or concerns.

**7. Next Meeting:** the next SBC meeting is scheduled for Wednesday, June 28th 2023. The agenda will include a review of the Design firm selected and discussion of that firm’s contract.

**8. Adjournment:** Hearing no requests for further discussion, Superintendent Folan called for a motion to adjourn the Wednesday, June 14th, 2023 Canton School Building Committee at 7:12 pm. Mr. Scollins made the motion; Mr. Marshall seconded. Roll call vote was unanimous at 6-0 and recorded as follows:

Stephen Marshall	yea
John Connolly	yea
Bob McCarthy	yea
Randy Scollins	yea
Charlie Doody	yea
Derek Folan	yea

## **Canton School Building Committee**

**June 28, 2023**

**5:00 PM**

**Zoom (link Below)**

### **Purpose/Agenda**

1. Call to Order
2. Project Approvals
  - a. Vote to Approve Meeting Minutes from June 14, 2023
3. Designer Selection Process
  - a. Update on Process
  - b. Introduction of Ai3 Architects Team
  - c. Designer Contract Review
  - d. Vote to Approve Ai3 Architects Contract for Designer Services
4. Next Steps
5. Next Meeting
6. Adjourn

<https://cantonma-org.zoom.us/j/85283558229?pwd=NExDMVJuOE9SMW5UMG9DcGw2Q1U0UT09>

Meeting ID: 852 8355 8229

Passcode: 086509

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Approved on September 20, 2023

**Canton School Building Committee Meeting**  
**June 28, 2023**  
**Via Zoom**  
**Minutes**

**1. Call to Order:** Superintendent Folan called for a motion to convene the Wednesday, June 28, 2023 Canton School Building Committee meeting at 5:03 pm. As the meeting was virtual, roll call attendance was taken and recorded as follows:

Attendees: Bob Benedetti (arrived at 5:30pm)  
John Connolly (arrived at 5:15pm)  
Derek Folan  
Stephen Marshall  
Bob McCarthy  
Jonathan Mulhern  
Tina Perez  
Randy Scollins  
Andrea Stuart (left meeting at 6:02 pm)  
Lou Tarmy  
Amy Tom

Guests: James Jordan-Ai3  
Troy Randall-Ai3  
Jen Carlson-LeftField  
Jim Rogers-LeftField  
Lynn Stapleton-LeftField (arrived at 5:26)

Mr. James Jordan and Mr. Troy Randall, founding partners of Ai3 were introduced to the group.

**2. Approval of Meeting Minutes from June 14, 2023:** Chair Folan asked for a motion to enter into discussion and possible approval of the June 24, 2023 minutes as presented. The motion was made by Mr. Scollins and seconded by Mr. McCarthy. Hearing no requests for discussion, Mr. Folan called for a vote for approval. Vote was unanimous at 4-0 and recorded as follows:

Derek Folan-yea  
Stephen Marshall-yea  
Bob McCarthy-yea  
Randy Scollins-yea

Approved on September 20, 2023

4 yeas            0 nays

**3. Designer Selection Process:** Chair Folan gave a brief update of MSBA’s Designer Selection Process (DSP) explaining how Ai3 was ultimately named as the design team for the GMS building project.

Mr. Folan then formally introduced the Ai3 Architects Team. The two founding partners of Ai3, Mr. James Jordan and Mr. Troy Randall, spoke of Ai3’s history and experience presenting a video chronicling their vision for the GMS project including innovations, community connections, student input for collaborative spaces, multi-learning modalities, outdoor learning, flexible assembly space, safety during construction and beyond, environmental and sustainability efforts to meet net zero sustainability, and a distinct awareness of cost control. Concerns of the quality of student education during the construction process were discussed.

**Designer Contract Review:** Ms. Jen Carlson, LeftField OPM for the GMS project, reviewed the contract with Ai3 highlighting the scope, roles and deliverables as it pertained to MSBA contractual regulations and guidelines, explained the payment schedule, and basic services versus extra services. Ms. Carlson noted that updates/changes will be voted by amendments. Ms. Carlson indicated a tracking document has been built and will act as a working document covering all MSBA rules and what Ai3 “expects to happen.” Feeling the contract is in line with CPS expectations, Ms. Carlson asked the committee to consider a vote of approval for the contract as written and presented.

**Vote to Approve Ai3 Architects Contract for Designer Services:** Chair Folan asked for a motion to approve the Ai3 contract as written and presented. Mr. McCarthy made the motion; Mr. Scollins seconded. Hearing no requests for further discussion, Mr. Folan called for a roll call vote. Vote was unanimous at 6-0 and recorded as follows:

Bob Benedetti-yea  
 John Connolly-yea  
 Derek Folan-yea  
 Stephen Marshall-yea  
 Bob McCarthy-yea  
 Randy Scollins-yea

6 yeas            0 nays

**Next Steps:** Community Forums in the Fall.

**Next Meeting:** MSBA Kick-Off meeting, August 1, 2023.

**Adjournment:** Hearing no requests for further discussion or questions, Chair Folan called for a motion to adjourn the Wednesday, June 28, 2023 Galvin Building Committee meeting at 6:09 pm. Mr. McCarthy made the motion; Mr. Benedetti seconded. Mr. Folan called for a



Approved on September 20, 2023

roll call vote. Vote was unanimous at 6-0 and recorded as follows:

Bob Benedetti-yea  
John Connolly-yea  
Derek Folan-yea  
Stephen Marshall-yea  
Bob McCarthy-yea  
Randy Scollins-yea

6 yeas      0 nays

## **Canton School Building Committee**

**September 20, 2023**

**5:30 PM**

**Zoom (link Below)**

### **Purpose/Agenda**

1. Call to Order
2. Project Approvals
  - a. Vote to Approve Meeting Minutes from June 28, 2023
  - b. Vote to Approve Invoices for LeftField and Ai3
3. Project Budget Update
4. Schedule Review
5. MSBA Process Update
6. Next Steps
7. Next Meeting
8. Adjourn

Join Zoom Meeting

<https://cantonma-org.zoom.us/j/86098171880?pwd=K1VvbUg2VWZ1eVFJaUJhdDdMWVN0dz09>

Meeting ID: 860 9817 1880

Passcode: 336332

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Approved on 10/18/2023

**Canton School Building Committee**  
**September 20, 2023 via Zoom**  
**Minutes**

**1. Call to Order:** Superintendent Folan asked for a motion to convene the Wednesday, September 20, 2023 Canton School Building Committee meeting at 5:32 pm. Mr. Connolly made the motion; Mr. McCarthy seconded. As the meeting was virtual, Mr. Folan followed with a roll call vote. Voting was unanimous and recorded as follows:

Mr. Marshall	yea
Mr. Connolly	yea
Mr. McCarthy	yea
Mr. Benedetti	yea
Mr. Scollins	yea
Mr. Folan	yea

6 yeas      0 nays

**Attendees:**

Bob Benedetti  
John Connolly  
Derek Folan  
Stephen Marshall  
Bob McCarthy  
Kristian Merenda (arrived at 5:34pm)  
Jonathan Mulhern  
Tina Perez  
Randy Scollins  
Sarah Shannon  
Andrea Stuart  
Lou Tarmy  
Amy Tom (arrived at 5:40 pm)

**Absent:** Charlie Doody  
Michael Loughran

**Guests:**

**Ai3:** Troy Randall  
Justin Thibeault

**LeftField:** Jen Carlson  
Jim Rogers

Approved on 10/18/2023

**2. Project Approvals**

a. Vote to Approve Meeting Minutes from June 28, 2023: Mr. Folan asked for a motion to enter into discussion for approval of June 28, 2023 Minutes and invoices. Mr. Connolly made the motion; Mr. McCarthy seconded. Hearing no questions or requests for further discussion, Mr. Folan followed with a roll call vote. Voting was recorded as follows:

Mr. Marshall	yea
Mr. Connolly	yea
Mr. McCarthy	yea
Mr. Benedetti	yea
Mr. Scollins	yea
Mr. Folan	yea
Ms. Merenda	abstain

6 yeas 1 abstention 0 nays

**b. Vote to Approve Invoices for LeftField and Ai3:** LeftField Project Manager, Jen Carlson presented three LeftField invoices for Feasibility Study/Schematic Design for June, July, August 2023 totaling \$51,900 (\$17,300 per month) and 3 Ai3 invoices; 2 invoices for July and August 2023 Feasibility Study/ Schematic Design equaling \$157,140 and 1 invoice for Extra Services (Hazmat Survey & Inspection) for \$5,830.00. Total invoice amount for Ai3-\$162,970. Total balance due: \$214,870.00.

Mr. Folan opened the floor for discussion. Mr. Marshall noted that he had reviewed all invoices and found them to be in line with contracts. Mr. Tarmy inquired about the results of the Hazmat survey. Mr. Thibeault reported the building was positive for asbestos. This was not surprising nor concerning based on the vintage of the building.

Mr. Thibeault will circulate the Hazmat report to committee members.

Committee members asked that subsequent invoices be made available in a more timely manner to allow review prior to future committee meetings.

Mr. Folan called for a vote to approve LeftField and Ai3 invoices as written and presented. Roll call vote was unanimous and recorded as follows:

Mr. Marshall	yea
Mr. Connolly	yea
Mr. McCarthy	yea
Mr. Benedetti	yea
Mr. Scollins	yea
Mr. Folan	yea
Ms. Merenda	yea
7 yeas	0 nays

Approved on 10/18/2023

**3. Project Budget Update:** Ms. Carlson reviewed funding for the project noting the budget is still 1.5 million including authorized changes (architect firm contract). She reported that 96% of the funds are committed; \$267,315 has been spent to date, 18% of the budget. \$66k remains uncommitted-both amounts are typical for projects at this juncture.

Mr. Scollins asked when the town might receive reimbursement of the monies paid out from MSBA. Ms. Carlson will submit the first reimbursement request at the end of September 2023. Both Ms. Carlson and Mr. Marshall expect MSBA to forward reimbursement by middle to end of October assuming all submitted paperwork is accurate and approved

**4. Schedule Review:** Ms. Carlson gave a high level overview of the feasibility study schedule. Two submissions are required by MSBA:

1. the PDP (Preliminary Design Project)-includes a rough draft of the Education programming. Targeted submission date is October 27, 2023-Ms. Carlson believes the project is on schedule for this deadline;
2. the PSR (Preferred Schematic Report)-target date for submission is January 25, 2024.
3. Move forward with 1 preferred design from the PSR options submitted by June 27, 2024. MSBA will have 2 months to review the package. Members from CPS, LeftField and Ai3 will meet with MSBA officials to discuss budget, etc. Board Approval is expected August 28, 2024;
4. Funding and District approval has a target date of January 2025.

**5. MSBA Process Update-** currently in Module 3 of 8. More information about the MSBA process can be found at [www.massschoolbuildings.org](http://www.massschoolbuildings.org).

**6. Next Steps:** Ai3 representative, Justin Thibeault, explained steps for PDP including evaluating existing conditions, Visioning and Educational Program, inventory of Education space, evaluating capacity of existing elementary schools (for evaluation of 6-8 or 5-8 grad configuration) and alternative options. As options narrow, the project will become more detailed. Mr Thibeault reported on initial observations and assessment from site visits—structures, civil, architecture, infrastructure, technology, and ADA and Code compliance.

Mr. Thibeault stressed the importance of Educational Planning and Programming, including curriculum, instruction, learning, learning environments, and the visioning sessions that included conversations, and idea sharing to inform decisions on the final Plan. Mr. Thibeault noted that the Education Plan informs the Capacity Evaluation which is based on space, size and quantity of the new facility. All options submitted to the MSBA must have these documents.

Mr. Thibeault reported that MSBA requires variations of every project. CPS will need to submit 9 options—including Base Repair, major and minor addition/renovation with and without an auditorium for each configuration (grades 5-8 or 6-8). MSBA does not support an auditorium in middle school. The Town of Canton would be responsible for 100% of that cost if the final decision includes an auditorium. All options will support the Educational Program.

Approved on 10/18/2023

Mr. Thibeault stressed the importance of monthly meetings with the Canton Building Committee through the end of 2023. Future meetings between the School Building Committee and Ai3 are tentatively scheduled for Wednesdays, October 18th, November 15th, and December 20th. Ai3 will be meeting with the School Committee in October to begin discussion and review of items related to the Educational Program. November and December meetings will be dedicated to discussing items related to Grade configurations. Critical votes include votes from SBC and the School Committee. December votes from the SBC will include a decision on the Cafetorium.

**Community Engagement:** Meetings have been scheduled for Wednesdays, September 27th, October 25th; Monday, November 20th, and Wednesday, December 20th to offer a venue for the community to voice feedback, thoughts, concerns, and comments on all elements of the project. Ms. Merenda suggested sending out flexible meeting models, TBD times and formats for upcoming forums to help higher turnout. Mr. Randall noted that the Project website will have all the information and a project email for community members to forward any questions they may have. There will be an FAQ's page as well. Ai3 is also open to changing venues or times, including hosting one at the Galvin allowing residents to walk around the building before the meeting commences. Mr. Randall indicated tours might be a good way to encourage attendance. Zoom community forums are also an option to adjust for busy schedules and raise participation. There was discussion about recording these forums to allow further community reach.

Mr. Scollins inquired when the SBC might begin to see cost estimates. Mr. Thibeault reported that, currently, cost estimates are based on square footage and will be a range. Once the Space Summary is finalized, it will go to estimators who will then assign a dollar value and range. Ai3's expectations are that this range will be available before the next SBC meeting (10/18).

A question was asked about CAPT involvement. Mr. Folan has asked CAPT to support Community Forums. Mr. Randall thought it was a bit early to be looking for support groups to arise from the community. He suggested this might occur after the PSR has been decided—sometime in late summer, early fall and winter as a town vote nears.

Mr. Folan encouraged committee members to read the educational profile and be advocates and ambassadors for community input and feedback regarding the Galvin project.

**7. Next Meeting:** Wednesday, October 18, 2023 at 5:30 pm.

**8. Adjournment:** Hearing no further questions or comments, Mr. Folan asked for a motion to adjourn the Wednesday, September 20, 2023 School Building Committee meeting at 6:32 pm. Mr. Connolly made the motion: Mr. McCarthy seconded. A roll call vote was unanimous and recorded as follows:

Mr. Marshall	yea
Mr. Connolly	yea
Mr. McCarthy	yea
Mr. Benedetti	yea

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Mr. Scollins	yea
Mr. Folan	yea
Ms. Merenda	yea
7 yeas	o nays

**Canton School Building Committee**  
**October 18, 2023**  
**5:30 PM**  
**Via Zoom**

**Purpose / Agenda**

1. Call the Meeting to Order
2. Project Approvals
  - September 20, 2023 Meeting Minutes
  - LeftField and Ai3 Invoices
3. Feasibility Study Budget Update
4. Schedule Overview
5. Preliminary Design Program (PDP) Summary
  - Options Review
  - Estimated Cost and Duration
  - Vote to authorize submission of the Preliminary Design Program to the MSBA pending School Committee approval of the Educational Plan
6. Public Comment
7. Next Meeting
8. Adjourn

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Join Zoom Meeting

<https://cantonma-org.zoom.us/j/87435965286?pwd=NmhJT1M3L1NwWnNjN0p1NOVDNUpaUT09>

Meeting ID: 874 3596 5286

Passcode: 611643

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## **S**chool Committee Minutes

The meeting minutes for the Canton School Committee (SC) Meetings are included in the following pages.

Each set of meeting minutes was approved by a vote of the committee at the beginning of subsequent meeting.

All actions taken by the SC are recorded in the meeting minutes. Actions are authorized by a vote of the committee, and the meeting minutes record the specific vote language and resulting vote.

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Approved by the School Committee  
On September 21, 2023

**Canton School Committee  
Thursday, September 7, 2023  
Open Meeting Minutes**

**A. Call to Order:** Chair O’Halloran called the School Committee Open Meeting meeting to order at 6:01 pm. Ms. Arboleda made the motion; Ms. Moran seconded. Vote was unanimous at 4-0 and recorded as:

Maureen Moran        yea  
Laura Arboleda        yea  
Kimberly McCourt     yea  
Kendall O’Halloran    yea

4 yeas                  0 nays

**Attendees:**

Kendall O’Halloran  
Kristian Merenda (arrived at 6:04 pm)  
Laura Arboleda (departed meeting at 9:05 pm)  
Kimberly McCourt  
Maureen Moran  
Derek Folan, Superintendent  
Stephen Marshall, Assistant Superintendent for Finance and Operations  
Emma Cummings, Student Representative  
Sarah Shannon, Assistant Superintendent for Teaching and Learning  
Joanne Campbell, Recording Secretary

**Guests:**

Ms. Meghan Byrne, Director, Student Services  
Mr. William (Billy) Kickham, Assistant Director, Student Services, Grades 6-12  
Ms. Sarah Shaw, Assistant Director, Student Services, Grades PreK-5  
Ms. Shelley Evans-Needle, Interim PreK Coordinator  
Ms. Melanie Omar, MLL PreK-12 Dept. Coordinator/Multilingual Learner Program  
Ms. Susan Nash, STEM Coordinator, Grades PreK-5  
Mr. Paul McKnight, Principal, Hansen Elementary School  
Ms. Kate Gallahue, Assistant Principal, JFK Elementary School  
Mr. Michael Moresca, Assistant Principal, Luce Elementary School  
Ms. Kelly Fahey, Assistant Principal, Hansen Elementary School  
Dr. Kristen Morgan, Dept. Advisor, English, Galvin Middle School  
Ms. Ginny Martin, Team Chair, Galvin Middle School

**B. Superintendent’s Report:** Superintendent Folan presented District progress, highlights, and accolades.

**Highlights**

First Days of School: Canton Public Schools had an outstanding launch of the 2023-24 school year. The energy of the students fills our school and it’s just amazing to see our skilled staff welcome everyone with such warmth and care. The buildings were in pristine condition thanks to the custodial and maintenance staff, and every aspect of the schools ran smoothly thanks to the principals, office staff, food service, educators, and SROs.

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**Orientations & Opening Day:**

Sub Orientation: Welcomed back approximately 25 substitutes during Sub Orientation on August 24. We thank all of our substitute teachers for being part of the school community and our team.

New Educator Orientation: New CPS staff members convened at New Teacher Orientation on August 21-23.

Opening Day & Professional Learning: Monday, August 28th kicked off the 2023 - 2024 school year in Canton. We discussed our continued commitment to being #Champions of Excellence, reinforcing the themes of student achievement and growth, the #momentum we have as a District, and living our new Core Values: #REACH. After the full staff convocation at Canton High School, everyone traveled back to buildings where all staff met with their building principals and participated in a Wayfinder professional learning session. Thank you to the Link Leaders for the warm welcome, the Jazz Band for the music, and Food Services for the breakfast.

On Tuesday, August 29, educators met with Department Coordinators to talk about content and curriculum updates and goals for the school year, and started collaborating with one another to continue to build coherence and consistency across grade levels, schools and subject areas. Principals also had more time to meet with staff to build community, address operational and safety items, and build on last year's successes to kick off this year's work.

Our first professional learning early release day on **Friday, September 15.**

Honoring Educators and Professional Milestones: As a new tradition, we honored educators and their professional milestones for their commitment to Canton Public Schools. We recognized educators who earned professional status, anyone who was entering their 10th year in Canton (Canton Coin), 20th year in Canton (Canton Crystal Apple), and 30th year in Canton (30th year Canton sweatshirt).

**Updates**

GMS Building Project Educational Visioning Sessions: The first GMS Project Educational Visioning session was held Wednesday, September 6th, with one more scheduled for Monday, September 11th. Thank you to all of our educators, staff and parents who attended. The first day for the Community Forums will be published soon.

Open Houses: Open Houses have taken place over the past couple of weeks; there are a few more upcoming and are noted in upcoming events below.

Canton Farmers Market Back-to-School Event: Over a thousand Canton and area residents attended the August 27th Farmer's Market with the Theme of Back-to-School. We had three tents engaging with hundreds of Canton families and students. All of the principals attended; our CAPT hosted a spirit wear tent; and School Committee members Kendall O'Halloran, Laura Arboleda and Kim McCourt joined. Justin Thibault from Ai3 was there to answer questions about the GMS Building

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Project. The CHS Jazz Band played, the Wellness Department handed out backpacks, students sang and fundraised for their Disney trip, and we had face painting with high school students.

New Press Releases: I am pleased to announce that we have a new [Press Release](#) page on our Canton Website. I encourage you to check it out.

### **Indicators of Excellence**

CHS receives high ranking: Canton High School earned the 56th ranking out of 437 high schools in Massachusetts in the US News and World Report and 45th among high schools in the Boston Area. CHS earned a score of 91.61 out of a possible 100 points, just 8.11 points behind top-ranked Boston Latin. CHS ranked second in the Hockomock League, only behind Sharon High School.

Instrument Demo with CHS Musicians: One of the great traditions of the Performing Arts Department continued this week as CHS musicians traveled to the elementary schools to demo instruments for Grade 4 and Grade 5. We love seeing the role modeling and inspiration that happens with this event. And it launches our 5th grade music program, now held during the school day.

### **Important Dates and Events**

Sept. 13	Hansen Open House, Grades 2-5, 6:00 pm
Sept. 15	Early Release - PreK-12 Professional Development
Sept. 19	JFK Open House, Grades 2-5, 5:00 pm
Sept. 21	School Committee Meeting, 6:00 pm, CHS DLL
Sept. 25	No School - Yom Kippur
Sept. 26	CHS Open House, 6:00 pm
Sept. 28	GMS Open House, 6:00 pm

Ms. Merenda praised all involved in helping to achieve the CHS high ranking marks, noting a 96% graduation rate and the percentage of students receiving a passing grade in AP exams.

Chair O'Halloran exercised her authority to shift agenda items by advancing **E-1-Introduction of New Administrators** as the next Agenda item.

### **E. New Business**

1. **Introduction of New Administrators:** The CPS Administrative leaders welcomed and introduced new CPS Administrators giving a short history of each administrator's professional history :
  - a. Ms. Meghan Byrne, Director of Student Services, introduced and welcomed the following new members of her team:

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- i. Mr. William (Billy) Kickham, Assistant Director, Student Services, Grades 6-12;
  - ii. Ms. Sarah Shaw, Assistant Director, Student Services, Grades PreK-5;
  - iii. Ms. Shelley Evans-Needle, Interim Child Care Coordinator;
  - iv. Ms. Melanie Omar, MLL PreK-12 Department Coordinator/Multilingual Learner Program.
- b. Ms. Sarah Shannon, Assistant Superintendent for Teaching and Learning, welcomed:
- i. Ms. Susan Nash, STEM Coordinator, Grades PreK-5;
  - ii. Mr. Paul McNight, Principal of Hansen Elementary School.
- c. Saundra Watson, JFK Principal, introduced the new Assistant Principal for JFK, Ms. Kate Gallagher.
- d. Yeshi Gaskin Lamour, Luce Principal, introduced Michael Moretta as the Assistant Principal of the Luce;
- e. Paul McNight, recently appointed Principal of the Hansen Elementary School, introduced Ms. Kelly Fahey as Assistant Principal of the Hansen noting that he is looking forward to two new administrators navigating the CPS landscape together.
- f. Mr. Jonathan Mulhern, Principal of the Galvin Middle School welcomed Dr. Kristen Morgan, newly appointed Department Advisor, English, Galvin Middle School and Ms. Ginny Martin as the Team Chair at Galvin Middle School.

Members of the School Committee welcomed the new Administrators acknowledging their warmth and leadership, as well as the knowledge, experience and enthusiasm they will bring to the CPS community.

**C. Teaching and Learning Report:** Assistant Superintendent Shannon shared summer curriculum work. Highlights of summer projects included:

1. Review of the Wellness Department Program updating its framework based on new DESE draft revisions;
2. The Visual Arts Program reviewed, addressed and began updating their 2019 Arts curriculum framework as well as developing an updated elementary report card descriptors.
3. Social Studies-grades 3-5 worked to develop History curriculum supported by a civics grant;
4. GMS Social Studies identified new curriculum resources to support student learning in grades 6-8 and prepared for the implementation of *Investigating History* for grades 6 & 7, and *The Democratic Knowledge Project* for grade 8 Civics;
5. GMS Performing Arts continued to develop drama courses, considering alignment of the two grades;
6. CHS Social Studies educators focused on developing US History 1 to better support literacy skill acquisition;
7. CHS Math Curriculum worked to redesign math unit plans to support math standards and NEASC goals, and build units for AP work;
8. AP Curriculum Work included realigning curricula in Biology and Chemistry and AP training in Chemistry, Statistics, PreCalculus and English Literature and Composition.

All departments will continue updates throughout the school year.

Ms. Moran asked about the ELA program at the elementary school level. Ms. Shannon noted that the elementary school program was not one of this year's summer curriculum projects; she did describe work being done on ELA outside of this review cycle. Ms. Shannon explained that summer curriculum work is

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based on submissions from teachers. It is meant for teachers to collaborate with colleagues and focus on their areas of interest to help advance teaching and elevate learning for students. Summer work offers an opportunity for educators to do the work at a different pace and delve more deeply by focusing more on their areas of interest.

Committee members asked for a way to capture feedback from teachers including opportunities for more training and a more detailed explanation of courses when requesting reimbursement for professional development training to get a sense of trends, themes and preferences.

#### **D. Unfinished Business**

1. **Policy Updates Section F & Section G - 2nd Read and possible vote:** Superintendent Folan and members of the policy subcommittee presented the updated policy sections F & G. Ms. Merenda proposed holding the vote until the September 21st meeting to review her comments and suggestions noted at the School Committee Open Session meeting of August 18th, for consideration of inclusion in the new policies. Ms. Merenda specifically noted adding more inclusive language to File FA and asked the subcommittee to consider including Facilities Planning in File FCE as per town by-laws. Ms. Merenda forwarded her notes to all committee members. Members agreed to hold the vote until the next School Committee meeting on Thursday September 21 to allow for further review and discussion before a vote.

#### **E. New Business**

2. **Transportation Update:** Superintendent Folan and Mr. Marshall provided a transportation update. With 19 buses in total, 18 from First Student and one Canton bus, Mr. Folan reported that route development has been progressing, although not running perfectly. Communication with First Student has not been a problem, but could be improved. Because they are not fully staffed with drivers, both the manager and dispatcher of First Student are driving routes until 12 newly hired bus drivers get licensed. This strains communications, but Mr. Marshall is communicating with their office many times a day. And is hopeful they will be fully staffed by the end of September. Timing is still off, but administration is working diligently with First Student to target critical issues, then investigate, evaluate, and move toward resolution. Mr. Folan indicated that there were several considerations for determining a solution:
  - a. Communications-follow-up is critical. CPS has added staff to respond to all emails regarding bus transportation. The staff member responds to all emails, sorts them, and places them into folders by topic for further follow-up.
  - b. Ridership:
    - i. 52 students per bus is industry standard for secondary student. According to CPS bus registration information, the buses are full, but should not be overcrowded. However, several factors are skewing the numbers:
      1. Students without a bus pass are getting on buses;
      2. some students are pressuring other students to sit in the aisle rather than a seat;
      3. Buses are experiencing some ridership "bus-hopping."
      4. Students are not sitting in seats. Buses will not pull away until all students are seated.
      5. Shuffling routes makes that specific route better, but introduces difficulties for others.



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- c. Bus Route Timing Issues: CHS buses are not arriving on time. This affects all remaining tiers and routes.
1. 3rd tier routes experience a domino effect from GMS and CHS;
  2. New bus drivers (40% of all bus drivers) are unfamiliar with routes;
  3. Kindergarten starts affects dynamics; as well as the Hansen late start;
  4. Blue Hill Tech start of the school year also affects timing.

Administrators noted a 90% on time delivery to school, but understand the frustration and are working hard to improve to 100% on time delivery by the next report. Mr. Marshall explained that the software system that helps build the routes does not take into account traffic patterns as it cannot predict them and noted that this year's late starting school, the Hansen, is the most difficult geographical district to manage. Mr. Marshall took full responsibility for the missteps. He noted that over 200 additional bus registrations for students were received after the registration due date. While past practice for late bus registration included holding the registration until Oct. 1, Mr. Marshall also recognizes that these students need to be in school, and is diligently making adjustments every day to get these students into the classroom. Adjustments do take a few days to implement.

Mr. Marshall reiterated that the best way to communicate issues and concerns is to email CPS at [transportation@cantonma.org](mailto:transportation@cantonma.org). Emails are prioritized by safety. Mr. Marshall suggested calling his office or cell number for any immediate needs or critical issues.

Chair O'Halloran voiced concern over reports of middle school students not allowing other students to sit in seats as it is a safety issue. She urged parents to discuss this issue of intimidation with their children. Ms. O'Halloran wondered if CPS could build neighborhood stops. Mr. Marshall is considering help from the Transportation consultant to help build standard routes with standard stops. Standardization of routes and increases in bus fees to accommodate more buses are not as challenging as the annual change of the "late" elementary school.

There was discussion on the effectiveness of the bus app. Mr. Marshall reported that the app was not expected to be turned on for the first few weeks as every change in any bus route necessitates an update on the app. He is hopeful that within the next week, 99% of the routes will be correct and updated in the app.

Ms. McCourt wondered about safety on the middle school/high school bus loading and pass checking. Mr. Folan assured her that passes are being checked by teaching and administrative staff and every student is in a seat. Ridership is greater in the afternoon. Administration is continuing to adjust routes so student riders are safely in a seat.

Ms. Moran asked about vetting routes with information from previous years, Mr. Marshall confirmed that administration does look at old routes and does drive them (in the summer). He indicated that CPS does not have turn by turn instructions, that traffic patterns change, and traffic is less dense throughout the summer. He also mentioned that most routes are running on time.

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Ms Moran voiced concern about overcrowding and asked about pulling video camera footage from buses for routine spot checks, perhaps by Dr Green, particularly for problematic buses to proactively address issues. Mr. Folan suggested that anything a parent feels is problematic be brought to the principals. Mr. Marshall raised a concern over the amount of footage that would have to be reviewed and the staff to manage the reviews. The definition of overcrowding needs to be discussed as well as the maximum amount of time a student should be on a bus. Ms. O’Halloran underscored that bus footage is for internal review and not for public viewing.

Ms. Merenda raised concerns about the current bus company’s accountability and asked administration to consider what have we changed and what can we change with regard to bus transportation. Concern over communication issues led her to suggest offering a forum with parents, bus company and administration to help understand and allay parent/guardian apprehensions and frustrations. Questions that might be addressed are “What are the norms?” “How can we get there?” Discussion over how Operations work, whether bus monitors are an effective way to avoid chaos on the bus; (Currently the District only has two); how people might be attracted to that job and how to manage the late school start vs more buses to avoid constant chaos. Ms. Merenda asked the administration to try to figure out a way to get more info sooner to parents and solve the issue of the late school. Ms. Merenda was vocal about her appreciation of the work of the administration to resolve current bus issues, but noted that the District must make these recurring issues a priority this year.

- 3 **Policy - Book Reconsideration Section IJL & IJ-R:** Assistant Superintendent Shannon presented policy IJL (Selection and Consideration Policy for School Library) and IJ-R (Reconsideration of Instructional Resources) for a vote of approval. Ms. Shannon noted that MASC had encouraged CPS to update these policies and they reviewed them once updated. Updates include new roles and names of roles at the school level and written requests for appeals of the Reconsideration Committee’s decision initially and further appeals after the committee’s decision for Policy IJL (Selection and Reconsideration Policy for School Library). There were no changes to Section U-R (IJ-R)-REconsideration of Instructional Resources).

With no further discussion or questions, Chair O’Halloran asked for a motion for approval of both policies as written and presented. Laura Arboleda made the motion; Maureen Moran seconded. Vote was unanimous and recorded as:

Kristian Merenda	yea
Maureen Moran	yea
Laura Arboleda	yea
Kimberly McCourt	yea
Kendall O’Halloran	yea

5 yeas	0 nays
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Ms. Moran asked that updated policies be made available on the CPS website as soon as possible. Ms.Arboleda suggested that Policies that have been vetted and approved be uploaded. Chair O’Halloran will look into this and return with information to the Committee.

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It was also requested that progress of the Policy Sub-Committee be posted regularly. Ms. Moran also wondered whether this year's proposed District Goals were discussed and set by the Committee as in previous years. Ms. O'Halloran noted that they were not.

4. **District Goals:** Superintendent Folan introduced the 2023-2024 District Improvement Goals. Prior to the start of his presentation, Ms. Moran inquired about the context of goal setting compared to previous years when the School Committee set their goals and District goals followed. Mr. Folan responded that last year's goals were set in retreat with the help of consultants and strategic planners who helped develop and set goals. They were further designed by the team and a number of stakeholders within the District and in conjunction with the work around strategic planning. For the current year, the team looked at last year's goals, and planned this year's goals to continue alignment with strategic initiatives and student achievement. Ms. Moran understood the continuity, but questioned the process of including the School Committee sooner than later. Mr. Folan noted that he hoped for a vote, but understood it was at the will of the School Committee.

In setting these goals, Mr. Folan noted that the group had been broadened to include educators, department heads, and joint administrators with the hope of expanding last year's goals while continuing to align new goals with the strategic initiatives. Mr. Folan was pleased that the District met all the goals from last year, particularly significant student achievement. Strategic planning link and the Equity Audit links are included in the goals.

**Priority #1: Goal #1: Teaching, Learning and Leading for All: Goal-to document a consistent process, identify tools and create a training and implementation plan to support students who need interventions and specialized instruction across PK-12.** Core Values were established and introduced-**REACH (Respectful and collaborative relationships, Equity, Academic and personal excellence, Community engagement, High quality teaching, learning and leading)**. By documenting a consistent process that pushes District to build a MTSS (multi tiered system of support), the District will know students better, help them remain aligned with peers, and responsiveness to meet students' needs culturally and academically.

**Priority #1: Goal #2: Engage all stakeholders to gain a consistent understanding and shared ownership of the CPS vision for HQTLL.** Aligning with DESE priorities, the goal will look for and publish descriptors that define the HQTLL vision by recognizing what is in everyday learning to help provide equitable learning to every child. The goal will be met with conversations and feedback with administrators and educators identifying data, Learning Walks, classroom visits, and surveying students.

**Priority 2: Management and Operations:** Roll out and implement new SIS (Student Information System), PowerSchool. The goal is not about implementation this year, but rather to train all staff to fully understand the capacity of the system.

**Priority # 3: Communications and Community Engagement: Establish and initiate a district communication and engagement plan.** Goals will be met by PR firm engagement, quality content development for an online and community presence and use of social media to positively celebrate and showcase the school community. This will include face to face engagement opportunities with stakeholders and opportunities for the community to engage in GMS project.

**Priority #4: Provide differentiated Equity and SEL (Social-Emotional Learning) PD (Professional Development).** Goals will include targeting implicit bias with a

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concerted effort and understanding those who are not the same.

School Committee members asked for time to review the goals and assure they match the existing rubric and expectations of the Committee. Ms. Merenda would like to see more detail about planned metrics, more discussion around the Equity Audit results and the theory behind meeting the focus and needs of the students-particularly in Priority 1 Goal 2 ( how SEL will help all students) and where the connections are. Ms. Moran wondered about alignment of these goals to last year's rubric; she would like to see a "period of action" included in the goals; more specific metrics to rate successes, and a way to know what is working and what is not working within the goals.

5. **School Committee Operating Protocols - First Read:** Chair O'Halloran noted that she had forwarded the updated draft for the School Committee Operating Protocols to the attorney for review and comments, and is awaiting a response. She will forward to the full Committee any and all correspondence received from the attorney in a single document that includes track changes and comments from the group. This document will be added to the agenda for Thursday, September 21, 2023 for public discussion and decisions on finalizing language.
6. **Operating Budget Process and Timeline:** Mr. Marshall reviewed the FY25 budget process and timeline, noting that any requests for the next fiscal year are due on October 6, 2023. Ms. Moran suggested members consider and submit priority budget items (wish lists) early. She will revisit last year's requests and update their status and progression. Ms. Merenda would like to prioritize finding funds in the budget for capital planning. The end of October will bring a kick-off of the Operating Budget, and the first presentation of the Capital budget to the School Committee will be on Thursday, November 2nd.

**F. Public Comment:**

1. **Jennifer O'Donnell:** Ms. O'Donnell thanked all the teachers in the District, then asked questions about the availability of copies of several District protocols and DESE guidelines. Ms. O'Donnell also questioned equity in classrooms.
2. **Mary Mallory:** Discussed the lack of safety in Canton District bus transportation and transportation equality for students attending St. John's.
3. **Sebastian Gonzalez** (virtually)-voiced concerns over district bus transportation, particularly the continued tardiness of Bus C-25. Mr. Gonzalez was also disappointed to not have received a response from the District after sending an email regarding his concerns.

**G. Assistant Superintendent of Finance and Operations Report:** Mr. Marshall had nothing further to report.

**H. Consent Agenda:**

1. August 15 Workshop, August 17, 2023
2. Executive Session Minutes: August 17, 2023
3. Warrants: September 8, 2023.

Chair O'Halloran announced the list of items posted to the consent agenda and asked if any committee member would like any minutes or warrants listed removed from the consent agenda for further review. Ms. Moran requested removal of Regular Session minutes from August 17, 2023 for further review and asked about the availability of August 15th Executive Session minutes. Chair

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O’Halloran noted that the 8/15 minutes will be available at the next Open Session meeting on September 21st. Ms. O’Halloran asked that regular session minutes from August 3, 2023 be removed for further review. Hearing no further requests, Chair O’Halloran called for a motion to approve the Consent Agenda to include the August 15, 2023 Workshop, Executive Session minutes for August 17, 2023 and the Warrant for September 8, 2023. Kristian Merenda made the motion; Maureen Moran seconded. Vote was unanimous at 5-0 and recorded as:

Kendall O’Halloran	yea
Maureen Moran	yea
Kimberly McCourt	yea
Kristian Merenda	yea
5 yeas	0 nays

**I. Update of Sub-Committee, Task Force and Liaison Posts:**

**Emma Cummings**-Student Advisory Committee met on September 6th, 2023 for the first time with newly elected upper class officers. Rules and regulations were reviewed and questions were answered. Election of Freshman representatives will be held in early October (10/11). The Massachusetts Association of Student Representatives met for a “Day on the Hill” over the summer. Student representatives met State Representatives and Senators to discuss an act regarding student representative voting rights (HH474).

**Stephen Marshall**-nothing further to report

**Derek Folan**-acknowledged CAASA’s Celebration of Life.

**Kendall O’Halloran**-Policy Subcommittee meetings are ongoing; CCPC-meeting is scheduled for Monday, September 11th; Content and Communications—first ad of the year will be in newspaper week of 9/11-asked for consideration for future ads being from the leadership team of the District. Ms. Merenda expressed interest in posing a united front. By celebrating milestones of the school, giving credit to volunteers, and creating access for the community will create greater connections in the community to better know members. Ms. O’Halloran noted that rates for advertisements have not increased.

**Maureen Moran**-Budget & Finance Subcommittee meets Friday, September 15th.

**Kimberly McCourt**-nothing further to report.

**Kristian Merenda**-recommended adding MASAR to the list of Liaisons; noted opportunity for attendance at al MASAR convention to represent the District. Ms. Merenda is interested in discussing how the School Committee as a whole will want to manage budgetary issues of School Committee members attending conferences in general.

**J. Other Business:** None

**K. Future Business** The next Open Session meeting is scheduled for Thursday, September 21, 2023 @ 6:00

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pm.

**L. Adjournment:** With no further business to discuss, Chair O’Halloran asked for a motion to adjourn the meeting of the School Committee at 9:19 pm. Kristian Merenda made the motion; Maureen Moran seconded. Vote was unanimous at 4-0 and recorded as follows:

Maureen Moran	yea
Kristian Merenda	yea
Kimberly McCourt	yea
Kendall O’Halloran	yea
4 yeas	0 nays

**Documents:**

September 7, 2023 Superintendent’s Report  
School Committee Update-Teaching and Learning-Summer 2023 Curriculum Work Projects  
CPS Policy Update Section F-Facilities  
CPS Policy Update Section G-Personnel Policies  
CPS Policy Section IJL-Selection and Reconsideration Policy for School Library  
CPS Policy Section IJ-R-Reconsideration of Instructional Resources  
CPS 2023-24 District Goals  
2023-2024 Canton Public Schools-School Committee Operating Protocols  
FY25 Operating Budget Process and Timeline

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**Canton School Committee  
Open Meeting Minutes  
Thursday, September 21, 2023**

**A. Call to Order:** Chair O'Halloran called for a motion to commence the Thursday, September 21, 2023 School Committee Open Meeting meeting at 5:18 pm. Ms. Moran made the motion; Ms. McCourt seconded. Roll Call Vote was unanimous at 4-0 and recorded as:

Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O'Halloran	yea

4 yeas      0 nays

**Attendees:**

Kendall O'Halloran  
Kristian Merenda  
Laura Arboleda (arrived at 5:30pm)  
Kimberly McCourt  
Maureen Moran  
Derek Folan, Superintendent  
Stephen Marshall, Assistant Superintendent for Finance and Operations  
Danica Seto, Student Representative  
Sarah Shannon, Assistant Superintendent for Teaching and Learning  
Joanne Campbell, Recording Secretary

**Guests:**

Jeffrey Sperling, CHS Principal  
Adam Hughes, PreK-12 Wellness Coordinator, Health & Wellness  
Deborah Rooney, Director of Teaching and Learning  
First Student Representatives, Barbie Doherty and Tracy Donahue  
Joshua Fogel, Data Analytics Manager

**B. Executive Session:** Committee members immediately entered Executive Session for Purpose 7: Approve minutes; comply with, or act under the authority of, any general or special law or federal grant-in-aid requirements and Purpose 1: To discuss the reputation, character, physical condition or mental health, rather than professional competence, of an individual, or to discuss the discipline or dismissal of, or complaints or charges brought against, a public officer, employee, staff member or individual.

Committee members returned to Open Session at 6:13 pm.



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**C. Superintendent's Report** Superintendent Folan presented the following District progress, highlights, and accolades.

#### **Excellence**

National Banner of Recognition: Congratulations to Canton High School for receiving **National Banner recognition** from Special Olympics North America! CHS has successfully achieved national standards of excellence in the areas of **inclusion, advocacy and respect** for the second time.

Mekhala Costello, Hockomock Sports Player of the Week: Costello has been instrumental in Canton girls soccer's perfect 3-0 start to the season. The Bulldogs lead the league with nine goals in three games and have yet to concede one. Costello, a senior midfielder, scored in all three games and is tied for the league lead in goals (four) and points (six) and tied for second in assists (two). During the course of three games, she scored three game-winning goals. Costello is also an extremely strong student and demonstrates personal excellence as the director of the lip dub, her graphic design and video production.,

<https://hockomocksports.com/player-of-the-week-mekhala-costello-canton-soccer/>

GMS Marathon Mondays: Under the direction of Dr. Kristen Morgan, and through the collaboration of the staff, GMS Marathon Mondays are off to an amazing start. The Marathon Mondays dedicate independent reading time every Monday from 9:40 - 10:06 AM so that students and adults take time out to read 26 minutes of sustained reading to develop a love of reading.

#### **Highlights**

GMS Community Forum: We are so thrilled to announce the first of four Community Forums for the Galvin Middle School Project. All are welcome and highly encouraged to attend on **Wednesday, September 27, from 7-8 p.m.**, in the CHS Library. These sessions will be facilitated by our Design Firm Ai3. Each forum will have a particular focus to gain stakeholder input and inform the design process. For more information on the GMS Building Project, please visit this [LINK](#).

Senior Center Visit: I thoroughly enjoyed my visit to the Canton Senior Center last week, as an effort to extend our school community relationships with the broader Canton community. Diane Tynan and I had coffee with many wonderful Canton residents. I participated in a Tai Chi class. They loved learning about the schools, and I loved connecting with them.

Open Houses: I want to celebrate our Open Houses across the District and commend the staff and administration for incredibly welcoming nights for students and families. These events are part of school traditions, and I want to commend the extra emphasis deepening our relationships and connections and developing a sense of belonging through these experiences.

#### **Acknowledgments**

School Custodian Day: On October 2, Massachusetts honors school custodians for their incredible impact on our school community and, in particular, ensuring our schools set the stage for the best learning possible. Our custodians take incredible pride in their buildings and the

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relationships with students, staff and families. They are truly remarkable and impressive members of our team. Thank you.

### Updates

MCAS and Accountability Reports: On Tuesday, the Department of Elementary and Secondary Education (DESE) released MCAS scores and accountability reports for Districts across the state. Canton outperformed the state results in nearly every metric. We achieved our District goal of achieving a 5 percent increase in students achieving *Meeting or Exceeding in Math* MCAS. We are beyond proud of our results and we can't wait to share them with our staff and families, and here at School Committee in October.

School Security: Building administration has held safety meetings with all students and staff, and are now conducting fire drills and shelter-in-place drills in conjunction with Canton Fire and Police. We are ensuring all exterior doors are locked, the buildings and grounds are monitored, and our entry and visitor protocols are strengthened. We will be enforcing our policy that school grounds are closed to the general public during school hours. We respectfully ask our community members to refrain from walking through school grounds during the school day, especially near our buildings, windows and playgrounds. In consultation with Canton PD, there are two exceptions: the tennis courts and the track/lower lots. We understand that these are community spaces and we want to be good partners with the community.

Committee members noted that school playgrounds are also closed to the community throughout the school day and asked that all this new information be widely available to townspeople via a press release in *The Citizen*, and via both the District and town websites.

### Important Dates and Events

Sept. 25	No School - Yom Kippur
Sept. 26	CHS Open House, 6:00 pm
Sept. 27	GMS Community Forum, CHS Library, 7:00-8:00 pm
Sept. 28	GMS Open House, 6:00 pm
Oct. 5	School Committee Meeting, CHS DLL, 6:00 pm

**D. Student Representative Introductions:** Principal Sperling described the role Student Representatives serve in the role of Student Representatives including working with elected members of each class as well as the School Committee. He explained the process of their election and their responsibilities. Mr.Sperling then introduced the 2023-2024 student representatives:

Class of 2024: Samantha Pham

Class of 2025: Aaron Scibelli

Class of 2026: Zoya Gildeberg

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Chair: Emma Cummings

Co-Chair/Alternate: Danica Seto

9th grade: Elections will be held on October 11th.

All representatives were grateful for the opportunity to impact students as well as the greater Canton community.

**E. Teaching and Learning Report:** Ms. Rooney and Mr. Hughes provided the Wayfinder curriculum update. As the new SEL curriculum, Wayfinder is designed around 8 core skills for academics and life including self-awareness, adaptability, empathy, collaboration, agency and purpose. Mr. Hughes, the lead educator for this program, described Wayfinder as a flexible program that “lives” differently at each building level. Lessons will be appropriately adapted for each building; teachers will have access to fitting resources to address any needs for their particular classrooms. Mr. Hughes described the program as interactive and includes digital portals that offer grade level appropriate lessons.

Further information for parents is available. 30 minute Webinars ( all of which will be recorded) for each academic level are scheduled for October 3rd; additionally, resources will be shared to parents via the Principals’ weekly newsletter.

#### **F. Unfinished Business:**

1. **Strategic Plan:** Acknowledging the efforts of the Strategic Planning Committee, Superintendent Folan shared the 2023-2028 Strategic Plan, asking for a vote of approval to begin implementation. He discussed the development and application of the three step planning process and the evolution of the Mission Statement as well as the core values of CPS (REACH), its Vision Statement and Theory of Action and followed with four priorities as part of the action plan:
  1. Teaching, Learning and Leading for all;
  2. Management and Operations;
  3. Communication and Community Engagement
  4. Safe, Inclusive and Equitable Environments

Each priority includes objectives, focus and rationale and can be reviewed [Here](#).

Committee members applauded Superintendent Folan and the Committee’s efforts for bold achievements in producing an evolving document, and asked that:

1. the document contain an opening letter including a glossary of unfamiliar educational terms as well as better definitions of Rigor, High Quality Teaching & Learning; “exceptional education.”
2. list steps that will achieve outcomes from actionable items;
3. include more specific *Indicators of Success*, particularly when defining the “underserved population;”
4. address the explicit gap of commitment to rigor, and add demonstrable, measurable markers in the curriculum to know and quantify that they are happening. Mr. Folan felt rigor is happening everywhere everyday and needs to be seen.
5. details be added to the plan so it can be seen as a road map.

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6. Tools to develop happy, healthy, safe, and successful students

Mr. Folan described this plan as a “guiding document” for the five year plan with flexibility based on evolutions of education, data points, emerging technologies, and other changes. He thought it prudent to review the Strategic Plan in each of the five years.

Hearing no further questions or comments, Chair O’Halloran asked for a motion to approve the CPS Strategic Plan as written and presented. Laura Arboleda made the motion; Kimberly McCourt seconded. Ensuing vote was unanimous at 5-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O’Halloran	yea

5 yeas      0 nays

**2. Superintendent/District Goals 2nd Read:** Superintendent Folan presented the revised and updated 2023-2024 District Improvement Goals born out of the Strategic Plan for a second read and potential vote of approval. Mr. Folan identified revisions made in each of the goals:

- a. **Goal #1**-included Superintendent goals and added glossary terms and standards to each key action; setting the course around professional practice;
- b. **Goal #2**-targets an average student growth of a 2% increase, particularly in the lower achievement levels and noted that these selective populations and achievement gaps need more attention as determined a priority by the Commissioner;
- c. **Goal #3**-
  - i. added professional development and multiple modes of engagement in communication; addressed baseline data and how to analyze data to recognize and determine discernible improvements for reaching everyone and reducing barriers to communication;
  - ii. Development of Social Media; celebrate the good work happening in the District;
- d. **Goal #4**-a 2 year goal to address and reduce disproportionality of the discipline ratio (monitored closely by DESE). This does not mean lowering standards of discipline, but rather addressing the disproportionality of selective population discipline and risk ratios. Goal will be met by employing Wayfinder curriculum, continued Restorative Justice training, and twice yearly Equity Professional Development. Mr. Folan noted that these standards are aligned with his Superintendent goals.

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**Discussion:** Ms. Merenda appreciated the great thought and work presented, but wants to be sure all these goals parallel the School Committee’s Superintendent Evaluation assessment for each of the four categories including evidence of alignment of standards and indicators for each goal.

Ms. Moran spoke of her concern of this year’s deviation from the process of goal setting. In response, Mr. Folan stated that he had reviewed the policies and believes it is his charge to build the goals based on the Strategic Plan, then set, build out, and bring goals to the School Committee for discussion and approval. He would welcome a deeper dive into the evaluation process to be sure all are in compliance. Ms. Moran felt there is additional work necessary to make sure all are on the same page so all are fully aligned as the evaluation process comes together. Ms. Merenda suggested that, moving forward, the process might include engaging in conversations before Goals are set. Mr. Folan acknowledged the need of and welcomed a reexamination and new assessment of the process of his evaluation. He also called for an acknowledgement of the current goals and feedback from the Committee regarding these targets and goals in furthering the mission and success of students.

Committee members thought the student goal makes perfect sense, but would like to know more about these populations and agreed that the content is in the right direction in setting up students for success. A member inquired about time to allow a workshop for discussion around the Superintendent Evaluation. There was consensus that there is a continued need to be better educated about the specifics of the goals of the Superintendent evaluation process. Mr. Folan voiced concern that if these goals are not approved, all improvement plans and focus areas will stop. He felt setting and committing to focus areas were critical to the success of the school year. Ms. Merenda suggested the vote not be delayed, but that there be continued conversation and greater details around goals, specifically disproportionality in suspension rates. The Committee agreed to an added caveat that there be a workshop scheduled to further discuss District Goals.

With no more questions or requests for further discussion, Chair Merenda called for a motion to accept the CPS 2023-2024 District Goals. Ms. Moran made the motion; Ms. Arboleda seconded. Ensuing vote was unanimous at 5-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O’Halloran	yea

- 3 **Policy Updates Section F & Section G:** Superintendent Folan and members of the policy subcommittee presented policy sections F & G for a vote of approval. Ms. O’Halloran indicated the subcommittee met with MASC representatives, Ms. Dorothy Presser and Ms. Alicia Malin, on Monday, Sept. 18th to further review these sections. Ms. O’Halloran indicated changes made during that meeting to address previously noted concerns in these sections including naming Facilities Planning as

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part of the policy; renaming PTA to CAPT; and memorials being in line with policy. Moving forward, memorials will be in line with current policy. There was discussion over “naming” versus “memorials”. Subcommittee members will continue to consider thinking about the differentiation as it relates to this policy and to the town and its community. Proposed Section G wording changes were addressed including crowdfunding versus gift policy; updated reference notes, 1st amendment rights, new vs backfilling or modifying positions; stipends that are specific to CEA contracts; educator evaluations; and better definitions for regulations.

Hearing no further comments or requests for discussion, Ms. O’Halloran asked for a motion to approve Policy Sections F and G with recommended changes. Ms. Merenda made the motion; Ms. McCourt seconded. Ensuing vote was unanimous at 5-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O’Halloran	yea

5 yeas            0 nays

- 4. School Committee Operating Protocols:** Chair O’Halloran reviewed the updated School Committee Operating Protocols (draft 9.20.23). This document will serve as a self-governing document clarifying the limits of School Committee authority and aiding in making informed decisions. Ms. O’Halloran noted that legal counsel had reviewed the document and saw no deviation from any other district. Additionally, MASC representatives, Jim Hardy, Dorothy Presser and Alicia Mallon, have also reviewed the document and agreed with legal counsel’s assessment.
- Ms. O’Halloran opened the floor for questions. Ms. Moran asked for clarity around the requirement that any member’s request for information that is not already in existence shall require a public committee vote. Chair O’Halloran noted that the distinction between “in existence” is the application of the Freedom of Information Act. A full committee vote will give the committee the opportunity to determine the value of significant central office administrative time and effort that may be required to develop and complete the request. Mr. Folan stated that the committee would look for the rationale of the request in consideration of the administrator’s time. Ms. Moran expressed concern about balancing the committee’s need to make informed decisions on behalf of the public. Ms. O’Halloran assured the group that any request would be fully deliberated by the committee. Ms. Moran followed with a question regarding a statement about communication within the District, specifically through staff and family surveys. Ms. O’Halloran noted that the flow of information within the school system should follow the hierarchy. Mr. Folan understood Ms. Moran’s concerns about themes and trends and will think about how to present these while continuing to improve Staff and Family surveys. Concern about the eligibility of only specific School Committee members to contact legal counsel was also discussed. Chair O’Halloran acknowledged the concern, but indicated that this was recommended by the attorney and is comparable to the policies of surrounding towns. Ms. Moran asked that if this level of protocol is put into practice, the full

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committee be apprised of any and all communications by being cc'd on any document for full transparency. Concern was also voiced at how prescriptive the additions are to the protocol based on other towns' agreements. Ms. O'Halloran asserted that this was based on the format from the previous year as well as MASC recommendations.

Ms. Merenda noted that there has been a change in continuing education requirements due to revisions from the Mass. Ethics Commission. Bullet 2 sub-bullet 1 may need to be revised. General consensus suggested the revision was already in place, but Chair O'Halloran will follow up with MASC to assure revisions are up to date.

Ms. Arboleda requested that no vote be taken; rather, a revised document inclusive of all updates be brought to the next committee meeting for a vote. Chair O'Halloran was in agreement; she did ask the committee to respect the chain of command within the school system. The document will be brought forward at the next Open Session Meeting for a vote of approval.

#### **G. New Business:**

**1. Transportation Update:** Representatives from First Student, Superintendent Folan and Mr. Marshall provided a transportation update. Mr. Folan stated that bus transportation had improved since the last update on September 7th, but is in need of further adjustments. Administration is targeting areas that continue to need refinement including crowded GMS buses and late arrival of some buses to school. 1st Student representatives advocated for a 20th bus to ameliorate space and timing issues—District officials agreed. Since its addition, on time arrival, overcrowding, and length of time on the bus has greatly improved; feedback from families and students has been positive. Buses are still challenged by Canton traffic, particularly on Tuesdays. New times and bus numbers are being communicated to parents/students impacted by changes via email. GPS has been activated; however, there are some tracking issues that Mr. Marshall is working to resolve these concerns in a document that will be forwarded to parents and added to the website. Dr. Greene and Ms. McLeod continue to pay very close attention to incoming emails. While safety issue responses are the highest priority, all incoming emails are generally answered within 24-40 hours.

1st Student representatives, Barbie Doherty and Tracy Donahue, welcomed questions and concerns regarding transportation from School Committee members. Pre-ride checklist adherence was a particular issue; committee members inquired why some cameras were inoperative. 1st Student reps conceded that hard drives were old; new ones have been ordered. Once installed, the camera issue should be resolved. Committee members appreciated the candor of the representatives and asked First Student to consider whole systems that will resolve current and overall continued and concerning bus issues. Additionally, committee members called for the District to develop short and long term considerations to improve bus transportation as a whole. Suggestions included clarity on standards and improved/ more comprehensive policies on bus ridership.

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**2. Kindergarten Enrollments:** Mr. Marshall updated the committee regarding current Kindergarten enrollment numbers noting that the District is close to full capacity. While there are 9 pending students, Mr. Marshall is not concerned. He also stated that no migrant families have been assigned to Canton; if any families are ultimately assigned to the District, these students will be placed in proper grades. Mr. Marshall will forward the most updated numbers to the full committee on Friday, September 22nd.

**3. Residency Recertification Update:** Mr. Marshall provided an update on the summer residency recertification process for 6th and 9th graders. He documented 100% completion of residency recertification at the high school level. At this time, 12 families have not completed recertification at the middle school level. Mr. Marshall reported that the District continues working towards 100% completion.

**H. Public Comment:** Canton resident and parent, Ms. Jennifer O'Donnell, voiced concerns over bullying in the District and its effects on the mental health of school age children. Ms. O'Donnell asked the District to take appropriate steps in these matters.

**I. Assistant Superintendent of Finance and Operations Report:** Mr. Marshall had nothing further to report.

**J. Consent Agenda:**

- 1. Regular Session Minutes: August 3, 2023, August 17, 2023, September 7, 2023
- 2. Executive Session Minutes: August 15, 2023
- 3. Warrants: September 22, 2023.

Committee members requested that Regular Session Minutes from August 3rd, 2023 and Executive Session Minutes from August 15, 2023 be pulled from the Consent Agenda for further review. Chair O'Halloran then called for a motion to accept Regular Session Minutes from August 17, 2023, September 7, 2023, and the September 22, 2023 Warrant. Laura Arboleda made the motion; Maureen Moran seconded. Ensuing vote was unanimous at 5-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O'Halloran	yea

5 yeas      0 nays



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**K. Update of Sub-Committee, Task Force and Liaison Posts:**

**Kristian Merenda:**

1. Suggested naming a new subcommittee for Negotiations of Unit B;
2. Asked the committee to consider how to approach attendance for the November SC meeting when proposed new GMS building will be discussed.

**Kimberly McCourt:** Reported that the DEI Subcommittee met two weeks ago and agreed to continue partnering with groups supporting ongoing activities in the DEI realm.

**Maureen Moran:** At the 9/15/23 Budget & Finance Subcommittee meeting, members reviewed priority items from last year to help set priorities for the upcoming fiscal year.. Ms.Moran will update the spreadsheet as the budget process begins.

**Kendall O'Halloran:** Policy subcommittee continues to work on updating policies; Content & Communications: the first ad of the academic year was published in *The Citizen* last week, and there is continued work on finding a student graphic artist for future ads.

CCPC: Application process is in full swing.

**Mr. Folan:** Recently met with CAPT presidents, inviting principals to join offering an opportunity to partner with them in community interests and goals.

**Mr. Marshall:** CCPC-noting cost overages at the Little League Concession Stands, Mr. Marshall recommended the organizational team submit an application for supplemental funds.

**L. Other Business:** None requested.

**M. Future Business:** The next School Committee Open Session meeting is scheduled for Thursday, October 5, 2023 @ 6:00 pm.

**N. Adjournment:** Hearing no questions or requests for further discussion, Chair O'Halloran asked for a motion to adjourn the Thursday, September 21, 2023 School Committee meeting at 10:05 pm. Kristian Merenda made the motion; Kimberly McCourt seconded. Voting was unanimous at 5-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Kristian Merenda	yea
Maureen Moran	yea
Kendall O'Halloran	yea

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5 years      0 nays

Documents reviewed:

Superintendent's Report, Thursday, September 21, 2023

CPS Teaching and Learning School Committee Update, September 21, 2023

Wayfinder Core Skills and Competencies

CPS 2023-24 District Goals

CPS 2023-2028 Strategic Plan

CPS Policy Section F

CPS Policy Section G

Canton School Committee Operating Protocols Draft (9.20.23)

2023-24 Canton District Enrollment Numbers as of 9/15/23

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Approved by the School Committee  
On October 19, 2023

**Canton School Committee  
Thursday, October 5, 2023  
Open Meeting Minutes**

**A. Call to Order:** Chair O'Halloran called for a motion to convene the Thursday, October 5, 2023 School Committee Open Meeting meeting 5:39 pm. Ms. Moran made the motion; Ms. Arboleda seconded. Roll Call vote was unanimous at 4-0 and recorded as:

Laura Arboleda      yea

Kimberly McCourt      yea

Maureen Moran      yea

Kendall O'Halloran      yea

4 yeas      0 nays

**Attendees:**

Kendall O'Halloran

Laura Arboleda

Kimberly McCourt

Maureen Moran

Danika Seto, Student Representative (arrived at 6:11 pm)

Derek Folan, Superintendent

Stephen Marshall, Assistant Superintendent for Finance and Operations

Sarah Shannon, Assistant Superintendent for Teaching and Learning

Joanne Campbell, Recording Secretary

**Absent:** Kristian Merenda

**Guests:**

Justin Thibeault, Ai3 Representative

Mike Pirollo

Joshua Fogel, Data Analytics Manager

Mr. Jonathan Mulhern, GMS Principal

Ms. Deborah Rooney, Teaching and Learning

**B. Executive Session:** School Committee members immediately entered into Executive Session for Purpose 7: Approve minutes; comply with, or act under the authority of, any general or special law or federal grant-in-aid requirements

Committee members returned to Open Session at 6:02 pm.

Approved by the School Committee

On October 19, 2023

**C. Superintendent's Report:** Superintendent Folan presented District progress, highlights, and accolades as follows:

**Champions of Excellence**

Canton High School NEASC Collaborative Conference at CHS: The [New England Association of Schools and Colleges](#) (NEASC) visiting team is a group of current and retired administrators and current teachers from across the region. The NEASC visiting committee was on site on October 4-5 to review the report across the [5 NEASC Standards of Accreditation](#). The objective of the self-reflection is to assess the school on each of the 5 NEASC Standards and identify several priority areas and goals all with an eye on the decennial accreditation visit in 2025. Access this [LINK](#) for a CHS-developed website that captures all information about the NEASC Collaborative Conference.

The team arrived at 7:30 am on Wednesday for the two-day visit. Two CHS students, juniors Emma Cummings and Maegan Horrigan, provided a comprehensive tour and welcome for the guests. The majority of the day consisted of meetings with various stakeholders as well as sessions focused on specific standards. The visiting team also observed classes and was provided access to all courses during the scheduled class period. At the conclusion of Day 1, the team compiled all they learned about CHS and began to prepare their report.

Day 2 agenda included work on their reports, scheduling additional meetings as needed, and closing out the visit with the principal and steering committee. The final report will contain recommendations for areas of improvement leading into the decennial visit, as well as suggestions on resources, facilities improvements, and affirmation of the identified Priority Areas. We do not expect that report for several months, but action steps towards addressing several of the priority areas are already being developed.

On behalf of our school community, we thank the NEASC visiting team for their time and effort to help us improve, and we extend the highest commendations to the entire CHS staff for their collective work on this accreditation process.

CHS National Merit Commended Students: Congratulations to the five students at Canton High School who have been named Commended Students in the 2024 National Merit Scholarship Program. Gavin Demanche, Dominic Gray, Hannah Isaac, Derek Mar, and Anika Valluri are among approximately 34,000 students from across the nation who are being recognized by the National Merit Scholarship Corporation (NMSC) for their "exceptional academic promise."

Making Strides Breast Cancer Walk: Over 160 Canton students completed the Sunday, October 1st, 6-mile Breast Cancer walk around the Charles River. As one of the top teams in 2022, 6 CHS students were honored at the Hatch Shell. Two of them, Charlotte Clyve and Fatima Sidibay, also spoke to the thousands in attendance at the Hatch Shell. The group this year has raised almost 10K, pushing the CHS total to over \$155K since 2002.

GMS Community Forum No. 1: The first GMS Community Forum was held on September 27 in the CHS library. Over 50 members of the school community listened to the GMS Project Overview, as presented by Ai3 and LeftField, and took part in a hands-on activity placing sticky notes for ideas and hopes on the site map of GMS for the GMS Building Project. Our next Community Forum will be October 25 at the GMS Library.

Approved by the School Committee

On October 19, 2023

Technology and Library Time: I had the opportunity to visit Hansen Elementary this week, and want to spotlight a great teaching and learning moment. Staff members Justin Martin and Emma Harding conducted a lesson teaching Grade 1 students some technology steps on using an iPad and accessing educational software. Students then had the opportunity to search for books that interested them.

### **Highlights**

GMS Fit4Funds: What an awesome day for the Galvin Middle School and the GMS CAPT's Fit4Funds, the annual fundraising event for the GMS community. Students participated in a variety of fun fitness-based activities. So far, the event has raised \$30,000. Proceeds help fund Grade 8 activities, field trips and enrichment events for students.

JFK CAPT Event: JFK held a CAPT-sponsored assembly. The speaker/performer, Manny, talked to the students about being bullied as a child, being kind to one another, and how to be a buddy, not a bully. He told students that the golden rule is to treat everyone the way they would like to be treated. He also spoke about kindness and how being kind to one another can make the community a better place. Thank you to JFK CAPT for bringing this event to the JFK community.

CPR Training: 50 staff members from across the District became certified in CPR and trained in AED use. Nurse Leader Lauren Pushard arranged the training sessions. She hopes to schedule another 50 staff members for training in the spring.

Champions of Wellness Road Race: The Champions of Wellness 5k takes place on Sunday, November 19. Members of this group will be joining us at the next School Committee meeting on October 19. We look forward to gathering more information about their initiatives.

### **Acknowledgments**

National Custodian Day: School Custodians were celebrated and honored Monday, October 2. They are not a group that looks for the spotlight, however, they certainly appreciated the kind words and commendations from members of our school community. Our buildings are points of pride and shine daily, setting the stage for great teaching and learning. Each school crew received some pizzas and thank you notes on behalf of the School Committee, administration and staff.

National Principals Month: October is National Principals Month. This is a great opportunity to say thank you for the daily leadership of our great Principals. They carry out the educational vision and set the tone for culture in the buildings. They are continually in service of the students, staff and families they lead. They will be acknowledged at the next School Committee meeting.

### **Updates**

New Signs: Thank you to the Town of Canton for installing the new signs and speed limit devices on Pecunit Street near Hansen and GMS and for keeping our school community safe. The Town of Canton received the upgrades through a grant.

Approved by the School Committee  
On October 19, 2023

GMS/CAASA Safe Teens, Strong Futures Speaker Event: On October 16, GMS and CAASA are co-hosting a substance abuse prevention event. The Wellness Department, in its work with CAASA, coined these events “Safe Teens, Strong Futures”. The event is open to all, with particular focus on middle school families and students. The interactive workshop will help middle school families and students identify, address, and prevent substance abuse. Daniel Tratt is the guest speaker and there will be many substance use items that families can see and learn about. CAASA will provide food. Any questions may be directed to PreK-12 Wellness Coordinator, Adam Hughes.

**Important Dates and Events**

Oct. 9	No School - Columbus Day/Indigenous Peoples Day
Oct. 13	<a href="#">CHS Coffee House</a> , Outside CHS Cafeteria, 7:00-9:00 pm
Oct. 19	School Committee Meeting, CHS DLL, 6:00 pm
Oct. 21	Hansen Fall Festival, 11:00 am - 4:00 pm
Oct. 25	GMS Community Forum #2, GMS Library, 7:00-8:30 pm
Oct. 27	Early Release, PreK-12, Professional Development

Chair O’Halloran exercised her right as chair to adjust the agenda to allow **New Business (D-1)-Ai3 Educational Program Review** to present out of order.

**Ai3 Educational Program Review**: Representatives from Ai3 reviewed the GMS Building Project Educational Program. Superintendent Folan acknowledged the efforts of the Project Management team at LeftField and reviewed the Project Schedule timeline for MSBA submissions. Educational Consultant, Mr. Mike Pirollo explained the process of identifying and developing the Educational Vision process around Curriculum, Instruction, Learner and Learning Environment, and project goals that will bring this vision to fruition.

Mr. Folan introduced the **GMS Education Program** document written in partnership with Ai3, and gave an overview of the 80 page document. He addressed considerations for grade configurations 5-8 and 6-8 and highlighted how the major components of the Educational Program-Inclusion, Community Spaces and Safety and Security would be implemented in the design of the building. Noting that the document is a first draft and a first read, a second read will be presented at the Thursday, October 19th School Committee Open Session. Mr. Folan encouraged the community to be an active part of this process and invited all to attend the next Open Form on Wednesday, October 25th, 7-8:30pm at GMS. Grade configuration will be a part of the agenda.

Ms. McCourt suggested that administration connect with educators for their perspective on each of the grade configurations. Justin Thibealut of Ai3 will follow up on this request.

The full GMS Education Program document may be found on the School Committee webpage, Meetings Agendas and Minutes, [Oct 5 Meeting Materials \( Module 3 educational program\)](#).

Approved by the School Committee  
On October 19, 2023

**D. Unfinished Business**

1. **School Committee Operating Protocols:** Chair O’Halloran confirmed that the mandatory training schedule noted under “How the Canton School Committee Will Improve” is correct. Members then reviewed the School Committee Operating Protocols. Ms. Moran registered a general concern over the heavy-handedness of the document, voicing an uneasiness that the Committee might be kept from doing their diligence for the community. It was noted that the document is updated on an annual basis. Concerns and considerations for the document may be addressed each year.

Hearing no requests for further discussion, Chair O’Halloran called for a motion to approve the 2023-24 School Committee Operating Protocols as written and presented. Laura Arboleda made the motion; Kimberly McCourt seconded. Voting was recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Maureen Moran	nay
Kendall O’Halloran	yea

3 yeas      1 nays

There was a question on the timeline for responding to a member’s request for information that is not in existence. Post Committee approval of the request, and with the understanding that the nature of the request may require more time, the administration would endeavor to have information available by the next School Committee meeting. In the event that additional time is necessary for gathering appropriate information, Ms. Arboleda suggested administration correspond with the requestor via email the expectations of the time frame for response.

At this time, Ms. Moran followed up with a request for contracts for all major vendors be placed in the School Committee shared drive. There was an additional request regarding Professional Development reimbursements. Ms. Moran requested specific information about names of courses that were being reimbursed as she felt it might be a good mechanism to support educators and help the School Committee and larger community understand trends. Mr. Folan asked that this request be forwarded to counsel for advice. He will return with contractual guidance post consultation.

**D. New Business:**

2. **MCAS & Accountability Report:** Mr. Fogel shared the District-wide MCAS data and the Accountability Scorecard. Of particular note, the District achieved its



Approved by the School Committee

On October 19, 2023

2022-23 goal of increasing achievement to *meeting and exceeding* state scoring expectations in Math by 5%. Mr. Fogel also noted that Math, ELA, and Science scores are trending in a consistently positive direction based on Massachusetts standards meaning they are remaining stable or increasing from 2022 scores.

Mr. Fogel explained the new Mass. Accountability formulas and criteria designed to return scoring to the 2019 performance levels and how it will be measured. Each school will receive an accountability report that will take into consideration chronic absenteeism (missing more than 10% of school days), advanced coursework completion from 2-22 and 2023, four year graduation rates, annual dropout rate from 2022, and extended engagement rates from 2021. He then presented the 2023 CPS Accountability Data to help illustrate the scoring of “overall progress” toward improvement targets in these categories.

Based on these criteria, CPS has formulated a 2023-24 District Goal of seeing an average student growth of 2 percentile rank for the selected population of students in the lowest performing quartile, based on the state’s accountability system. Focus Areas will continue a math focus while also including writing across all grades and content areas, MTSS structures, high quality teaching, leading and learning and equity professional development.

Individual student reports will be sent out via US Mail on Thursday, October 12th. Families who are new to Canton are asked to call their previous school district to receive their child’s/children’s report. Online resources are also available via the CPS website.

The full 2023 MCAS & Accountability District Results may be found on the School Committee webpage, Meetings Agendas and Minutes, [Oct. 5 Meeting materials](#), [MCAS Presentation](#).

3. **Concussion Protocols (JJIF) 1st Read**: Members of the Policy Subcommittee presented policy JJIF for a 1st read noting that this policy is athletic/team based has not changed; however, practices have improved and are reflected in the draft. MASC representative, Jim Hardy, did not recommend any changes within the document, except to recommend that all Appendices mentioned in the document be included at the back of the policy. Ms. O’Halloran stated that all Appendices will be added into the document for the second read, and asked Committee members to send her any comments, feedback and thoughts in a separate document via email by Wednesday, October 18th.
4. **Policy Section H 1st Read**: Members of the policy subcommittee presented policy Section H for a 1st read. Ms. O’Halloran suggested the Policy is fairly straightforward and asked Committee members to send her their comments, feedback and thoughts in a separate document via email by Wednesday, October 18th.

Approved by the School Committee  
On October 19, 2023

**D. Public Comment:** Canton Resident, Jennifer O'Donnell, voiced concern over the hierarchy and chain of command within the Canton Public School system, particularly when managing complaints regarding the superintendent. Ms.O'Donnell also noted an unease about CPS surveys.

**E. Assistant Superintendent of Finance and Operations Report:** Mr. Marshall had nothing further to report.

**F. Consent Agenda:**

1. Regular Session Minutes: August 3, 2023, September 21, 2023
2. Executive Session Minutes: August 15, 2023, September 21, 2023 (approved in Executive Session October 5, 2023)
3. Warrants: October 6, 2023.

Chair O'Halloran announced the contents of the Consent Agenda asking if there were any requests to remove any item. Ms. O'Halloran asked to remove Regular Session Minutes from August 3, 2023 pending further information from Ms. Merenda. Hearing no further requests, Ms. O'Halloran called for a motion to approve Regular Session Minutes from September 21, 2023 and Warrants for October 6, 2023. Laura Arboleda made the motion; Kimberly McCourt seconded. Voting was unanimous and recorded as:

Laura Arboleda	yea
Kimberly McCourt	yea
Maureen Moran	yea
Kendall O'Halloran	yea
4 yeas	0 nays

**G. Update of Sub-Committee, Task Force and Liaison Posts:**

1. Laura Arboleda-nothing to report
2. Maureen Moran-the Budget & Finance Subcommittee meeting will be held on
3. Kendall O'Halloran:
  - i. CCCP-nothing further to report--continuing process;
  - ii. Content & Communications-next ad will not be published until Fall Sports ends;
  - iii. Ms. O'Halloran thanked CAPT & CAASA members for their support;
4. Stephen Marshall-Sustainability Committee has not met yet, but he is hopeful they will begin shortly;
5. Derek Folan-nothing further to report.

Approved by the School Committee  
On October 19, 2023

**H. Other Business:** None

**I. Future Business** The next Open Session meeting is scheduled for Thursday, October 19, 2023 @ 6:00 pm.

**J. Adjournment:** Hearing no questions or requests for further discussion, Chair O'Halloran asked for a motion to adjourn the Thursday, October 5, 2023 School Committee meeting at 8:24 pm. Maureen Moran made the motion; Laura Arboleda seconded. Voting was unanimous at 4-0 and recorded as follows:

Laura Arboleda	yea
Kimberly McCourt	yea
Maureen Moran	yea
Kendall O'Halloran	yea
4 yeas	0 nays

**Action Items:**

1. Mr. Folan asked that the request for access to specific Professional Development information be forwarded to counsel for advice. He will return with contractual guidance post consultation.

**Documents Reviewed:**

Superintendent's Report, October 5, 2023  
Galvin Middle School Project Update 10.5.23  
Galvin School Building Educational Program  
Canton School Committee Operating Protocols, Draft 10.3.2023  
Canton Public Schools 2023 MCAS & Accountability District Results  
CPS Concussion Management Policy (JJIF)  
CPS Policy Section H

## Community Forum Presentation

Refer to the following pages for a copy of the Community Forum #1 presentation held on September 27, 2023. The presentation introduced the community to the designer and OPM before providing an overview of the process, schedule, existing conditions assessments, and educational programming and visioning. The forum concluded with an interactive activity to gather site specific information and identify community priorities.

Community Forum #2 was held on October 25, 2023. The focus of this forum was to discuss grade configuration options for the project.



**AGENDA:**

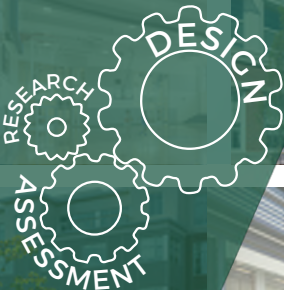
- 1. Team Introductions
- 2. MSBA Masterplan & Process
- 3. Project Schedule
- 4. Work to date
- 5. Next steps

**COMMUNITY ENGAGEMENT**

- Site plan/community use charrette: Identify community features and what is important to Canton residents

**100% Focus  
on Education!**

We are a unique firm  
specializing in  
educational design



# Middle School Design Experience

**25+** years designing innovative middle school environments

**40+** partnerships with cities & towns across New England

**4,000+** educators have shared their philosophies, challenges, & success stories with us

**Over 110,000** Children have been educated in middle schools designed by Ai3 Architects



Student-Centered Design Concepts

**Social-Emotional Learning**



Student-Centered  
Design Concepts

**Learning Communities**



Student-Centered  
Design Concepts

**Hands-on Collaboration**



Student-Centered  
Design Concepts

## Classroom of the Future



Student-Centered  
Design Concepts

## Classroom of the Future





Student-Centered  
Design Concepts

Socialization/  
Student Commons



Student-Centered  
Design Concepts

Socialization/  
Learning Commons



Student-Centered  
Design Concepts

## Flexible Assembly Spaces



Student-Centered  
Design Concepts

## Auditorium Assembly Space



Student-Centered Design Concepts

Professional Collaboration



Student-Centered Design Concepts

Small Group Breakout Spaces



Student-Centered  
Design Concepts

Spontaneous Learning



Student-Centered  
Design Concepts

Outdoor Learning

## Sustainability & Zero Net Energy

Cunniff Elementary School  
Watertown, MA - 2022  
EUI = 23.1



1<sup>st</sup>

Hosmer Elementary School  
Watertown, MA - 2022  
EUI = 22.4



Ai3 designed the fully Net Zero Energy elementary schools in the Commonwealth

On track to be the nation's

## 1<sup>st</sup> Net Zero & LEED v4.1 Platinum High School

Optimally oriented with consideration of mitigating thermal loads on every facade

Super efficient exterior building envelope design (Roof R=50)

All-electric building via geothermal system with ground-source heat pumps

Building-mounted solar to maximize on-site energy production

We are excited to engage the **Town of Canton's NEW Sustainability Committee** to discuss opportunities

# Health & Wellness

Selecting interior finishes & furnishings to achieve LEED v4 credits (M&R c4, IEQ c2)

A healthy school environment improves well being & leads to greater productivity!



**1**  
 Ventilation  
 Indoor Air Quality  
 Thermal Comfort  
 Lighting & Views  
 Acoustic  
 Atmosphere

**HEALTH**

**2**  
 Minimize air recirculation when possible  
 Increase outdoor air into school environment  
 Proper MERV rating filtration

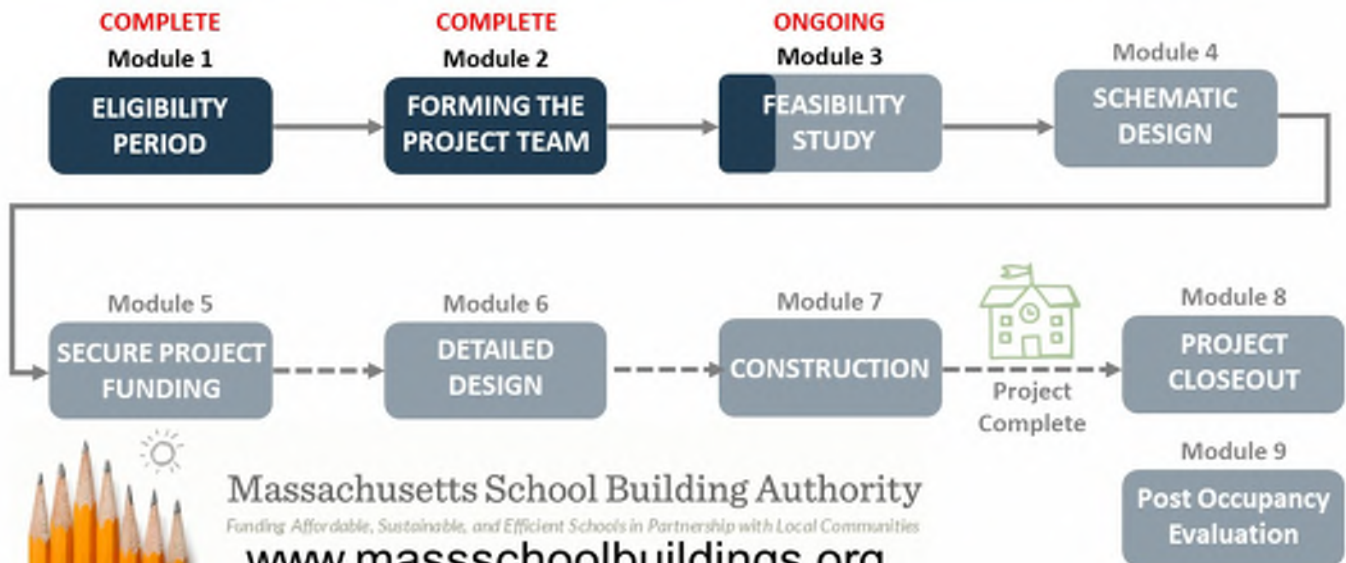
**WELL BEING**

**3**  
 UGUI Germicidal Irradiation  
 Maintain humidity levels between 40%-60%  
 Implement touchless controls

**PRODUCTIVITY !!**

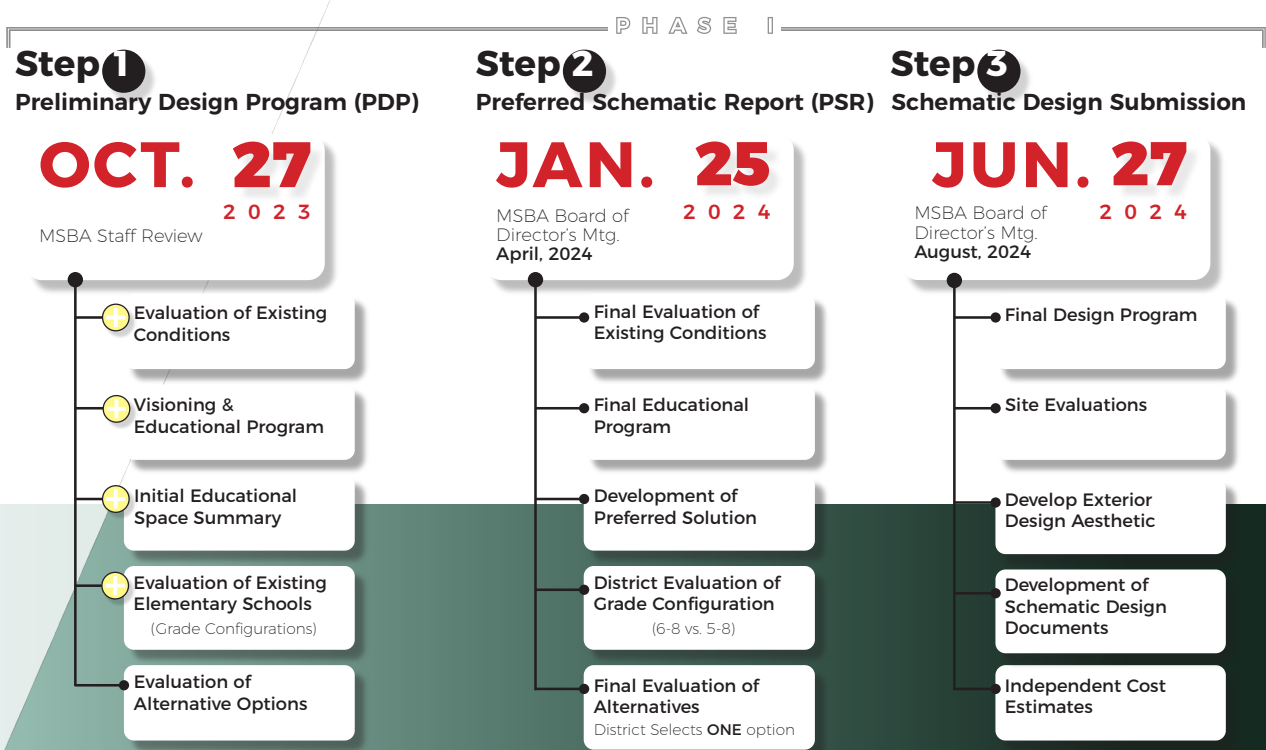
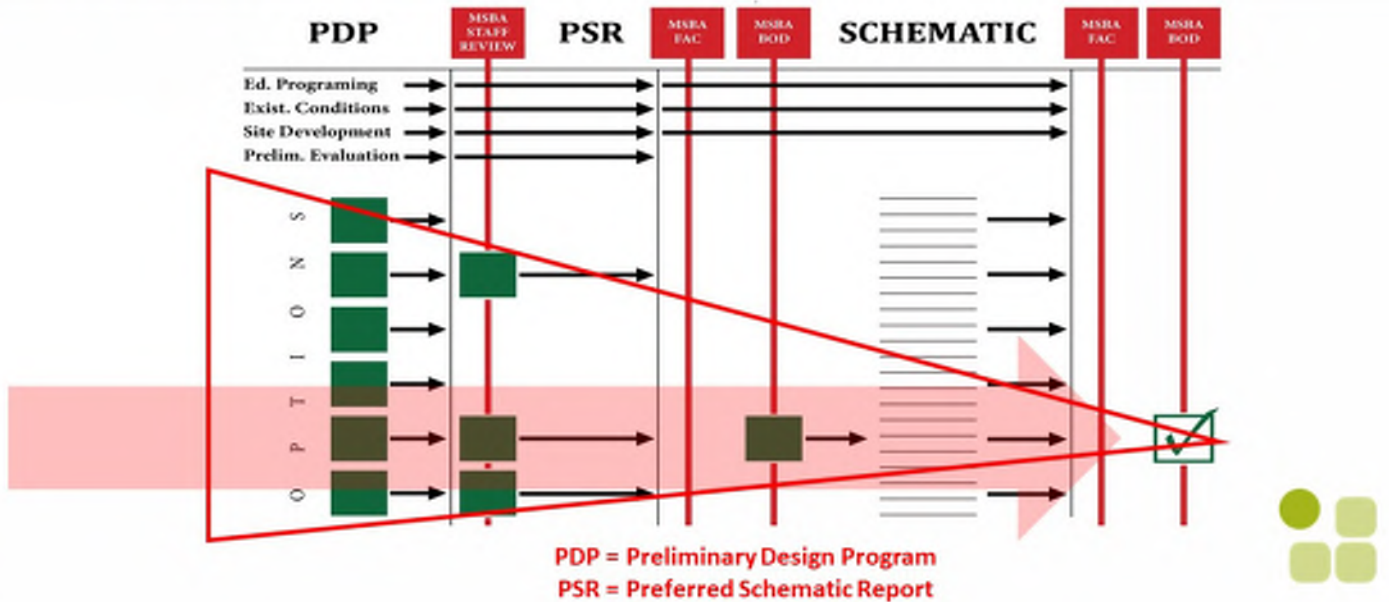


## PROJECT TIMELINE MSBA Process



**Massachusetts School Building Authority**  
 Funding Affordable, Sustainable, and Efficient Schools in Partnership with Local Communities  
[www.massschoolbuildings.org](http://www.massschoolbuildings.org)

# PROJECT TIMELINE MSBA Process



## Existing Conditions

### Observations & Analysis

- Site / Civil
- Geotechnical
- Structure
- Architecture
- ADA/Code Compliance
- Mechanical
- Electrical
- Plumbing/Fire Protection
- Technology

Develop a 3D model of the existing building to analyze space and systems

... plus, continued accumulation of documents & information



## Educational Planning & Programming

### Overview

PER MSBA:



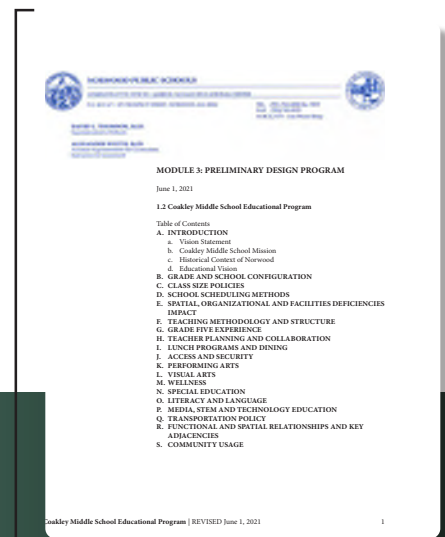
To ensure that school projects are responsive to the educational needs of a District, the MSBA requires the District to:

- 1) document its educational program and
- 2) define proposed educational activities.

Only then can the district work effectively with its designer, OPM, and local stakeholders to develop, evaluate, and select a design that supports its educational objectives/needs.

Establishing a comprehensive and thoughtful educational program also helps to provide for future flexibility to adapt to changes in programming or teaching methodologies over the useful life of the school.

Recommend establishing a Working Group



Sample Educational Program for Norwood Public Schools (60 pages)



# Educational Visioning



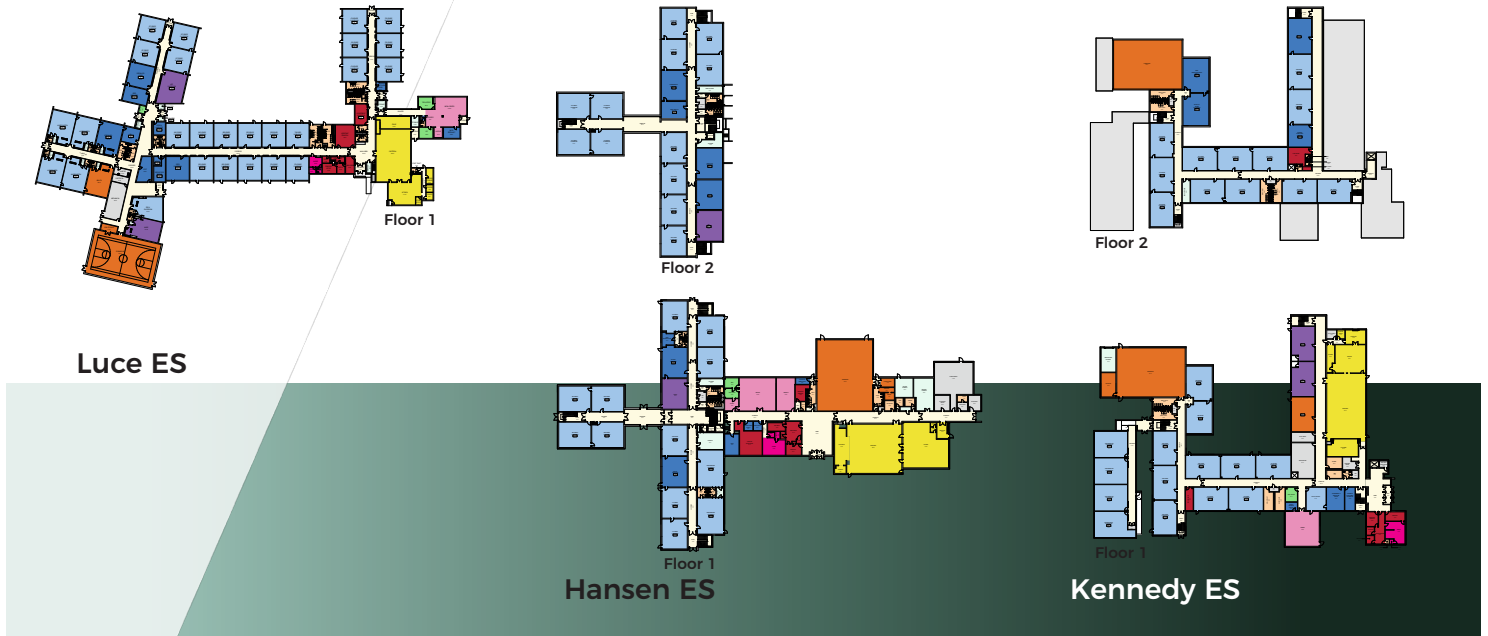
## Educational Planning - Example

### DRAFT Initial Space Summaries

A unique space summary will be created for **ALL 9 Alternative Options**

CANTON PUBLIC SCHOOLS GALVIN MIDDLE SCHOOL				PROPOSED PROGRAM			MSBA GUIDELINES (DO NOT MODIFY) <i>(Refer to Educational Facility Planning for additional information)</i>			
ROOM TYPE	EXISTING CONDITIONS			NEW CONSTRUCTION			ROOM NFA <sup>2</sup>	# OF ROOMS	AREA TOTALS	COMMENTS
	ROOM NFA <sup>2</sup>	# OF ROOMS	AREA TOTALS	ROOM NFA <sup>2</sup>	# OF ROOMS	AREA TOTALS				
<b>CORE ACADEMIC</b>			35,559			66,040			53,650	STE Guidelines Policy
<i>(List rooms of different sizes separately)</i>										
General Classroom	0	0	0	850	39	33,150	900	42	37,800	850 NSF (minimum size) - 950 NSF (maximum size)
General Classroom	616	1	616			0	900			
General Classroom	763	1	763			0	900			
General Classroom	794	5	3,970			0	900			
General Classroom	801	12	9,612			0	900			
General Classroom	804	1	804			0	900			
General Classroom	813	1	813			0	900			
General Classroom	818	2	1,636			0	900			
General Classroom	826	5	4,130			0	900			
General Classroom	831	1	831			0	900			
General Classroom	835	1	835			0	900			
General Classroom	866	2	1,732			0	900			
General Classroom	887	1	887			0	900			
Total Number of General Academic Classrooms		33								
Small Group Seminar (20-30 seats)	0	0	0			0	500	3	1,500	
Science, Technology, Engineering (STE) Room (Grade 6)	794	1	794	1,080	3	3,240	1,080	5	5,400	1,080 NSF (minimum size); Refer to the STE Guidelines for additional information.
Science, Technology, Engineering (STE) Room (Grades 6)	801	1	801			0	1,080			
Science, Technology, Engineering (STE) Room (Grade 5)	0	0	0			0				
STE Storage Room	0	0	0			0	120	5	600	Minimum of (1) 120 NSF STE Storage Room; Refer to the STE Guidelines for additional information.
Science Classroom / Lab (Grade 7)	777	1	777	1,440	3	4,320	1,440	5	7,200	Assumed schedule: 1 period per day; Minimum size: Refer to the STE Guidelines for additional information.
Science Classroom / Lab (Grade 7)	855	2	1,710			0	1,440			
Science Classroom / Lab (Grade 8)	863	2	1,726	1,440	3	4,320	1,440			
Science Classroom / Lab (Grade 8)	1,032	1	1,032			0	1,440			
Prep Room - 7th	224	1	224	200	3	600	200	5	1,000	11,200 NSF Prep Room required per STE Guidelines; Refer to the STE Guidelines for additional information.
Prep Room - 8th	295	1	295	200	3	600	200			
Central Chemical Storage Room	0	0	0	150	1	150	250	1	250	11,650 NSF Central Chemical Storage Room required per STE Guidelines; Refer to the STE Guidelines for additional information.
Multi Language Classroom	184	1	184	450	4	1,800				

## Capacity Evaluation of Elementary Schools (Quantity and size of existing spaces)



## Evaluation of Alternative Options

The PDP Submission will consider the following:

#	Grades	Option for Consideration	Enrollment	GSF	Cost/SF (Renovation)	Cost/SF (Add/New)	Total Est. Cost
1	6-8	BASE REPAIR	766 (current)				
2	6-8	ADDITION/RENOVATION	760				
3	6-8	ADDITION/RENOVATION (w/ Auditorium)	760				
4	6-8	NEW CONSTRUCTION	760				
5	6-8	NEW CONSTRUCTION (w/ Auditorium)	760				
6	5-8	ADDITION/RENOVATION	1020				
7	5-8	ADDITION/RENOVATION (w/ Auditorium)	1020				
8	5-8	NEW CONSTRUCTION	1020				
9	5-8	NEW CONSTRUCTION (w/ Auditorium)	1020				

TBD

## Next Steps

### Item 1 Upcoming Meetings

#### Building Committee

October 18  
November 15  
December 20

#### School Committee

October 5 & 19  
November 2 & 16  
December 7 & 21

### Item 2 Critical Votes

#### Submit PDP to MSBA

October

#### Auditorium or Cafetorium BC

and

#### Grade Configuration SC

December

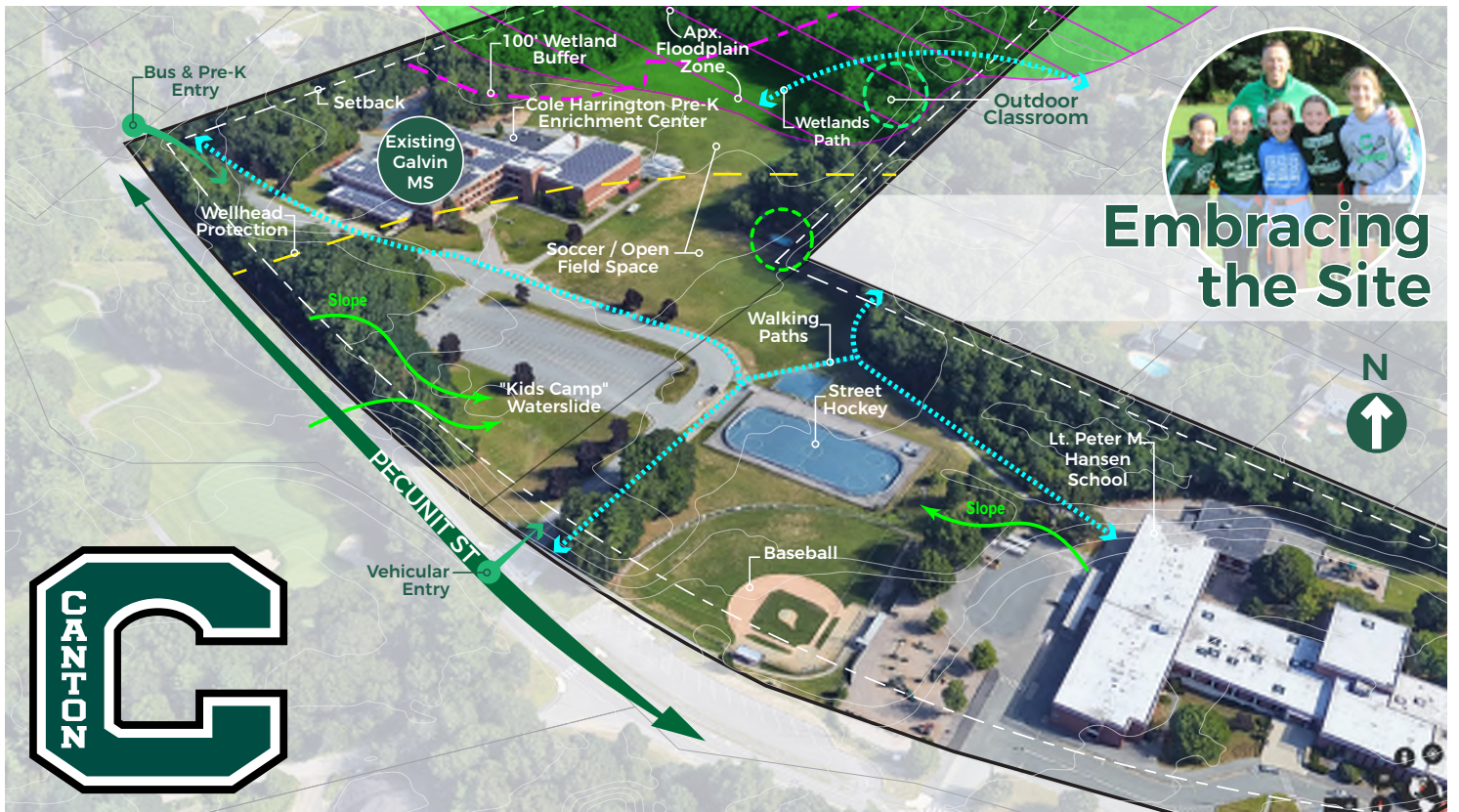
### Item 3 Community Engagement

#### Community Forums

September 27  
October 25  
November 20  
December 20



[www.galvinmsproject.com](http://www.galvinmsproject.com)



# 2035 MASTERPLAN

- Live** Accessibility for all  
Promote Active Living
- Play** Increase Access to Parks & Open Spaces  
Build Awareness of Local Resources
- Connect** Address Walking and Biking Safety  
Safe Routes to Schools
- Protect** Environmental Stewardship  
Protect Groundwater Sources
- Adapt** Energy Conservation & Generation



What is important to you in the project from a **Community Use** perspective?

# CONSTRAINTS

- Property lines & setbacks
- Wellhead protection zone
- Aquifer recharge
- Floodplain
- Wetlands
- Topography
- Construction Phasing



What is important to you in the project from a **Community Use** perspective?

## ATHLETICS

- Youth Soccer
- Youth Lacrosse
- Youth Football
- Other?



What is important to you in the project from a **Community Use** perspective?

## EVENTS

### SITE

- Kids Camp

### BUILDING

- Open houses
- Graduations/promotion ceremonies
- Theater productions
- Concerts
- Athletic events



What is important to you in the project from a **Community Use** perspective?

## AMENITIES

- Trails / Paths
- Learning opportunities
- Athletic Fields
- Playgrounds



What is important to you in the project from a **Community Use** perspective?

## ACTIVITY 1

### PARTICIPANTS PERSPECTIVE

- Are you a direct abutter?
- Do you currently have kids or have had kids in the school system?
- Did your kids play youth sports?
- Do you utilize the site currently? (other than youth sports)



What is important to you in the project from a **Community Use** perspective?

## ACTIVITY 2

## POST-IT NOTES

Write one word(s) you feel best supports community use

or

what you are looking for from a community use perspective?

When finished, place it on the floor map where you feel best represents the item



What is important to you in the project from a Community Use perspective?

## ACTIVITY 3

## SITE CONNECTIONS

How is the site currently accessed?

- Existing trails
- Poetry trail
- Connection to Hansen ES



What is important to you in the project from a Community Use perspective?

# APPENDICES



## Contents

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659	<b>C</b> Design Enrollment Certification Letter
663	<b>D</b> Phase I Traffic Impact Analysis
677	<b>E</b> Geotechnical Evaluation/Soils Analysis
811	<b>F</b> Phase I Environmental Site Assessment Report
1367	<b>G</b> Wetlands Field Report

*End of Report*



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## **A Statement of Interest**

Attachment A  
Canton Public Schools  
William H. Galvin  
MSBA Statement of Interest  
Submitted: June 10, 2021

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Name of School	Wm H Galvin Middle
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## Massachusetts School Building Authority

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### Next Steps to Finalize Submission of your FY 2021 Statement of Interest

Thank you for submitting your FY 2021 Statement of Interest (SOI) to the MSBA electronically. **Please note, the District's submission is not yet complete.** The District is required to mail all required supporting documentation, which is described below.

**VOTES: Each SOI must be submitted with the proper vote documentation.** This means that (1) the required governing bodies have voted to submit each SOI, (2) the specific vote language required by the MSBA has been used, and (3) the District has submitted a record of the vote in the format required by the MSBA.

- **School Committee Vote:** Submittal of all SOIs must be approved by a vote of the School Committee.
  - For documentation of the vote of the School Committee, Minutes of the School Committee meeting at which the vote was taken must be submitted with the original signature of the Committee Chairperson. The Minutes must contain the actual text of the vote taken which should be substantially the same as the MSBA's SOI vote language.
- **Municipal Body Vote:** SOIs that are submitted by cities and towns must be approved by a vote of the appropriate municipal body (e.g., City Council/ Aldermen/Board of Selectmen) in addition to a vote of the School Committee.
  - Regional School Districts do not need to submit a vote of the municipal body.
  - For the vote of the municipal governing body, a copy of the text of the vote, which shall be substantially the same as the MSBA's SOI vote language, must be submitted with a certification of the City/Town Clerk that the vote was taken and duly recorded, and the date of the vote must be provided.

**ADDITIONAL DOCUMENTATION FOR SOI PRIORITIES #1 AND #3:** If a District selects Priority #1 and/or Priority #3, the District is required to submit additional documentation with its SOI.

- If a District selects Priority #1, Replacement or renovation of a building which is structurally unsound or otherwise in a condition seriously jeopardizing the health and safety of the school children, where no alternative exists, the MSBA requires a hard copy of the engineering or other report detailing the nature and severity of the problem and a written professional opinion of how imminent the system failure is likely to manifest itself. The District also must submit photographs of the problematic building area or system to the MSBA.
- If a District selects Priority #3, Prevention of a loss of accreditation, the SOI will not be considered complete unless and until a summary of the accreditation report focused on the deficiency as stated in this SOI is provided.

**ADDITIONAL INFORMATION:** In addition to the information required above, the District may also provide any reports, pictures, or other information they feel will give the MSBA a better understanding of the issues identified at a facility.

If you have any questions about the SOI process please contact the MSBA at 617-720-4466 or [SOI@massschoolbuildings.org](mailto:SOI@massschoolbuildings.org).

Name of School	Wm H Galvin Middle
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## Massachusetts School Building Authority

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School District Canton

District Contact Barry S Nectow TEL: (781) 821-5060

Name of School Wm H Galvin Middle

Submission Date 6/25/2021

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### SOI CERTIFICATION

To be eligible to submit a Statement of Interest (SOI), a district must certify the following:

- The district hereby acknowledges and agrees that this SOI is NOT an application for funding and that submission of this SOI in no way commits the MSBA to accept an application, approve an application, provide a grant or any other type of funding, or places any other obligation on the MSBA.
- The district hereby acknowledges that no district shall have any entitlement to funds from the MSBA, pursuant to M.G.L. c. 70B or the provisions of 963 CMR 2.00.
- The district hereby acknowledges that the provisions of 963 CMR 2.00 shall apply to the district and all projects for which the district is seeking and/or receiving funds for any portion of a municipally-owned or regionally-owned school facility from the MSBA pursuant to M.G.L. c. 70B.
- The district hereby acknowledges that this SOI is for one existing municipally-owned or regionally-owned public school facility in the district that is currently used or will be used to educate public PreK-12 students and that the facility for which the SOI is being submitted does not serve a solely early childhood or Pre-K student population.
- After the district completes and submits this SOI electronically, the district must mail hard copies of the required documentation described under the "Vote" tab, on or before the deadline.
- The district will schedule and hold a meeting at which the School Committee will vote, using the specific language contained in the "Vote" tab, to authorize the submission of this SOI. This is required for cities, towns, and regional school districts.
- Prior to the submission of the SOI, the district will schedule and hold a meeting at which the City Council/Board of Aldermen or Board of Selectmen/equivalent governing body will vote, using the specific language contained in the "Vote" tab, to authorize the submission of this SOI. This is not required for regional school districts.
- On or before the SOI deadline, the district will submit the minutes of the meeting at which the School Committee votes to authorize the Superintendent to submit this SOI. The District will use the MSBA's vote template and the vote will specifically reference the school and the priorities for which the SOI is being submitted. The minutes will be signed by the School Committee Chair. This is required for cities, towns, and regional school districts.
- The district has arranged with the City/Town Clerk to certify the vote of the City Council/Board of Aldermen or Board of Selectmen/equivalent governing body to authorize the Superintendent to submit this SOI. The district will use the MSBA's vote template and submit the full text of this vote, which will specifically reference the school and the priorities for which the SOI is being submitted, to the MSBA on or before the SOI deadline. This is not required for regional school districts.
- The district hereby acknowledges that this SOI submission will not be complete until the MSBA has received all of the required vote documentation in a format acceptable to the MSBA. If Priority 1 is selected, your SOI will not be considered complete unless and until you provide the required engineering (or other) report, a professional opinion regarding the problem, and photographs of the problematic area or system. If Priority 3 is selected, your SOI will not be considered complete unless and until you provide a summary of the accreditation report focused on the deficiency as stated in this SOI.

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**LOCAL CHIEF EXECUTIVE OFFICER/DISTRICT SUPERINTENDENT/SCHOOL COMMITTEE CHAIR  
(E.g., Mayor, Town Manager, Board of Selectmen)**

<b>Chief Executive Officer *</b>	<b>School Committee Chair</b>	<b>Superintendent of Schools</b>
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Michael Loughran	Nichola Gallagher	Jennifer Fischer-Mueller
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Chair, Select Board

(signature)	(signature)	(signature)
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Date	Date	Date
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6/24/2021 12:12:08 PM	6/24/2021 1:30:46 PM	6/25/2021 10:46:42 AM
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\* Local chief executive officer: In a city or town with a manager form of government, the manager of the municipality; in other cities, the mayor; and in other towns, the board of selectmen unless, in a city or town, some other municipal office is designated to the chief executive office under the provisions of a local charter. Please note, in districts where the Superintendent is also the Local Chief Executive Officer, it is required for the same person to sign the Statement of Interest Certifications twice.

Name of School     Wm H Galvin Middle

## Massachusetts School Building Authority

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School District   Canton

District Contact   Barry S Nectow TEL: (781) 821-5060

Name of School   Wm H Galvin Middle

Submission Date   6/25/2021

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### Note

Submitted 06/25/2021 @10:49 AM

### The following Priorities have been included in the Statement of Interest:

1.  Replacement or renovation of a building which is structurally unsound or otherwise in a condition seriously jeopardizing the health and safety of school children, where no alternative exists.
2.  Elimination of existing severe overcrowding.
3.  Prevention of the loss of accreditation.
4.  Prevention of severe overcrowding expected to result from increased enrollments.
5.  Replacement, renovation or modernization of school facility systems, such as roofs, windows, boilers, heating and ventilation systems, to increase energy conservation and decrease energy related costs in a school facility.
6.  Short term enrollment growth.
7.  Replacement of or addition to obsolete buildings in order to provide for a full range of programs consistent with state and approved local requirements.
8.  Transition from court-ordered and approved racial balance school districts to walk-to, so-called, or other school districts.

### SOI Vote Requirement

I acknowledge that I have reviewed the MSBA's vote requirements for submitting an SOI which are set forth in the Vote Tab of this SOI. I understand that the MSBA requires votes from specific parties/governing bodies, in a specific format using the language provided by the MSBA. Further, I understand that the MSBA requires certified and signed vote documentation to be submitted with the SOI. I acknowledge that my SOI will not be considered complete and, therefore, will not be reviewed by the MSBA unless the required accompanying vote documentation is submitted to the satisfaction of the MSBA.

**SOI Program:**     **Core**     **Potential Project Scope:**     Potential New School

**Is this a Potential Consolidation?**     YES

### If 'YES', Please describe Potential Consolidation that is anticipated at the school.

If the project is invited as a core program by the MSBA, we would explore consolidating grade 5 with the current school grades 6-8 and end up with elementary school, with grade configurations of K-4 and the middle school with grades 5-8. This would help solve overcrowding at the 3 elementary schools.

**Is this SOI the District Priority SOI?**     YES

Name of School	Wm H Galvin Middle
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**School name of the District Priority SOI:** 2021 Wm H Galvin Middle

**Is this part of a larger facilities plan?** YES

**If "YES", please provide the following:**

**Facilities Plan Date:** 10/13/2017

**Planning Firm:** Dore & Whittier Architects

**Please provide a brief summary of the plan including its goals and how the school facility that is the subject of this SOI fits into that plan:**

With extensive input from the community, Canton Public Schools developed a Master Plan to modernize its school facilities and align its existing building inventory with current and future enrollment trends and 21st-century programmatic offerings. The plan projects out 30 years, with a more detailed focus over the first 10 years. The Master Plan, as originally drafted and approved by the School Committee in October 2017 resulted in a District-wide grade reconfiguration so that each elementary school houses grades PK-4, the Galvin Middle School houses grades 5-7, and the Rodman building is re-purposed to be a new 8th-grade Academy. Canton High School will remain the same with grades 9-12. The District-wide grade configuration has since been modified, following a Feasibility Study completed in the fall of 2018. (See below and elsewhere in this SOI.) The scope of the original Master Plan was organized into three basic components: Facilities assessment, education needs analysis and visioning, and options development. Facility assessments included comprehensive architectural and engineering walk-thrus to document the existing conditions of each building and the estimated life expectancies of building systems. Educational needs analyses and visioning identified spatial deficiencies based on existing and future educational programs and MSBA guidelines. Dore & Whittier developed a wide range of District-wide Master Plan options to address the identified facility and educational needs. The key finding of the study identified Galvin Middle School to be in need of renovation and or replacement, and, therefore the most likely candidate for an MSBA project. The District generated a list of Master Plan objectives during community visioning workshops and public forums and a number of options were developed to resolve multiple issues on a District-wide basis. The preferred Master Plan option was selected because it most effectively met the District's objectives to move the Pre-K program from the Rodman building to the District's neighborhood elementary schools; it will update and improve the Galvin Middle School (through a renovation, renovation/addition or new construction solution which is the intent of this SOI); and it will re-purpose the Rodman building into a new 8th-grade Academy. By implementing the grade configuration change as described, the District is able to alleviate its overcrowding at the elementary schools by eventually moving the 5th grade to the middle school once the middle school project is completed. The original configuration in the master plan was superseded by a plan in the Feasibility Study completed in December 2018. The feasibility study had three objectives: 1 - Evaluate the feasibility of renovating the Rodman Building to potentially serve as an 8th-Grade Academy; 2 - Evaluate the feasibility of relocating Pre-K students in several scenarios and 3 - Evaluate the feasibility of renovating the Rodman building to, a) improve the quality of spaces for District offices and, b) support both District offices and an expanded Pre-K program. In the spring of 2019, the school committee voted to change the direction of the Master Plan and approved objective #3 in the feasibility study: renovating the Rodman Building for the Pre-K and District Offices and renovating/expanding or building a new grade 5-8 middle school. The District plans to continue to initiate the Master Plan in the spring of 2021 by submitting a Statement of Interest to the MSBA for the Galvin Middle School.

**Please provide the current student to teacher ratios at the school facility that is the subject of this SOI: 21 students per teacher**

**Please provide the originally planned student to teacher ratios at the school facility that is the subject of this SOI: 20 students per teacher**

**Does the District have a Master Educational Plan that includes facility goals for this building and all school buildings in District?** YES

**If "YES", please provide the author and date of the District's Master Educational Plan.**

Dore & Whittier Architects, 10/13/2017



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**Is there overcrowding at the school facility?** YES

**If "YES", please describe in detail, including specific examples of the overcrowding.**

The current building does not adequately support the program objectives at the school both in terms of the number of spaced required and the appropriateness of those spaces. For example, special education is not delivered in appropriate spaces that accommodate the special needs of these students (type of space, acoustics, privacy, etc). Science is delivered in spaces that are well below the MSBA space guidelines, are completely interior to the building and therefore windowless, and do not provide a modern science curriculum opportunity. In addition, as part of the CPS Master Plan objective, due to overcrowding at the three elementary schools, a grade configuration would be implemented that would restructure the three schools to be K-4 instead of K-5 which is currently the case. The Luce Elementary is 93 students over capacity; the JFK Elementary is 153 students over capacity; and the Hansen is 84 students over capacity per MSBA guidelines for total gross square footage. Galvin would be changed to house grades 5-8 to alleviate their overcrowding concerns. The current Galvin Middle School structure of 6-8 faces overcrowding concerns, it will not be able to accommodate a 5-8 structure as it stands now.

The middle school staff has grown since our original SOI submission in 2018. During the 2020 – 2021 school year, we added 2.0 FTE to accommodate growing enrollment. We will be adding 2.0 FTE educators during the 2021-2022 school year to staff a new therapeutic program. Due to a shortage of classrooms, we will be forced to share classrooms, which means the classrooms they teach in will be used to 85% capacity or higher. The impact of this also compromises the physical layout of our team structure as our building currently has space for 8 teams. Since September 2020, have 9. This forces us to compromise the ideal layout to allow for teams to be as collocated as possible. Instead, some teachers will have to be distanced from other teachers on their team. In a true middle school, this is less than ideal.

**Has the district had any recent teacher layoffs or reductions?** NO

**If "YES", how many teaching positions were affected?** 0

**At which schools in the district?**

**Please describe the types of teacher positions that were eliminated (e.g., art, math, science, physical education, etc.).**

**Has the district had any recent staff layoffs or reductions?** NO

**If "YES", how many staff positions were affected?** 0

**At which schools in the district?**

**Please describe the types of staff positions that were eliminated (e.g., guidance, administrative, maintenance, etc.).**

**Please provide a description of the program modifications as a consequence of these teacher and/or staff reductions, including the impact on district class sizes and curriculum.**

Does Not Apply

**Please provide a description of the local budget approval process for a potential capital project with the MSBA. Include schedule information (i.e. Town Meeting dates, city council/town council meetings dates, regional school committee meeting dates). Provide, if applicable, the District’s most recent budget approval process that resulted in a budget reduction and the impact of the reduction to the school district (staff reductions, discontinued programs, consolidation of facilities).**

Canton’s capital budget cycle begins during the fall prior to the next fiscal year. The process includes departments submitting a capital plan to the Canton Capital Committee and Finance Committee. Discussions with the committees continue through the winter and conclude in late March, when the warrant for the annual town meeting is finished and sent to the voters. Annual town meeting takes place in May and assuming the capital plan is approved by the voters, funds are available beginning in July. If Canton is accepted into the core program by December 2021, funds needed for the feasibility study and schematic design phase of the project would be presented to town meeting in May 2022.

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## General Description

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**BRIEF BUILDING HISTORY: Please provide a detailed description of when the original building was built, and the date(s) and project scopes(s) of any additions and renovations (maximum of 5000 characters).**

Galvin Middle School's gross floor area is 133,543 GSF and was largely built all at once, in 1971, and has a small modular-construction addition from 2002 on its north side. Apart from this addition and some ongoing maintenance, the school has not had any major reconstruction or additions. The building has been well maintained however, it is starting to show its age in terms of wear and tear and is not nearly as efficient as a new building. Upgrades include: windows and doors were replaced in 2013, the majority of the roof was replaced in 1997 and is scheduled for replacement. Boilers were replaced approximately 18 years ago.

**TOTAL BUILDING SQUARE FOOTAGE: Please provide the original building square footage PLUS the square footage of any additions.**

133543

**SITE DESCRIPTION: Please provide a detailed description of the current site and any known existing conditions that would impact a potential project at the site. Please note whether there are any other buildings, public or private, that share this current site with the school facility. What is the use(s) of this building(s)? (maximum of 5000 characters).**

Galvin Middle School is located at 55 Pecunit Street, in the west-central area of Canton. The site is bounded by Pecunit Street to the southwest, Raven Road to the northwest, the Lt Peter M Hansen School (Canton Public Schools) to the southeast and wetlands/woods to the northeast. There are two paved asphalt entrances to the site along Pecunit Street. The site is characteristic of the locale, being of moderate slope, downward from south (street) to north (rear of lot), with wooded sections, some exposed ledge, and open grass and athletic fields around the site. An all-season ice/roller skating rink is located adjacent to the parking lot, between Galvin and the Hansen Elementary School, which shares the site. Soils on site consist of Urban Land 0 to 15 percent slopes (building, roller rink, baseball field) and Udorthents, sandy soils on the athletic field (soccer field). The Galvin portion of the site is approximately 22.54 acres (MA GIS measurement) with the imaginary dividing line roughly 40 feet south-west of the middle school entrance, aligned with the Surrey Lane street stub.

**ADDRESS OF FACILITY: Please type address, including number, street name and city/town, if available, or describe the location of the site. (Maximum of 300 characters)**

Galvin Middle School  
55 Pecunit Street  
Canton, MA 02021

**BUILDING ENVELOPE: Please provide a detailed description of the building envelope, types of construction materials used, and any known problems or existing conditions (maximum of 5000 characters).**

Typical wall construction consists of a running bond brick veneer, 1" air space, and a 1/2" parging on CMU backup. Bands of precast concrete panels run horizontally at each level. The brick in areas on the back (north) elevation has moisture problems, where the brick, precast concrete panel, and expansion joint sealants have failed in multiple areas and are protruding from their joints. Moisture damage and some type of fungal growth on the face of the brick veneer can be seen at north elevations. Some sections at rear (north-west) elevations have been repointed. Brick joints at rowlock sills at north elevations have failed at multiple locations. Moisture has infiltrated below sill. Steel loose lintels in some locations have rusted and expanded and the sealant below the lintel appears to have failed. The pipe penetration at the rear (north) elevation is leaking. Precast concrete panel at rear elevation (north-west) corner has cracked at miter joint. Kitchen

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loading dock at rear (north-west) elevation has brick damage above the steel lintel at the left-hand side. Precast concrete panels are stained at library entrance. It appears water has gotten under the roof fascia and run down the face of the CIP concrete panels.

Foundations are cast-in-place (CIP) concrete, typically not visible above grade, except at the south-west elevation where site slopes and are exposed 12" to 15' above grade. Deterioration is occurring at the top of foundation walls in some areas. The foundation and masonry have encountered impact damage at the front, south-east corner. The loading dock landing on the rear (north-east) elevation has some cracking, and deterioration at corner. Concrete spalling can be seen at some foundation locations.

Nearly the entire complement of windows in the existing building were replaced with heavy commercial thermally broken aluminum windows and storefront with 1" insulated glazing, and 1" insulated spandrel glass in 2013. Windows installed in punched openings in the '71 construction appear to be performing well; however water staining due to sill runoff, are noted around many openings. Window and standup A/C units are installed in multiple locations. Air leakage is an issue with both installation conditions, and affect interior thermal environment. An integrated A/C system has been installed in the administrative suite, and 3rd floor interior classrooms.

In 2013, nearly the entire complement of exterior doors in the existing building were replaced with new Fiberglass Reinforced Polyester (FRP) doors and aluminum doors with glazing at storefront systems. The door at the loading dock on rear (north-west) elevation has the original frame with minimal rust.

The building envelope lacks insulation and is not thermally efficient by today's standards. Insulating the walls could be implemented from the inside but would required extensive renovation and would reduce the size of interior spaces due to the installation of insulation and furring. Louvers on this building are typically smaller grille-type louvers, for the unit ventilators at classrooms. Intake/exhaust louvers made up of blades within a frame can be found near kitchen and mechanical room areas. Generally louvers and grilles' condition varies widely, from good to fair. New sealant has been installed at several grill-type louvers, but existing failing sealant still remains in some areas. Paint finish is failing on grill-type louvers in most locations, many of which also have failed sealant. Blade type louvers also have failed sealant joints.

See previous discussion regarding windows, doors and roofing.

**Has there been a Major Repair or Replacement of the EXTERIOR WALLS? NO**

**Year of Last Major Repair or Replacement:(YYYY) 2014**

**Description of Last Major Repair or Replacement:**

Doors and windows were replaced in 2014 however, the envelope remains substandard as compared to current energy code requirements. See previous section.

**Roof Section A**

**Is the District seeking replacement of the Roof Section? YES**

**Area of Section (square feet) 37217**

**Type of ROOF (e.g., PVC, EPDM, Shingle, Slate, Tar & Gravel, Other (please describe)**

The entire roof, except the gymnasium, was replaced in full with a Sarnafil white PVC, fully adhered membrane roof, installed 1997. The gymnasium roof was replaced with a Sarnafil white PVC fully adhered membrane roof in 2008.

**Age of Section (number of years since the Roof was installed or replaced) 21**

**Description of repairs, if applicable, in the last three years. Include year of repair:**

N/A

**Window Section A**

**Is the District seeking replacement of the Windows Section? YES**

**Windows in Section (count) 175**

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**Type of WINDOWS (e.g., Single Pane, Double Pane, Other (please describe))**

Thermally broken double pane in aluminum frames. To the extent the building can be successfully renovated these windows may be a candidate for saving.

**Age of Section (number of years since the Windows were installed or replaced) 5**

**Description of repairs, if applicable, in the last three years. Include year of repair:**

The District currently envisions a new building solution as being preferred. However, we recognize that if accepted into the MSBA Capital Pipeline all potential options will need to be explored including renovation, renovation/addition and potentially new construction. If a renovation or renovation/addition option is selected then some or all of these windows would be candidates for including as part of a renovation.

**MECHANICAL and ELECTRICAL SYSTEMS: Please provide a detailed description of the current mechanical and electrical systems and any known problems or existing conditions (maximum of 5000 characters).****Mechanical Systems**

The Galvin Middle School is heated by a hot water boiler plant consisting of two (2) gas fired hot water boilers, hot water system pumps, boiler circulator pumps, combustion air intake and combustion by-product exhaust flues, and pneumatic controls. One boiler is manufactured by Viessmann, model Vertomat VSB 89 and has an approximate heating capacity of 3,000 MBH output, and maximum input of 3,361 MBH. The second boiler is manufactured by HB Smith, model 28A series – 13 and has an approximate heating capacity of 3,297 MBH output, and a maximum input of 3,844 MBH. The boilers are approximately 18 years old. The Viessmann boiler is a high efficiency condensing boiler and the HB Smith boiler is an atmospheric type boiler.

The flue gases are vented separately through the use of individual breeching that terminates through the mechanical room and up to the roof. Combustion air for the boilers is provided through the use of an inline fan with ductwork.

Hot water is distributed from the boiler to the building heating equipment by three base mounted end suction hot water pumps. Each pump has a 15hp motor. Heating hot water is circulated throughout the building to classroom unit ventilators, unit heaters, convectors, etc. The hot water piping and insulation located within the main boiler room appears to be in good condition. The pumps and piping distribution system was installed with the heating hot water plant.

The majority of the building is not air-conditioned. The Computer Lab is served by a ductless split system AC unit. There are other split systems or window air conditioning units where needed.

There are three rooftop units that feed interior spaces. The units are cooling-only rooftop units. The units were identified in the Master plan to be nearing the end of their expected useful service life. The unit serving the third floor interior classrooms was replaced in the fall of 2018. The unit that serves the first floor office/nursing area was replaced in 2017. The unit serving the second floor classrooms was scheduled to be replaced in April 2020 but may be delayed due to COVID-19.

To aid in air circulation and quality dur the 2020-2021 school year, the District added air purifiers to every occupied room in the district, including the galvin Middle School.

The cafeteria, library, and classrooms are served by indoor wall mounted unit ventilators located at the exterior wall. The gymnasium is served by horizontal unit ventilators located at the gym ceiling. Each unit has a hot water coil, supply fan and filter. Ventilation air is introduced to each of these units through a wall-mounted louver. Tempered air is distributed to the space through a unit mounted supply grille. The majority of spaces are exhausted through roof mounted exhaust fans. The units are original to the building, in poor condition and past their useful service life. The kitchen has one unit ventilator to feed the space which does not provide adequate make up air for the amount of air that is exhausted in a kitchen.

**Electrical Systems**

The switchboard consists of a 1200 amp main breaker/c/t section plus a distribution section. The switchboard was manufactured by Zinsco and is original to the building. Most panelboards are located flush in corridors, boiler room,

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kitchen, cafeteria, etc. and are also original to the building. Most panels are full. The facility is secondary metered with the meter located in the electric room.

The secondary service runs underground between the pad mounted transformer and a 1200 Amp., 277/480V, 3Ø, 4 W switchboard located in the main electric room.

The switchgear was manufactured by GE, original to the building, and in poor condition.

**Boiler Section 1**

**Is the District seeking replacement of the Boiler?** YES

**Is there more than one boiler room in the School?** NO

**What percentage of the School is heated by the Boiler?** 100

**Type of heating fuel (e.g., Heating Oil, Natural Gas, Propane, Other)**

The boilers use natural gas and are equipped with dual fuel burners. Dual fuel burners allowed the school to operate on either natural gas or #2 fuel oil, whichever is less expensive. The fuel oil piping has been disconnected and is no longer used.

**Age of Boiler (number of years since the Boiler was installed or replaced)** 18

**Description of repairs, if applicable, in the last three years. Include year of repair:**

N/A

**Has there been a Major Repair or Replacement of the HVAC SYSTEM?** YES

**Year of Last Major Repair or Replacement:(YYYY)** 2000

**Description of Last Major Repair or Replacement:**

The boilers were replaced in 2000 with one (1) high-efficiency condensing Viessman boiler and one (1) atmospheric type HB Smith boiler. We anticipate that as part of a new school building project these boilers and the distribution system(s) would be replaced with newer and more efficient systems.

**Has there been a Major Repair or Replacement of the ELECTRICAL SERVICES AND DISTRIBUTION SYSTEM?** NO

**Year of Last Major Repair or Replacement:(YYYY)** 1971

**Description of Last Major Repair or Replacement:**

The switchboard and distribution system are original to the building.

**BUILDING INTERIOR: Please provide a detailed description of the current building interior including a description of the flooring systems, finishes, ceilings, lighting, etc. (maximum of 5000 characters).**

Flooring material in the school consists of original 9" x 9" vinyl asbestos tile (VAT). VAT has been replaced in some heavy traffic areas and classrooms with 12" x 12" VCT. Broadloom carpet is in a small number of classrooms and the library, painted concrete in maintenance areas, quarry tile in kitchen and associated spaces, and ceramic tile in restrooms. Condition of most VCT is good, original VAT is generally in fair condition although dingy, ceramic tile is good to fair, but carpeting and painted concrete condition are poor. Carpet in the classrooms and library is in poor condition, worn at high-traffic spots such as doorways, and has stains and runs. Carpet in library is buckling in some locations. Painted concrete floor finish in the fitness and technology rooms are heavily worn and in poor condition. South-east stair VCT at landing has cracked and been displaced. Ceramic tile flooring has failed at showers in the boy's locker room, and floors have been patched where existing partitions have been removed. Floor drain at boy's first floor restroom appears to be settling and is causing cracking in the ceramic tile floor. Metal stair nosing and risers are beginning to rust in some areas.

Interior wall and partition material consists primarily of painted concrete masonry units with occasional gypsum wall board, metal stud partition. Both are finished with paint typically. Lobby interior partitions and stair enclosures are brick veneer walls on CMU.

Ceilings throughout the building are typically one of three main types: acoustic ceiling panels (ACP) in a suspended metal

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grid, suspended metal pan ceiling, or “Tectum” acoustical panels. Generally light fixtures are original surface mounted with the exception of the administrative suite and updated restrooms, which have updated ACP, grid and recessed mounted light fixtures. Condition of ACP ceilings varies: most are fair but there are some panels that are water-stained and/ or broken. The Tectum panels are in good condition despite their age. Suspended metal pan ceilings are in poor condition.

Interior doors throughout the building are typically of two main types. “Public” doors are predominately flush wood doors, with a natural finished. These include the vast majority of doors in the building. “Private,” or service doors are hollow metal, painted. Frames for all doors are typically hollow metal, painted. Most classroom main doors , and hollow metal corridor doors, have wire glass vision panels. Condition of doors ranges widely in the building.

Fixtures throughout the building consist mainly of classroom sink casework, other storage casework, book-cases at window walls integrated with unit ventilators, window shades, short throw projectors, smartboards and display surfaces such as tack boards, chalk boards and marker boards. Toilet room fixtures and equipment consist of toilet compartment screens, dispensers, trash containers, towel dispensers, and clothing hooks. Other miscellaneous equipment include items like fire extinguishers and cabinets, drinking fountains, corridor lockers for student personal storage, locker-room lockers, and stage equipment.

**PROGRAMS and OPERATIONS: Please provide a detailed description of the current grade structure and programs offered and indicate whether there are program components that cannot be offered due to facility constraints, operational constraints, etc. (maximum of 5000 characters).**

GMS is committed to becoming a deeper learning school that prioritizes equity, social emotional learning and a purposeful culture of belonging so that each student can live up to their personal and academic potential. To do this, we are actively shifting what teaching and learning looks like by providing engaging and relevant instruction and transformational experience for all students.

GMS is a grade 6-8 middle school that currently serves 766 students. Teaming of teachers and students is a foundational structure to our work in changing what middle school can be, however, our teams can’t be fully co-located due to the limitations of our facility. Ideally, teams would be located in close proximity to each other to facilitate a stronger community culture and climate, interdisciplinary teams and a project-based and STEAM approach to teaching and learning, all of which are priorities for us. Currently, we co-locate English, math, social studies, and language classes, but our science classes are, unfortunately, tied to “science specific” classrooms located mostly on the third floor, and that have no exposure to natural light or fresh air. In addition, with science classrooms as an outlier, teachers cannot be fully integrated with their team. We also cannot co-locate our specials (art, computers, technology engineering and physical education) as they reside in specially designed rooms located away from the general population.

This year, we added a ninth team and expect to have nine teams for the future. This results in a team having to compromise co-location and, instead, share classrooms across the school because we don’t have enough rooms to accommodate the number of teachers and teams we have. In addition, we are adding a health teacher and a second Technology & Engineering teacher for the 2021 - 22 school year. The health teacher will have to share a room and the Tech & Eng teacher will have to teach in a classroom not designed to support the specialized STEAM/PBL curriculum. This year we are also adding a therapeutic program to our school to bring students back into our district based on our equity and inclusivity goals. Creating this new space will bring added stress to a building and will displace another teacher.

The curriculum at GMS is driven by the MA State Curriculum Frameworks. All students meet daily for core courses in math, ELA, science, social studies and either reading or a world language. Students take exploratory courses and “specials” in art, health, physical education, music, technology & engineering, and library. Students may also access special education resources as their learning needs require. Though the MA Frameworks guide what we teach, we are committed to shifting how we teach. To do this we have partnered with i2 Learning and PBL Works to create and implement a project-based interdisciplinary curriculum that will be over the next three years. We have also been awarded a grant to implement Project Lead the Way in our Tech & Eng courses.

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To further support these shifts, we will implement a schedule change to facilitate learning that capitalizes on student agency, voice and ownership of learning. The new schedule will provide additional time for teacher teams to collaborate and longer blocks to support student-centered learning. As teachers facilitate more student collaboration, classroom square footage will limit the number of students in a room and the type of learning that can occur. In addition, we have very few common spaces to be used for this purpose or for presentations. Our hallways are lined with lockers, have limited wall space and there are no alcoves for quiet work. The only places we have for these purposes are the library and the cafeteria, both of which are used a majority of the day for classes.

With regard to our priority of equity, special education is a focus. To be inclusive, we have a life-skills program. The GMS facility does not adequately provide what is needed for these students. Ideally, this classroom will include a kitchen, a handicap accessible bathroom with age-appropriate changing spaces, laundry facilities, and movement break stations.

Another priority is developing our capacity to meet students' social, emotional and wellness needs. We have 7.0 FTE in our counseling department to handle the increased need of students. Due to space limitations, two counselors share an office and one does not have an office. Given the sensitivity of their conversations, we need a more appropriate space for counseling staff.

We are shifting teaching and learning in big ways. Making systemic and institutional changes is our work; unfortunately, our facility poses many challenges and places many limitations on what we hope to accomplish. We are getting creative, sharing spaces and putting band-aids in places, however our programming and educational vision is suffering as a result.

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**EDUCATIONAL SPACES: Please provide a detailed description of the Educational Spaces within the facility, a description of the number and sizes (in square feet) of classrooms, a description of science rooms/labs including ages and most recent updates, a description of the cafeteria, gym and/or auditorium and a description of the media center/library (maximum of 5000 characters).**

There are 41 general education classrooms which include 6 dedicated science classrooms. General education classrooms range in size from 780 – 1000 SF. The average classroom is 835 SF and the average science classroom is 850 SF. Nine classrooms are interior to the building and have no access to natural daylight or views which includes 3 windowless science classrooms. Science classrooms have sinks with water running along 1 or 2 classroom walls. Classrooms are furnished with loose, epoxy-topped lab tables (no caster, very heavy). Casework is in fair to poor condition and many drawers have been removed because of damage. Our current science spaces are out-of-date and lack current technology and tools needed for a 21st century STEAM curriculum. As our school grows and we add 3.0 FTE, a ninth team, and start a therapeutic program, we will need four additional, dedicated classrooms that we currently do not have. Teachers will have to share spaces this coming year and the lack of classrooms will force at least one team to not be colocated, which undermines the culture and student experience we are trying to create.

There are 8 special education classrooms and two office-sized spaces that also function as pull-out spaces. Special education classrooms range in size from 800 – 1300 SF. Two self-contained special education programs occupy dedicated classrooms, however, most special education classrooms house more than one program concurrently. The classrooms that are dedicated spaces lack the resources they need as detailed in the section above. In addition, we will have to create an additional, dedicated special education space to house our new therapeutic program. The office/pull-put spaces noted are interior to the building with no access to natural daylight.

GMS has 2 art classrooms (1010 – 1060 SF) for 3.0 FTE art, 1 tech & engineering lab (1447 SF) for 2.0 FTE, 1 fitness center (1205 SF), 3 music classrooms (727 – 1064 SF) with 3 associated practice rooms (70 – 140 SF), and 2 computer lab spaces that have been repurposed (1069 SF). The technology engineering lab is significantly outdated. It is a former wood shop and still has the equipment and furniture from that time. As we transition to a STEAM curriculum and consider other courses such as robotics, we will need to re-envision this space in terms of infrastructure, furniture and equipment. The addition of a second Tech & Eng teacher will have us repurposing a former computer lab for this program. The music classes are on the second floor. The inadequate size of the three classrooms for a music program precludes us

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from having multi-grade band, chorus and orchestra courses and rehearsals. Even housing a single grade, 40 student orchestra, is difficult in the space currently assigned.

Core spaces include a cafetorium (4903 SF) with a platform (1230 SF), gymnasium (9410 SF) and 2 locker rooms (1050 – 2290 SF), and a media center (5454 SF). Locker rooms associated with the gymnasium are over-sized and underutilized as they still house the shower staff from prior decades. The cafeteria is undersized for the population which inhibits opportunities for large assemblies. Our gymnasium is large enough to hold the whole school population, however if we were to do this, we would exceed the fire code and two of three grades we house must sit on the floor. The sound in this room is also sub-standard for assemblies. Our future vision includes performance spaces that are variable – from small group to whole school. Our current cafetorium and gymnasium do not allow for this.

The GMS Library/Media center is also outdated, except for the new furniture we purchased. Our book stacks are original to the building. In recent years, the library furniture has been reorganized to create distinct learning spaces, however, the lack of sound barriers make it difficult for more than one class to utilize the space effectively. Our vision includes turning part of this space into a maker space, requiring a renovation that includes infrastructure, furniture and equipment. In addition, our library is a library, it is not a true 21st century media center, which it should be to meet the needs of our 21st century students. The library/media center should be the hub of a school. Currently our library is only accessible to students from the second floor and only when teachers do not have the library booked.

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**CAPACITY and UTILIZATION: Please provide the original design capacity and a detailed description of the current capacity and utilization of the school facility. If the school is overcrowded, please describe steps taken by the administration to address capacity issues. Please also describe in detail any spaces that have been converted from their intended use to be used as classroom space (maximum of 5000 characters).**

The building was originally designed for an approximate 850-student population. There are currently 766 students. Currently, curriculum is delivered in each classroom, in most cases, 5 out of 7 periods per day for an average of 71% utilization rate which yields a capacity of approximately 800 students. This coming school year and for the foreseeable future, however, we will be utilizing several classrooms 7 out of 7 periods per day as we add staff, teams and programs. Class sizes for core classes average 23-26 students. While this model and capacity usage may work for a junior high school, it does not facilitate the middle school model or the vision we are trying to achieve as a school. The facility is overcrowded with regard to staffing and programming and leads to a declining student experience.

In addition, the overarching facilities plan includes bringing grade 5 to the middle school. To add a grade, we will be overcrowded in population as well. We will not have space for 2-3 teams of 5 teachers each nor the additional staff necessary for another grade to take specials and electives. For us to add grade 5 to our grade configuration, we require a new facility.

When the school was originally built there was no accommodation for special education which now utilizes spaces that were originally intended as full classrooms. While we have been able to use classrooms for special education spaces, our special education teachers share classrooms, often using makeshift partitions to create space. Given our space limitations, we have no small group learning or break out spaces for the special education department to utilize for small group support, work and testing needs.

In addition, we have used all spaces for student use, limiting administrative spaces and teacher planning rooms. We currently have two spaces for teachers to use to eat lunch in and make copies in. We do not have any other common planning spaces for staff. Further limiting spaces teachers can use for collaboration is the increase in room usage in some classrooms from 5 to 7 out of 7 periods per day. In addition, while we have three administrative offices (2 in the main office and 1 on the 3rd floor), we only have one very small conference room in the building in which we hold all meetings. This conference room can host up to 10 people, is an interior room and has no windows. Given our culture goals to



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deprivatize practice and increase collaboration, we need additional teacher collaboration and meeting rooms.

Finally, our school cafeteria is designed to hold 260 students. Our current seventh grade class has 285 students this year and had 300 students last year. While we added tables, the cafe was significantly overcrowded. In addition, because our cafeteria does not accommodate larger numbers of students, we are limited when it comes to scheduling as we cannot mix grade levels or exceed one grade level worth of students.

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**MAINTENANCE and CAPITAL REPAIR: Please provide a detailed description of the district’s current maintenance practices, its capital repair program, and the maintenance program in place at the facility that is the subject of this SOI. Please include specific examples of capital repair projects undertaken in the past, including any override or debt exclusion votes that were necessary (maximum of 5000 characters).**

The maintenance program and practices include the following full-time personnel: District-wide Facilities Director, licensed master plumber/pipefitter, certified HVAC technician/master electrician, licensed plumber with controls experience, lead maintenance worker with general skills including carpentry, painting, hardware, general maintenance worker fully trained on roof maintenance, and a general maintenance worker trained in grounds and pest control. The system uses a computerized preventative maintenance and work order system for tracking and managing projects. The Galvin Middle School has four full time custodians for cleaning, minor maintenance, and preventative maintenance tasks. The in-house staff is supported by outside contracted services’ contracts including: burner/boiler maintenance, fire alarms, and intrusion detection systems, fire sprinkler systems, fire extinguishers, elevators, pest control, AHERA, and emergency generators. The maintenance program is also supported by school equipment including lawn and snow removal, maintenance vehicles for plowing, and landscape equipment including bobcat and tractors. Also, the school district has a fully equipped maintenance building and storage facility housing mechanical equipment, parts and inventory, and maintenance and custodial supplies.

The School Committee annually votes their Capital Improvement Plan (CIP) and it is forwarded to the town’s Capital Planning Committee and Finance Committee for approval. Final approval is voted at Annual Town Meeting. The plan is updated annually to reflect the new five-year period priorities and funded by allocating approximately 5-6% of general revenues. For the FY15 to FY22, the school department’s debt budget allocation for new projects totals \$7,680,000 inside the levy. For projects costing under \$50,000, the cash capital portion of the capital plan is used. These are pay-as-you-go projects that are not bonded. For FY15 to FY22, the school departments cash capital budget allocation for new projects totals \$5,500,000.

The total estimated CIP at Galvin Middle School is \$14,500,000 with high-priority items totaling \$2,250,000. However, when prioritizing items, the district found that many items were matters of high priority but were more appropriately included in the “full-renovation” category, and therefore \$11,500,000 of deferred maintenance was recategorized as future costs to the district. While the interior and exterior of the building are in fair condition, the building has had limited upgrades since 1971. As such, there are accessibility challenges, major deficiencies with MEP systems, lack of adequate mechanical ventilation in many spaces, and no sprinkler system in the building. As stated earlier, many teaching spaces lack natural daylight and views to the exterior. Interventions to relieve these issues would prove too costly and therefore are not included in the CIP.

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## Priority 2

### *Question 1: Please describe the existing conditions that constitute severe overcrowding.*

In December 2016, Canton Public Schools hired Dore & Whittier Architects to perform a comprehensive facilities assessment. The assessment provided an in depth understanding of the District's capacity and space needs and found severe overcrowding to exist at the elementary level. Over the course of 2017, the District and community worked with Dore & Whittier to develop a long-term Facilities Master Plan that optimizes existing building inventory and alleviates overcrowding across the District. The Galvin Middle School is a key component in this long-term plan needed to solve the District's severe overcrowding.

There are three elementary schools in Canton and one pre-kindergarten center, all of which are over capacity based on overall gross square footage and classroom count. The Luce Elementary school is 69,410 SF with an enrollment of 463 students. By MSBA standards, a building of this size should support only 400 students. Based on the number of general education classrooms in the school, the building should be able to support only 488 students. The district has compensated for the overage by increasing class sizes and converting spaces that were being used for student services and Special Education pull-out back into grade level classrooms. These functions have been relocated into converted storage closets and hallways.

The JFK Elementary School is 59,666 SF with an enrollment of 467 students. By MSBA standards, a building of this size should support only 350 students. Based on the number of general education classrooms in the school, the building should be able to support only 492 students. In the 2016-2017 school year, JFK experienced such overcrowding that one section of kindergarten students who live within the JFK catchment area needed to be relocated to the Hansen school. This added an extra transition for our youngest students. For the 2017-2018 school year, the school converted a dedicated technology lab to a kindergarten classroom in order to bring kindergarten students back to their home-school. The JFK school has lost other programs to overcrowding and currently houses student support and special education services in converted closets, stair landings, and hallways. Both math and reading RTI pull-out occurs in hallways, physical therapy happens in stair landings, and occupational therapy is offered in a converted storage closet. Due to space limitations, the teacher work room has been relocated to an electrical closet which could be a safety hazard. Multiple special education programs that serve students concurrently share a single resource room which is not ideal for our most vulnerable learners.

The Hansen Elementary school is 69,204 SF with an enrollment of 503 students. By MSBA standards, a building of this size should only support 417 students. Based on the number of general education classrooms, the building should be able to support 506 students. The Hansen School has taken measures to make room for more students by converting spaces for Title 1, reading RTI, and math RTI into general classrooms. These services are now offered in hallways.

As part of the comprehensive facilities assessment, the District hosted three visioning workshops with a group of 50 administrators, teachers, students, parents, community members, local officials, and business leaders. The visioning group identified priorities to be addressed by the school department which included moving the pre-kindergarten program into the elementary schools. The community expressed a strong desire to move Pre-K students into their home schools and eliminate the transition from Pre-K to kindergarten. Because all of the elementary schools are overcrowded, there is no space available to meet this District goal.

The pre-kindergarten program is currently housed on the ground level of the Rodman Building, located on the high school campus. State regulations require pre-kindergarten spaces exit directly at grade to the exterior which limits expansion of the program to the first and ground floors. The 2nd and 3rd floors of this building are currently underutilized, housing district administration and third party programs. Pre-kindergarten class size is capped at 15 students per classroom, therefore limiting enrollment based on space constraints to well under the District's demand for this program. Additionally, the Rodman building was originally designed to be a high school and classrooms are severely undersized to serve pre-kindergarten education. The visioning committee, representing the community at large, recognized the inadequate prekindergarten space at the Rodman building and emphasized the community's preference to move pre-kindergarten to the elementary schools.

The visioning committee also recognized that should the pre-kindergarten vacate Rodman, the District has an opportunity to repurpose the Rodman building to be an 8th-grade academy located on the high school campus. The single grade academy will ease the transition from middle school to high school and provide more individualized attention to this maturing age group. The 8th-grade academy would provide a nurturing place for students while they become better equipped for the challenges they will face in high school. Because the Rodman building is on the high school campus, 8th grade students still benefit from mixing with other age groups and may have the opportunity to take advantage of exploratory classes at the high school. Repurposing the Rodman building to house 8th graders would also free up space in the Galvin Middle School and allow 5th grade students to move from the elementary schools into the Galvin, thus alleviating overcrowding conditions at the elementary schools.

The Galvin Middle School is in poor condition, in need of systems repair, and unable to meet the educational goals of the District. As we move forward with our District Master Plan, it is imperative that the needs of this facility be addressed.

The Master Plan originally had the District taking measures to move prekindergarten to the three elementary schools which are already experiencing overcrowding by adding temporary modular classrooms to each site. The recently completed feasibility study approved by school committee includes a new grade configuration including renovating the Rodman Building for the Pre-K and District Offices and renovating/expanding or building a new grade 5-8 Galvin Middle School. Overcrowding at the elementary schools will be alleviated when the 5th grade relocates to the renovated/expanded or new Galvin Middle School.

This innovative approach to resolve multiple District facility issues through a grade configuration change will allow the District to resolve overcrowding at it's elementary schools, allow the Rodman Preschool to expand, and provide an improved Galvin Middle School facility through a partnership with the MSBA.

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**Priority 2**

***Question 2: Please describe the measures the School District has taken to mitigate the problem(s) described above.***

The District has built additions to all three elementary schools. In 2000, the District added a major addition of 12 classrooms and support spaces to Luce. JFK received a four classroom addition in 2011 and a 4 modular classroom addition in 2019. In 2016, Hansen opened 8 new classrooms.

The District has shifted programs as needed with changing enrollments. Many student services and some Special Education spaces have been displaced to accommodate general classrooms at the elementary schools and middle school. During the 2016-2017 school year, one section of kindergarten from JFK Elementary School attended Hansen Elementary School because of space constraints at JFK. The District repurposed a technology lab at JFK for the 2017-2018 school year to bring the section of kindergarten back to their home-school.

In the last 10 years, Both the Luce and JFK Elementary Schools have needed to offer art and music programming on a cart because there has not been space available for dedicated classrooms. Neither of these programs can function effectively without proper space. The District has gone to great lengths to continue to offer art and music, however we understand that our students are unable to maximize their art education experience under these circumstance. Both programs require storage for either materials or instruments and sheet music and ample space for project work and movement activities which a general classroom cannot provide.

As a result of the feasibility study, the District is now now pursuing a renovation of the Rodman Building for the Pre-K and District Offices and renovating/expanding or building a new grade 5-8 middle school. The District is pursuing the modular units and the Rodman renovation independent of MSBA capital pipeline.

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**Priority 2**

***Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

Overcrowding is impacting each school's ability to deliver the educational program across the District. Major concessions are being made from the pre-kindergarten up to the middle school.

The Rodman Pre-Kindergarten Center (located in the ground floor of the Rodman Building) serves the District-wide pre-kindergarten program. This program enrolls all students who qualify for IEPs and an equal number of peer students. Because the program is limited to space on the ground floor, there are limited Special Education spaces for a population in need of specialized services. Students receive services in the classroom but are limited by space. Similarly, there is no additional space for professional resources. Administrators, educators, and paraprofessionals have no professional space to collaborate, plan lessons, or meet with parents and student advocates.

All three elementary schools are making programmatic sacrifices due to space constraints. Student services and Special Education services are delivered in inappropriate space including corridors, converted closets, stair landings, and the cafeteria platform. In years past, art and music has needed to be delivered from a cart. All of our elementary schools wish to incorporate more hands-on learning and project work however, we are limited by classroom size. There is no space for making where students can safely build projects that may span an entire unit. The District has also had to eliminate a technology lab at the JFK Elementary school. These factors limit our ability to incorporate STEM objectives that emphasize technology and engineering.

At the middle school, students are limited by an aging and outdated facility, rigid traditional design, and lack of space. The middle school is taking steps to engage in more active and project based learning and provide all students access to the highest quality education however, a lack of variety of spaces and limited classrooms forces student services and Special Education programs to share classroom space. Educational delivery is also limited by the building which encourages more static stand and deliver, teacher-centric methodologies. Galvin Middle School is working to incorporate more project-based, inquiry-based, and interdisciplinary learning, but is held back by the built environment.

**Please also provide the following:**

<b>Cafeteria Seating Capacity:</b>	260
<b>Number of lunch seatings per day:</b>	3
<b>Are modular units currently present on-site and being used for classroom space?:</b>	YES
<b>If "YES", indicate the number of years that the modular units have been in use:</b>	16
<b>Number of Modular Units:</b>	4
<b>Classroom count in Modular Units:</b>	4
<b>Seating Capacity of Modular classrooms:</b>	23
<b>What was the original anticipated useful life in years of the modular units when they were installed?:</b>	20
<b>Have non-traditional classroom spaces been converted to be used for classroom space?:</b>	YES
<b>If "YES", indicate the number of non-traditional classroom spaces in use:</b>	4
<b>Please provide a description of each non-traditional classroom space, its originally-intended use and how it is currently used (maximum of 1000 characters):</b>	
See response to Question 3 above.	
<b>Please explain any recent changes to the district's educational program, school assignment polices, grade configurations, class size policy, school closures, changes in administrative space, or any other changes that impact the district's enrollment capacity (maximum of 5000 characters):</b>	



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**Priority 5**

***Question 1: Please provide a detailed description of the issues surrounding the school facility systems (e.g., roof, windows, boilers, HVAC system, and/or electrical service and distribution system) that you are indicating require repair or replacement. Please describe all deficiencies to all systems in sufficient detail to explain the problem.***

**Roof**

The roof, minus the gymnasium, was replaced in full with a Sarnafil white PVC, fully adhered membrane roof, in 1997. According to the roofing survey by Russo-Barr Associates (2013), the roof is 16 years old, out of warranty, and projected for replacement in 2022. The gymnasium roof was replaced with a Sarnafil white PVC, fully adhered membrane roof, in 2008. The roof is warranted until 2028 (20 years). The modular classrooms have a black EPDM roof, 15 years old, with no warranty in place, projected for replacement in 2018.

A ballasted photovoltaic (PV) solar panel system was installed +/- 5 years ago, on the majority of the roofs, with the exceptions of the low roof adjacent to the gym. Condition of roof at areas where PV panels have been installed is fair to poor. Significant ponding is occurring at areas around PV panels. Roof with same construction type, with no PV panels, is in fair condition although leaking is still a problem.

**HVAC**

The school's boilers were replaced in 2000 along with a new DDC system. However, there is an antiquated pneumatic control system and the majority of the existing hot water piping and terminal heating equipment is originally installed. The school is heated by a hot water boiler plant consisting of two (2) gas fired hot water boilers, hot water system pumps, boiler circulator pumps, combustion air intake and combustion by-product exhaust flues, and pneumatic controls. One boiler is manufactured by Viessmann, model Vertomat VSB 89 and has an approximate heating capacity of 3,000 MBH output, and maximum input of 3,361 MBH. The second boiler is manufactured by HB Smith, model 28A series – 13 and has an approximate heating capacity of 3,297 MBH output, and a maximum input of 3,844 MBH. The boiler plant is approximately 18 years old. The Viessmann boiler is a high efficiency condensing boiler and the HB Smith boiler is an atmospheric type boiler.

The flue gases are vented separately through the use of individual breeching that terminates through the mechanical room and up to the roof. Combustion air for the boilers is provided through the use of an inline fan with ductwork.

Hot water is distributed from the boiler to the building heating equipment by three base mounted end suction hot water pumps. Each pump has a 15hp motor. Heating hot water is circulated throughout the building to classroom unit ventilators, unit heaters, convectors, etc. The pumps & piping distribution system were installed with the heating hot water plant in 2000.

There are three rooftop units that feed interior spaces. The units are cooling-only rooftop units. Two units are Carrier Model 50TJ-028 (25 ton cooling) and one is Carrier model 50TJ-016 (15 ton cooling). One unit serves third floor interior classrooms, one unit serves second floor classrooms and one unit serves first floor office/nursing area. The units were replacement units and are nearing the end of their expected useful service life.

The Cafeteria, kitchen, library, and classrooms are served by indoor wall mounted unit ventilators that are original to the building. Each unit has a hot water coil, supply fan and filter. Ventilation air is introduced to each of these units through a wall-mounted louver. Tempered air is distributed to the space through a unit mounted supply grille. Exhaust systems remove any outdoor air that is introduced through the unit ventilators to maintain a neutral pressure within spaces. The majority of classrooms with exterior walls also have perimeter hot water fin tube radiation. The unit ventilators and fin tube radiate are originally installed equipment, in poor condition, and past their expected useful service life.

The majority of classroom spaces are exhausted through roof mounted exhaust fans. There are also dedicated exhaust fans

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which are roof mounted for areas such as the gang toilets, Kitchen hood, storage rooms and the large group spaces such as the Gym and Cafeteria. These areas use a galvanized sheet metal duct distribution system from the space to the roof mounted exhaust fans. The majority of the exhaust fans and ductwork are original and past their useful life.

**Electrical**

The switchboard consists of a 1200 amp main breaker/c/t section plus a distribution section. The switchboard was manufactured by Zinsco and is original to the building. Most panelboards are located flush in corridors, boiler room, kitchen, cafetorium, etc. and are also original to the building. Most panels are full. The facility is secondary metered with the meter located in the electric room. The secondary service runs underground between the pad mounted transformer and a 1200 Ampere, 277/480V, 3Ø, 4 W switchboard located in the main electric room. The switchgear was manufactured by GE, original to the building, and in poor condition.

The facility has an interior natural gas emergency generator manufactured by Katolight located in the Boiler Room. The generator is in fair condition. A 400 ampere Asco series 300 automatic transfer switch is located in the electric room. An emergency-only panel is located adjacent to the ATS. The emergency system is not in compliance with current codes and should be replaced with a code compliant system. Current codes require a separate transfer switch and dedicated panels within 2 hour rated closets with fire rated feeders.

An emergency-only lighting system, which is normally off, exists throughout the facility. The emergency-only lights consist of recessed incandescent fixtures. Existing signs generally have battery back-up. Exterior doors do not have emergency lights.

The majority of the school uses energy-inefficient utility-grade incandescent light fixtures with local switches. Fixtures in the cafetorium have been retrofitted with LED lamps. The wiring and switches throughout the school are original.

Typical classrooms and offices have minimal receptacles. Wire mold raceways have been added at projector marker board walls with receptacles in multiple locations throughout the school. Receptacles in the kitchen are generally not GFI protected and are sparsely located.

**Plumbing**

Presently, the Plumbing Systems serving the building are cold water, hot water, sanitary, waste and vent system and natural gas. Municipal water services the Building, while the building sanitary is directed to a Municipal site sanitary system.

The plumbing systems are original to the building. The plumbing systems, while continuing to function, have served their useful life. The school plumbing systems could continue to be used with maintenance and replacement of failed components; however other non-dependent decisions will likely force the plumbing upgrade.

The plumbing fixtures are in fair to poor condition. Attempts have been made to make some bathroom fixtures accessible; however, most fixtures do not meet current accessibility codes. In general, the fixtures have served their useful life. Current Access Code requires accessible fixtures wherever plumbing is provided.

Cast iron is used for sanitary, waste, vent and storm piping systems. The building has flat roofs, thus rainwater is collected by interior rain leaders that collect under floor slabs, which are then directed to a site storm system. Where visible, the cast iron pipe appears to be in fair to poor condition.

**Fire Protection**

The fire alarm system has fair coverage however, it does not comply with current codes. The system should be replaced under a renovation program. The fire alarm system consists of a non-addressable control panel located and





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**Priority 5**

***Question 2: Please describe the measures the district has already taken to mitigate the problem/issues described in Question 1 above.***

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The District replaced the roof with Sarnafil white PVC, fully adhered in 1997. The gymnasium roof was replaced in 2008 with Sarnafil white PVC fully adhered roof. The majority of the roof system is out of warranty and nearing the end of its useful life.

The District replaced the boilers and hot water piping and insulation in the boiler room in 2000 with a high-efficiency condensing boiler and an atmospheric boiler. While some portions of the system have been replaced problems still remain and overall the system should be considered for replacement.

The District replaced two rooftop HVAC units in 2018 and 2019, used primarily for interior spaces and the main office. The 2 new units were part of the school department capital plan.

The District will be replacing 3 unit ventilators in 2022, 2 in the gym and 1 in the cafeteria, all of which are funded through the FY22 capital plan.

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**Priority 5**

***Question 3: Please provide a detailed explanation of the impact of the problem/issues described in Question 1 above on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

The building's systems are tired and negatively impact the District's educational program. Roofs leaks, rendering some learning spaces unusable or littered with trash cans collecting water. Moisture infiltration can lead to mold and impact the indoor air quality. Poor indoor air quality can aggravate respiratory issues, increase teacher and student absences, and reduce overall health.

Unit ventilators are at the end of their useful life. At times, learning spaces are well below a comfortable temperature and at other times spaces are overheated. We know that appropriate temperature is vital for learning and maintaining concentration. Unit ventilators are loud and inefficient as compared to a more modern system.

Most classrooms and offices have limited electrical receptacles, forcing many teachers and staff to use extension cords which can be a safety hazard. Some classrooms have retro-fitted raceways installed with additional receptacles, however, most electrical panels are full and the system is at capacity. A 21st century education relies heavily on technology powered by electricity which the building is unable to accommodate.

The District has taken bold strategic steps to offer a world-class education to students and preferred career opportunity for talented educators. The 4 long-term strategic objectives of our strategic framework guides all of our decision-making, from our curriculum to our building projects. The long term strategic objectives are: 1) Achieving Educational Excellence & Ensuring Equity; 2) Cultivating School Climate & Culture; 3) Transforming Teaching & Learning; 4) Achieving District Excellence. As the District launches contemporary curriculum, reimagines educational delivery, and invests in active learning, improved facility systems would support improved educational outcomes and continue to move the district forward.

Name of School	Wm H Galvin Middle
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**Priority 5**

***Question 4: Please describe how addressing the school facility systems you identified in Question 1 above will extend the useful life of the facility that is the subject of this SOI and how it will improve your district's educational program.***

Addressing the major building systems will extend the useful life of the facility and improve the District's educational program. Based on reports from Garcia Galuska & DeSousa from October 2017, some system components can be reused, most systems, including HVAC, plumbing, and electrical, need comprehensive replacement. Full system replacement would bring the facility up to current codes and the building would perform similar to a newly constructed building. It is unclear at this time whether or not that would be the most cost-effective approach as compared to a new building.

Improvements to the school facility would:

- Improve the quality of teaching and learning
- Increase accessibility to all programs for all students, including those with disabilities
- Support educators in responding to students' academic, social, and emotional needs
- Improve the student experience
- Focus intended operational funds on the implementation of the District's curriculum without diverting funds to address emergency repairs
- Maximize effectiveness of tax-payer investment in school facilities
- Create an environment that empowers students to thrive academically, emotionally, and socially
- Improve efficiency and provide a more cost-effective operating solution
- Improve indoor air quality and thermal comfort
- Provide natural daylighting opportunities
- Improve issues of proximity
- Maximize the visibility of teaching and learning
- Create opportunities for passive supervision with improved visibility
- Address issues of safety and security

**Please also provide the following:**

**Have the systems identified above been examined by an engineer or other trained building professional?:**  
 YES

**If "YES", please provide the name of the individual and his/her professional affiliation (maximum of 250 characters):**

Garcia Galuska DeSousa, Inc.

**The date of the inspection:** 10/1/2017

**A summary of the findings (maximum of 5000 characters):**

The school's boilers were replaced in 2000 along with a new DDC system. However, the majority of the existing hot water piping and terminal heating equipment is originally installed equipment and at the end of its useful life. There is an antiquated Pneumatic Control System installed in the building. The systems are inefficient and inadequate compared to new modern building systems

The switchboard is original to the building and in poor condition. Most panelboards are located flush in corridors, boiler room, kitchen, cafetorium, etc. and are also original to the building. Most panels are full. The facility is secondary metered with the meter located in the electric room.

Name of School     Wm H Galvin Middle

The plumbing systems are original to the building. The plumbing systems, while continuing to function, have served their useful life. The school plumbing systems could continue to be used with maintenance and replacement of failed components; however other non-dependent decisions will likely force the plumbing upgrade. The plumbing fixtures are in fair to poor condition. Attempts have been made to make some bathroom fixtures accessible, however, most fixtures do not meet current accessibility codes. In general, the fixtures have served their useful life. Current Access Code requires accessible fixtures wherever plumbing is provided. Cast iron is used for sanitary, waste, vent and storm piping systems. The building has flat roofs, thus rainwater is collected by interior rain leaders that collect under floor slabs, which are then directed to a site storm system. Where visible, the cast iron pipe appears to be in fair condition.

Name of School	Wm H Galvin Middle
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### Priority 7

***Question 1: Please provide a detailed description of the programs not currently available due to facility constraints, the state or local requirement for such programs, and the facility limitations precluding the programs from being offered.***

Canton Public Schools is committed to offering state-of-the-art 21st-century public education and preparing our students for success in a changing world. We developed our strategic framework to help guide or decision-making and high quality facilities are an important part of moving our framework forward.

At a minimum, students should have access to an educational facility that is warm, safe, and dry. With a roof, building envelope, and building systems beyond their useful life this is not the case at the Galvin Middle School.

The current Galvin Middle School facility negatively impacts the student's educational experience, the teacher's ability to deliver the highest quality education, and the impact of the community's ongoing investment in their school system. Escalating costs exceed capital repair plans and are focused on emergency repairs which divert funding away from regular maintenance and away from funding educational programming. Additionally, benefits seen from investing in an obsolete building only go so far. The facility continues to serve a 1970's educational model which is inconsistent with Canton's vision for preparing its student for the future.

Providing a warm, safe, and dry building for students to learn is a minimum objective of all school districts. Over the past 5 years, the Town of Canton has invested approximately \$1,250,000 to simply keep the Galvin building in operation and will need to continue to invest significant tax-payer money in this obsolete facility. The building is outdated, does not align with the educational goals of the District, and has nine classrooms that have no access to natural daylight or views to the outside. Research supports a lack of daylight has a negative effect on academic performance and human health. Because of the depth of the floorplate, the interior classrooms cannot be daylit without a full renovation.

A Visioning Committee, formed during the development of the Facilities Master Plan, comprised of approximately 50 administrators, educators, students, parents, local officials, and business leaders met multiple times during the spring and fall of 2017 to discuss the future of education in Canton. The result was a well-considered vision for the District's school facilities and the education delivered within.

The original option was based on community values, district assets, and enrollment projections. This information was used by the committee to outline a pathway toward a preferred grade configuration that would house grades 5-7 in the Galvin Middle School. While the Galvin has the capacity for three grades, it cannot deliver the appropriate educational program envisioned by the District. The visioning committee clearly documented a strategic shift toward student-centered learning that emphasizes understanding and application, creativity, critical thinking, collaboration, and communication through team-based interdisciplinary curriculum delivery. The vision of the Galvin is to become a deeper learning school that prioritizes equity, social emotional learning and a purposeful culture of belonging so that each student can achieve their personal and academic potential. The existing facility acts as an obstacle to delivering a 21st-century education. The original option developed and recommended in the Facilities Master Plan also included converting the Rodman Building to an 8th grade academy, allowing the 5th grade to move from the 3 elementary schools to the Galvin. The next step following release of the Facilities Master Plan was to commission a feasibility study to:

1. Evaluate the feasibility of renovating the Rodman Building to potentially serve as an 8th-Grade Academy
2. Evaluate the feasibility of relocating Pre-Kindergarten students in several scenarios:
  - a. At each elementary school, in modular classrooms Name of School Wm H Galvin

Name of School	Wm H Galvin Middle
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Middle Massachusetts School Building Authority 27 Statement of Interest

b. At each elementary school, integrated into the building

c. At the Rodman building

3. Evaluate the feasibility of renovating the Rodman building to,

a) improve the quality of spaces for District offices and,

b) support both District offices and an expanded Pre-K program.

The study would help the school committee confirm assumptions made during the master planning process.

The feasibility study began in the spring of 2018 and completed in December. It includes three potential pathways to move the facilities master plan forward:

1. Continue the current practice of District offices and Pre-Kindergarten at the Rodman Building and renovate the space for long-term use
2. Continue the current practice of District offices at the Rodman Building and decentralize Pre-K students into neighborhood schools using modular additions
3. Continue the current practice of District offices at the Rodman Building and decentralize Pre-K students into neighborhood schools, integrating them into the existing building and relocating another grade level into modular additions.

The Facilities Master Plan included multiple options for utilizing the 6 school buildings. The school committee ultimately choose the option, which included a grade 5-7 middle school, a stand-alone 8th grade academy and the Pre-kindergarten dispersed to the 3 elementary schools (Option 5.B.1). Several other options were considered. One of the options considered was option 5.A. In Option 5.A, the District would reconfigure all the elementary schools to serve grades PK-4. A new middle school would be built on the Galvin site for grades 5-8. Because this is a large population, the District may want to consider organizing the middle school into one school for 5th and 6th grade, and another school for 7th and 8th grade. The high school will remain as grades 9-12 and District offices will stay at the Rodman Building.

The current option under consideration closely resembles option 5.A but with the Rodman Early Childhood Center staying at the Rodman Building. The feasibility study working group found this option, option 5.A.1, to be cost effective as well as over the long term, the highest and best use for all of the school buildings.

Galvin Middle School organizes students into interdisciplinary teams (3 per grade for 2020 - 2021) to promote 21<sup>st</sup> century - skills and create small communities for learning. The existing facility's layout does not support teaming. Science classrooms have fixed infrastructure and are clustered on the third floor, preventing interdisciplinary organization. The building's construction is typical for the era when it was built, with masonry walls and homogeneous classrooms running along a double-loaded corridor. Three grade levels share 2 floors making clear separation and/or grouping impossible. The District has attempted to geographically locate team classrooms in close proximity to one another however, all teams are split between levels and have no defining shared space where collaboration, project work, or authentic exhibition can happen. This coming school year, at least one team will not be able to be located geographically due to a lack of classrooms and a need to share learning spaces.

Many teachers wish to combine curriculum delivery with other teachers on the team for interdisciplinary learning, however, the layout of the building makes this difficult. Walls are mostly made of CMU, limiting flexibility to combine classrooms. Additionally, casework, furniture, and fixtures are either fixed or too heavy to realistically rearrange which limits flexibility within the classroom. During visioning sessions, teachers and administrators expressed a desire to organize the overall building into team

Name of School	Wm H Galvin Middle
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suites where one team would be able to take most of their classes in a centralized area of the building. Clusters of classrooms would be interdisciplinary and include classroom space for science, math, English language arts, social studies, Special Education, and movement. Classrooms could encircle a shared learning commons for breakout activities that spill beyond the classroom, a place for collaboration, project work, presentations, and more. Team classrooms may be different sizes to support a wide variety of learning activities.

Middle school teachers and administration strive to incorporate active learning strategies including hands-on learning, inquiry-based, and interdisciplinary curriculum delivery. Currently, leaders in the middle school are exploring schedule variations including dynamic scheduling to augment student-led learning experiences. Despite efforts from administration and staff, the school's layout and inflexible furnishings create obstacles to 21st century learning. Approximately 75% of the classrooms are below MSBA guidelines for classroom size which limits collaboration, project work, hands-on learning, and movement activities within the classroom. There are no spaces outside of the classroom that could accommodate these learning activities.

Additionally, the existing building does not have any teacher planning spaces or any space for teachers to collaborate while developing team-based projects and lesson plans. An increasing number of teachers share classrooms and therefore do not have a productive place to work during their planning periods. Because there is limited space for teachers and students to come together outside of traditional classrooms, teachers are limited by what and how they can teach.

Because the building was designed for a different educational program, many Special Education programs are delivered in inappropriate learning environments. Many Special Education programs and student services share classroom space although they meet concurrently. Some Special Educators use furniture to separate classroom space, however, acoustic separation remains problematic. Dedicated space that is appropriately sized for the function would greatly benefit our special education programs.

Name of School	Wm H Galvin Middle
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**Priority 7**

***Question 2: Please describe the measures the district has taken or is planning to take in the immediate future to mitigate the problem(s) described above.***

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The District has replaced the roof (1997), boilers (2000), and windows (2013) in order to keep the building operational. The District will need to invest an additional \$14.5M in the short-term. None of these maintenance-related investments will impact the building's ability to support a 21st-century education.

The District has taken many steps to work within the nearly 50-yr old building's constraints. Classrooms have been repurposed to serve dedicated special education programs, a fabrication lab, and technology lab. Available space has been carved out of the library for student services programs using temporary office partitions.

The District is exploring ways to incorporate more student-centric, active learning techniques including project base learning and inquiry based learning. A scheduling committee/ task force implemented a pilot program during the 2016-2017 school year to understand how using a sliding schedule might improve the school's ability to deliver interdisciplinary curriculum through project-based learning.



Name of School	Wm H Galvin Middle
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**Priority 7**

***Question 3: Please provide a detailed explanation of the impact of the problem described in this priority on your district's educational program. Please include specific examples of how the problem prevents the district from delivering the educational program it is required to deliver and how students and/or teachers are directly affected by the problem identified.***

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The Galvin Middle School is a 50 +/- year old building constructed with an inflexible design. The layout of the building is not conducive to modern teaching methods, which require a variety of teaching and learning spaces. There is inadequate collaboration and small group spaces, interior classrooms without windows or natural light and antiquated systems in need of major replacement or overhaul. As an example, due to lack of break-out spaces, small group teaching and learning is often done in hallways, the building lobby or on the stage in the cafeteria. Additionally, the building does not have a dedicated space for performing arts performances and presentations and there is very little area to display student work.

The dining area at the Galvin is constructed as a large multi-purpose room. It includes the only stage in the building and traditional school cafeteria tables and chairs. Modern school design provides for a variety of seating options, which helps promote social and emotional well-being of the students and staff.

The library is poorly located and isn't used as a central hub of learning. The space is dark and has poor ventilation. The design and layout is inflexible and isn't representative of a 21<sup>st</sup> century media space.

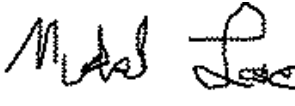
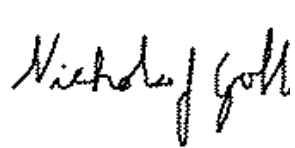
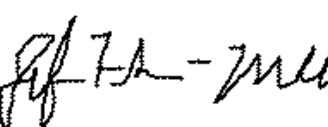
The District has safety and security concerns with the entire building. The main entrance to the building can not be seen from the administrative office. Additionally, the main office has poor visibility into the school. Security cameras have been upgraded but major upgrades are needed to ensure safety.



Name of School	Wm H Galvin Middle
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**CERTIFICATIONS**

The undersigned hereby certifies that, to the best of his/her knowledge, information and belief, the statements and information contained in this statement of Interest and attached hereto are true and accurate and that this Statement of Interest has been prepared under the direction of the district school committee and the undersigned is duly authorized to submit this Statement of Interest to the Massachusetts School Building Authority. The undersigned also hereby acknowledges and agrees to provide the Massachusetts School Building Authority, upon request by the Authority, any additional information relating to this Statement of Interest that may be required by the Authority.

<b>Chief Executive Officer *</b>	<b>School Committee Chair</b>	<b>Superintendent of Schools</b>
Michael Loughran	Nichola Gallagher	Jennifer Fischer-Mueller
Chair, Select Board		
		
(signature)	(signature)	(signature)
Date	Date	Date
6/24/2021 12:12:08 PM	6/24/2021 1:30:46 PM	6/25/2021 10:46:42 AM

\* Local Chief Executive Officer: In a city or town with a manager form of government, the manager of the municipality; in other cities, the mayor; and in other towns, the board of selectmen unless, in a city or town, some other municipal office is designated to the chief executive office under the provisions of a local charter. Please note, in districts where the Superintendent is also the Local Chief Executive Officer, it is required for the same person to sign the Statement of Interest Certifications twice.

## **B MSBA Board Action Letters**

*B.1 Invitation to Conduct a Feasibility Study*

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# Massachusetts School Building Authority

**Deborah B. Goldberg**  
*Chairman, State Treasurer*

**James A. MacDonald**  
*Chief Executive Officer*

**John K. McCarthy**  
*Executive Director / Deputy CEO*

October 26, 2022

Mr. John J. Connolly, Chair  
Canton Select Board  
Memorial Hall  
801 Washington Street, Second Floor  
Canton, MA 02021

Re: Town of Canton, William H. Galvin Middle School

Dear Mr. Connolly:

I am pleased to report that the Board of the Massachusetts School Building Authority (the "MSBA") has voted to invite the Town of Canton (the "District") to partner with the MSBA in conducting a Feasibility Study for the William H. Galvin Middle School. The Board's vote follows the District's timely completion of all of the requirements of the MSBA's Eligibility Period.

I do want to emphasize that this invitation to partner on a Feasibility Study is *not* approval of a project but is strictly an invitation to the District to work with the MSBA to explore potential solutions to the problems that have been identified. Moving forward in the MSBA's process requires collaboration with the MSBA, and communities that "get ahead" of the MSBA without MSBA approval will not be eligible for grant funding. To qualify for any funding from the MSBA, local communities must follow the MSBA's statute, regulations, and policies which require MSBA collaboration and approval at each step of the process.

During the Feasibility Study phase, the District and the MSBA will partner pursuant to the terms of the Feasibility Study Agreement to find the most fiscally responsible and educationally appropriate solution to the problems identified at the William H. Galvin Middle School. The Feasibility Study, which will be conducted pursuant to the MSBA's regulations and policies, requires the District to work with the MSBA on the procurement of an Owner's Project Manager and Designer, which will help bring the District's Feasibility Study to fruition.

We will be contacting you soon to discuss these next steps in more detail. In the meantime, however, I wanted to share with you the Board's decision and provide a brief overview of what this means for the Town of Canton.

I look forward to continuing to work with you as part of the MSBA's grant program. As always, feel free to contact me or my staff at (617) 720-4466 should you have any questions.

Page 2

October 26, 2022

William H. Galvin Middle School Feasibility Study Board Action Letter

Sincerely,

A handwritten signature in blue ink that reads "John K. McCarthy". The signature is fluid and cursive.

John K. McCarthy  
Executive Director

Cc: Legislative Delegation  
Charles E. Doody, Canton Town Administrator  
Kristian Merenda, Chair, Canton School Committee  
Derek Folan, Superintendent, Canton Public Schools  
File: 10.2 Letters (Region 5)

MSBA BOARD ACTION LETTERS

*B.2 Designer Selection Approval Letter*



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**Deborah B. Goldberg**  
*Chairman, State Treasurer*

**James A. MacDonald**  
*Chief Executive Officer*

**John K. McCarthy**  
*Executive Director / Deputy CEO*

June 20, 2023

Mr. John J. Connolly, Chair  
Canton Select Board  
Memorial Hall  
801 Washington Street, Second Floor  
Canton, MA 02021

Re: Town of Canton, William H. Galvin Middle School, Designer Selection Panel Meeting

Dear Mr. Connolly:

On Tuesday, June 20, 2023, the Massachusetts School Building Authority (the “MSBA”) Designer Selection Panel (the “DSP”) interviewed the finalists for the William H. Galvin Middle School project in the Town of Canton (“the District”). The following individuals represented the District at the DSP:

- John Connolly, Select Board Chair, Town of Canton
- Derek Folan, Superintendent of Schools, Town of Canton
- Kristian Merenda, School Committee Member, Town of Canton

In accordance with the provisions of Massachusetts General Laws, Chapter 7C, Sections 44 through 58, and the MSBA Designer Selection Procedures, the DSP voted to rank the finalists, in order of qualifications, as follows for the above- referenced project:

1. Ai3 Architects, LLC
2. Tappe Architects, Inc.
3. Perkins & Will Architecture, Inc.

The District should now take the appropriate local steps necessary to award the contract for designer services to the first ranked firm and authorize fee and contract negotiations. Please use the MSBA’s standard contract for designer services, which can be downloaded from our website:  
<https://www.massschoolbuildings.org/building/team/dsp>

Upon completion of contract and fee negotiations with the first ranked firm, please forward a copy of the fully executed contract to Brittany Gomes, Senior Project Coordinator, at the MSBA

Sincerely,

A handwritten signature in blue ink, appearing to read "Karl Brown".

Karl Brown, AIA Design Director

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# Design Enrollment Certification Letter

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## **D Phase I Traffic Impact Analysis**



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October 27, 2023

Andrew Street, Senior Project Manager  
Vertex Engineering  
100 North Washington Street, Suite 302  
Boston, MA 02114

Re: **Professional Traffic Engineering Services**  
**Galvin Middle School**  
**Canton, Massachusetts**  
Pare Project No.: 23192.00

Dear Mr. Street:

Pare Corporation (Pare) has completed an initial traffic assessment at Galvin Middle School, located at 55 Pecunit Street in Canton, Massachusetts. The town is proposing to partially or fully expand, renovate or reconstruct the school at its current site. The school currently hosts students in grades 6 through 8. Future enrollment may be expanded to include grade 5 as well. This review is intended to inform potential improvements to site access and circulation that are recommended for inclusion as part of the school improvements.

The following assessment details existing traffic conditions at and in the vicinity of the existing middle school. The information provided in this assessment outlines the results of field observations conducted during morning arrival and afternoon dismissal peak periods. A full traffic impact analysis (TIA) will be conducted as a Phase 2 report, if needed, depending on the selected future alternative. This analysis would provide a more detailed and specific assessment of the future traffic conditions associated with the school improvements and the quantitative impact of the traffic generated by the expanded middle school.

A study area map, showing the location of Galvin Middle School and the surrounding area, is shown in **Figure 1**.

**EXISTING CONDITIONS**

The Galvin Middle School will remain on the site where it currently stands. The existing middle school will be either partially or completely demolished and a new building or renovation/addition to the remainder of the existing building, depending on the preferred alternative ultimately selected, will be constructed on-site. The reconstructed school will either remain with its existing grade configuration, serving sixth grade through eighth grade, or convert to a fifth grade through eighth grade configuration.

The study area is defined as the significant roadways and intersections in the vicinity of the site that may be impacted by the school improvements. Listed below are the roadways and intersections included in the study area.

  
**8 Blackstone Valley Place**  
Lincoln, RI 02865  
401-334-4100

**10 Lincoln Road, Suite 210**  
Foxborough, MA 02035  
508-543-1755

**14 Bobala Road, Suite 2B**  
Holyoke, MA 01040  
413-507-3448





Mr. Andrew Street

(3)

October 27, 2023

### Study Area Roadways

#### *Pecunit Street*

Pecunit Street is a two-way street, classified as a local roadway under town jurisdiction. This roadway runs in the general northwest/southeast direction within the study area. At the school frontage, Pecunit Street is approximately 29 feet wide, including an 11.5 to 12-foot-wide travel lane and a two and a half to three-foot-wide paved shoulder present in each direction. A four-foot-wide bituminous concrete sidewalk is present on the east side of the roadway.

Once Pecunit Street intersects with Charles Drive, the roadway widens to approximately 33.5 feet with a 12-foot-wide travel lane and four and a half foot-wide shoulder in the east bound direction, and a nine-foot-wide thru lane and eight-foot-wide right-turn-only lane in the westbound direction. The right-turn-only lane extends from Washington Street and ends at Charles Drive. A five-foot-wide bituminous concrete sidewalk is present along the east side of the roadway. It should be noted in this area that there is “blacked out” striping using paint on both sides of the roadway along this segment of Pecunit Street to cover what used to be bike lanes on each side of the roadway.

Within the study area, there are two access driveways to the middle school along the eastern side of Pecunit Street, with standard striped, at-grade crosswalks present at each driveway entrance. At the southern driveway entrance there are standard ADA curb ramps present to accompany the at-grade crosswalk, while the northern driveway has bituminous concrete curb ramps present that do not meet current ADA standards.

A school zone speed limit of 20 miles per hour is posted within the study area, with the remainder of the roadway having a posted speed limit of 25 miles per hour. Land use surrounding this roadway is predominantly residential except for educational uses such as Galvin Middle School and Lt. Peter M. Hansen Elementary School further south along the roadway, as well as open space/parkland use across from the school frontage.

### Study Area Intersections

#### *Pecunit Street at Washington Street*

The intersection of Pecunit Street and Washington Street operates as an unsignalized, three-legged intersection. Washington Street makes up the northern and southern legs, while Pecunit Street makes up the western leg. The Pecunit Street approach is stop-controlled while the other approaches are free-flowing. The northern and southern legs have two lanes of traffic with one lane in each direction, while the western leg has one receiving lane and two approach lanes with one lane being a designated right-turn only lane and the other being a left-turn-only lane. There is a standard striped crosswalk present along the western leg of the intersection. Additionally, there are concrete sidewalks wrapping the corner of the north and west leg, as well as on the west side of the south leg. Concrete curb ramps are present at the ends of the crosswalk.





Mr. Andrew Street

(4)

October 27, 2023

### **SCHOOL OBSERVATIONS**

Galvin Middle School is a public-school serving student from grades six through eight and is located at 55 Pecunit Street in Canton, Massachusetts. As part of the field review process, traffic observations were conducted during the morning arrival and afternoon dismissal periods associated with the middle school on Thursday, October 19, 2023, while the school was operating under typical conditions. A summary of general site observations and narratives of the arrival and departure peaks can be found in the following paragraphs.

#### *Safety Measures*

- There are 20-mile-per-hour school zone speed limit signs mounted in advance of the school site along Pecunit Street.
- Speed display feedback units are mounted beneath the posted school zone speed limit signs.
- Supplemental signage stating school zone ahead exists in advance of the school zone speed limit.
- Pavement markings stating “SCHOOL” are present in advance of the school in both directions.
- Faculty were observed along the frontage of the middle school assisting site circulation during student drop-off and pick up.

#### *Site Layout and Circulation*

- There are two site driveways along Pecunit Street, with one designated entrance/exit to the north of the school site and one entrance/exit south of the school.
- The northern driveway access is for school bus utilization only as a drive-aisle loop is formed in “Laliberte Circle” in front of the school’s main entrance. There are post-mounted signs stating, “DO NOT ENTER BUSES ONLY” and “STOP BUSES ONLY.” It should be noted that this driveway is also accessed by Galvin Middle School administrative staff and faculty from the Cole-Harrington Kindergarten Enrichment Center as there is staff parking located west of the middle school.
- Handicap vans were allowed to utilize the northern driveway to drop-off/pickup students in the parking lot west of the building.
- The southern driveway access is utilized for parent drop-off and pick up as a loop is formed inside the staff parking lot to allow vehicles to use the school frontage to drop-off/pickup students and circulate out through the parking lot. The main staff parking lot is accessed through this driveway.

#### *Parking*

- The school’s parking spaces are located along the west side of the building for administrative staff, while the main parking lot is in front of the building for faculty and staff as well as visitors.
- There is no on-street parking available for public use along Pecunit Street.
- Of the 131 spaces available for faculty/staff use (not considering administrative parking), 95 were occupied (approximately 72%).



Mr. Andrew Street

(5)

October 27, 2023

### *Morning Arrival Operations*

When Pare arrived on site at 7:15 a.m., drop-off activity had just begun with parent vehicles observed to begin dropping off students. Students were observed to congregate outside of the main entrance to the building with up to three staff members helping to facilitate proper site circulation for parent and bus drop-off. One staff member was posted by the bus driveway loop to prohibit parent vehicles from exiting through the northern driveway, while another stood at the staff parking lot monitoring drop-off operations and guiding parent vehicles to exit through the parking lot. Posted signage at the parking lot entrances stating, “DROP OFF STAY RIGHT” were also present.

More significant school activity began at 7:20 a.m., with peak activity occurring from 7:25 a.m. to 7:45 a.m., before dissipating around 7:50 a.m. The school’s official start time is currently 7:45 a.m. Due to the heavy presence of parents dropping off students, approximately 20-25 vehicles were observed as a maximum queue entering the site, wrapping around the parent access driveway and extending up to five vehicles onto Pecunit Street.

A total of 14 school buses and one school van were observed dropping off students in the morning, with a maximum of five buses present at once. The school van accessed the parent driveway loop, while all school buses accessed the bus loop and began dropping students off along the curb lining the frontage of the school, with arrival times of 7:20 a.m., 7:26 a.m., 7:34 a.m., 7:37 a.m., and 7:42 a.m. In addition, two vans were observed to drop handicap students off on the west side of the school.

**Figure 2** below graphically displays the arrival operations of the school.

*Figure 2: Morning Arrival Operations at Galvin Middle School*





Mr. Andrew Street

(6)

October 27, 2023

**Afternoon Dismissal Operations**

The afternoon dismissal procedure operated similarly to the morning arrival procedure, with the exception of the school bus flow. In the afternoon, school buses enter the southern driveway, queue along the full length of the drive aisle between the northern driveway and staff parking and exit through the northern driveway. However, traffic queues during the dismissal period were much shorter and occurred within a smaller time frame. Peak activity occurred from approximately 2:14 p.m. until 2:25 p.m. Parent/guardian pick-up was observed to be a considerably lower volume in the afternoon due to after school activities, clubs, and athletics. This also led to decreased bus ridership although the same number of buses were present as in the morning.

By 1:49 p.m., the first bus arrived and began queuing in the bus driveway loop. By 2:08 p.m. all 14 buses were queued up along the school frontage using the entire driveway loop formed in front of the school between the north and south driveway accesses. Multiple staff members were present outside to monitor and prevent parent vehicles from blocking buses from parking along the school frontage. Parent vehicles queued behind the buses, extending out onto Pecunit Street. Students were observed walking to parent vehicles as buses were being boarded. Once buses departed the site, parents advanced to the crosswalk near the staff parking lot, similar to the morning drop-off point. Along the west side of the building five vans were queued, although some of these vans were for the middle school and some were being used by the kindergarten in the rear.

The school’s official dismissal is currently 2:15 p.m. By 2:19 p.m. all buses are boarded and begin to exit the driveway loop. Once the bus queue dissipates, Parent vehicles start to exit through the staff parking lot, similar to morning operations. One school van was observed to pick up students after the school buses had already cleared. By 2:25 p.m., school activity completely dissipated. **Figure 3** graphically displays the dismissal operations of the school.

*Figure 3: Afternoon Dismissal Operations at Galvin Middle School*





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October 27, 2023

## SAFETY ANALYSES

### **Sight Distance**

On October 19, 2023, a spot speed study was conducted on Pecunit Street between the two site driveways to assess driving speeds along the roadway. A speed limit of 25 miles per hour is posted along Pecunit Street, but in the area of the site and where the speed study was conducted, a school zone speed limit of 20 miles per hour when flashing is posted. A summary of the speed data results is shown in **Table 1** below. The most notable metric presented in the table is the 85<sup>th</sup> percentile speed, which represents the free-flow speed of a roadway and was utilized for the following sight distance analysis. Based on the speeds observed, the sight distance analysis was conducted using a design speed of 40 miles per hour for Pecunit Street.

**Table 1: Pecunit Street Speed Study Summary**

	Posted Speed	Average Speed	True Median (50 <sup>th</sup> Percentile)	85 <sup>th</sup> Percentile	10 MPH Pace	% over Posted
<b>Northbound</b>	20	33	32	39	28-37	98
<b>Southbound</b>	20	31	32	36	26-35	93

In conjunction with the spot speed study conducted, the available sight distances at the existing site driveways were measured. Photos of the sight lines are shown in **Photos 1 through 4** below.



**Photo 1. Sight distance looking east (left) from the southern driveway**



**Photo 2. Sight distance looking west (right) from the southern driveway**





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**Photo 3. Sight distance looking east (left) from the northern driveway**



**Photo 4. Sight distance looking west (right) from the northern driveway**

According to the latest edition of the American Association of State Highway and Transportation Officials’ (AASHTO) publication *A Policy on the Geometric Design of Highways and Streets*, the minimum safe stopping sight distance (SSD) for speeds of 40 miles per hour is 305 feet. The required intersection sight distance to avoid a collision is equal to the stopping sight distance. In addition, AASHTO gives guidance for a more desirable intersection sight distance (ISD) for this speed, which will not only avoid collisions, but maintain vehicular flow of at least 70 percent of the original operating speed. Meeting the desirable criteria for sight distance is more applicable to heavily traveled, high-velocity roadways, where maintaining steady traffic flow along the major road is important. A summary of the sight distance for both driveways can be found in **Table 2** below.

**Table 2: Sight Distance Summary**

		Required SSD (ft)	Desirable ISD (ft)	Measured ISD (ft)
Southern Driveway	Looking East (Left)	305	385	430
	Looking West (Right)	305	445	>500
Northern Driveway	Looking East (Left)	305	385	350
	Looking West (Right)	305	445	270

ISD = Intersection Sight Distance

As shown, sight distances from the northern driveway are limited due to overgrown vegetation when looking right onto Pecunit Street. It is recommended that overgrown vegetation be trimmed at least 15 feet back from the roadway or to the edge of the right-of-way.

All other remaining sight distances exceed the minimum required for vehicles to avoid a collision, as well as exceeding the desirable sight distances to allow steady traffic flow from the northern driveway.



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### Crash Data

Crash data was obtained through the Massachusetts Department of Transportation (MassDOT) crash portal for the latest three-year (pre-COVID) period, from January 1, 2017, through December 31, 2019. The crash data obtained included the study roadway of Pecunit Street between the intersection of Pecunit Street with Raven Road and the study intersection of Pecunit Street with Washington Street to be analyzed, as well as the roadway segments outside of the immediate vicinity of the selected intersections. **Table 3** below provides a breakdown of the crashes based on type and severity.

**Table 3: Crash Data Summary**

Roadway/ Intersection	Total Crashes	Crash Severity		Crash Type					
		Non-Fatal Injuries	Fatalities	Rear-End	Angle	Sideswipe	Head-On	Single Vehicle	Other/ Unknown
Pecunit Street between Raven Road and Washington Street	1	0	0	0	1	0	0	0	0
Pecunit Street at Raven Road	0	0	0	0	0	0	0	0	0
Pecunit Street at Washington Street	6	0	0	2	3	1	0	0	0
<b>Total</b>	<b>7</b>	<b>0</b>	<b>0</b>	<b>2</b>	<b>4</b>	<b>1</b>	<b>0</b>	<b>0</b>	<b>0</b>

As shown in **Table 3**, a total of seven crashes occurred within the study area, with an average of over two crashes per year. Of the seven total crashes within the study area, one crash (14%) occurred mid-block on Pecunit Street and six crashes (86%) occurred at the intersection of Pecunit Street at Washington Street.

Of these seven crashes, four were angle collisions and two were rear-end collisions, indicating motorists are entering or crossing the Washington Street traffic stream when there is not enough room to do so. This could be due to aggressive driving behaviors as this road is frequently traveled well above the posted speed limit. There were no injuries or fatalities within the study area.

One of the crashes reported occurred on Washington Street which was within the 250-foot buffer of the intersection of Pecunit Street and Washington Street. This was reported as an angle crash with no fatalities or injuries.

Based on the relatively low occurrence of crashes in the study area in general and the low rate of personal injuries in the study area, the crash data shows no trends or severities of incidents that indicates the need for mitigation.



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### **PRELIMINARY ASSESSMENT**

The existing Galvin middle school currently serves approximately 754 students between grades six through eight, with roughly 113 faculty and staff employed. Under current site conditions, school activity operates efficiently with minimum queuing and delay, though there is some overflow onto Pecunit Street during drop-off and pick-up periods. Additionally, a Kindergarten program operates at the western rear of the building, with hours of operation that do not conflict with the primary traffic flow or magnify queuing.

With reconstruction of the school on its existing site, student enrollment may remain nearly the same, with roughly 760 students expected if the grade configuration continues serving sixth through eighth grade. However, if the reconstructed school accommodates grade five as well, there are approximately 1,020 students projected to be enrolled, which is approximately a 35% increase in student capacity. If the school grade structure is expanded to include grade five, it is expected that the Kindergarten program will be moved to a different facility.

Faculty and staff occupancy would remain roughly the same with 117 projected staff for grades six through eight, while 134 total staff are expected to be employed with the potential addition of fifth grade. In the scenario of a grade configuration of fifth through eighth grade, bus ridership would increase to 19 buses in the morning and afternoon. Under existing conditions and school operations, significant queuing and delay is to be expected with the projected increase in parent vehicle drop-off should the school change the grade structure to include fifth grade.

The school's forecast of student enrollment, staff and buses allows for a calculated projection of the change in trips anticipated with each future scenario by inflating each mod type on a linear inflation. If the grade structure is maintained, there would be a minimal change in trips associated with the site. This would be in line with the standard inflation expected for any area over a period of time. If the grade structure is changed to incorporate the fifth grade, there is expected to be a sizeable increase in trips to and from the school, particularly during the morning drop-off period. It is expected that after school clubs and activities will still provide a staggered release in the afternoon.

### **CONCLUSIONS AND RECOMMENDATIONS**

Pare Corporation conducted observations of the existing Galvin Middle School located at 55 Pecunit Street in Canton, Massachusetts. As part of the observations, Pare reviewed morning arrival and afternoon dismissal operations. Galvin Middle School utilized 14 school buses, and one van for both periods. Traffic queuing was observed along Pecunit Street during both periods, extending up to five car lengths beyond the school's driveway. The current operations allow for limited conflict between different user types, with buses having their own entrance/loop in the morning and parents exiting after buses in the afternoon.

Safety analyses performed at the site driveways through a sight distance analysis showed sight lines exceeding the minimum requirements. Sight lines could be improved at the northern driveway with minor vegetative trimming. A crash data review of the study area, including the intersection of Pecunit Street at Washington Street, indicated a low frequency and severity of incidents.



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Based on the observations conducted and data collected, Pare recommends the following actions be taken as part of the school improvements:

- Trim the vegetation by reducing sight lines at the existing site driveways if these access points are maintained; and if realigned driveways are proposed ensure that the landscape plans are prepared in accordance with the desired ISD sight lines.
- If the existing grade structure is maintained, with minimal change in future site traffic, consider double stacking the buses in the loop in the afternoon, so their operations do not extend into the queueing pick-up for parents and guardians. This would better mimic the morning operation.
- If the grade structure is changed to add fifth grade students, consider creating a longer on-site queue area for parent drop-offs and pick-up to reduce stopping in and along Pecunit Street. With the anticipated removal of the Kindergarten program, it is possible that buses could use the side lot, allowing parents/guardians to queue along the entirety of the school's front entrance. Alternatively, a loop could be created that circumnavigates the site around the rear of the school building for parent/guardian drop-off and pick-up.

It is recommended that if the final selected alternative includes a change in grade structure to accommodate grades five through eight, that a full traffic impact analysis be performed to assess level-of- service at the study area intersections.

If you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in blue ink that reads 'Amy Archer'.

Amy Archer, PE  
Senior Project Engineer

AA/AB/kl

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## **E Geotechnical Evaluation/Soils Analysis**

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September 16, 2023

Mr. James S. Jordan AIA, LEED AP BD+C  
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Re: **Preliminary Geotechnical Report  
Proposed Galvin Middle School  
Canton, Massachusetts  
LGCI Project No. 2329**

Dear Mr. Jordan:

Lahlaf Geotechnical Consulting, Inc. (LGCI) has completed a preliminary geotechnical study for the proposed Galvin Middle School in Canton, Massachusetts. We are submitting our preliminary geotechnical report electronically.

The soil samples from our preliminary explorations are currently stored at LGCI for further analysis, if requested. Unless notified otherwise, we will dispose of the soil samples and rock cores after three (3) months.

Thank you for choosing LGCI as your geotechnical engineer.

Very truly yours,

**Lahlaf Geotechnical Consulting, Inc.**

Abdelmadjid M. Lahlaf, Ph.D., P.E.  
Principal Engineer





**PRELIMINARY GEOTECHNICAL REPORT  
PROPOSED GALVIN MIDDLE SCHOOL  
CANTON, MASSACHUSETTS**  
LGCI Project No. 2329  
September 16, 2023

Prepared for:

**Ai3 Architects LLC**  
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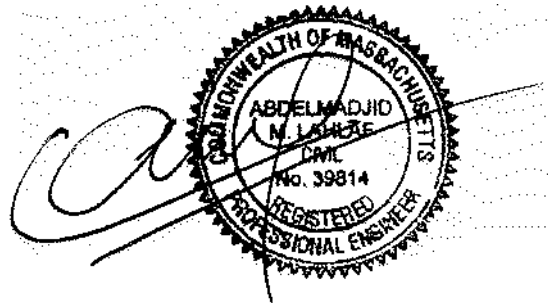
**PRELIMINARY GEOTECHNICAL REPORT**  
**PROPOSED GALVIN MIDDLE SCHOOL**  
**CANTON, MASSACHUSETTS**  
LGCI Project No. 2329  
September 16, 2023

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Principal Engineer

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**Preliminary Geotechnical Report  
Proposed Galvin Middle School  
Canton, Massachusetts  
LGCI Project No. 2329**

## 1. PROJECT INFORMATION

### 1.1 Project Authorization

This preliminary geotechnical report presents the results of the preliminary subsurface explorations and a preliminary geotechnical evaluation performed by Lahlaf Geotechnical Consulting, Inc. (LGCI) for the proposed Galvin Middle School in Canton, Massachusetts. We performed our services in general accordance with our proposal No. 23073 dated June 23, 2023. Mr. James S. Jordan of Ai3 Architects LLC (Ai3) authorized our services by signing our proposal on June 26, 2023.

### 1.2 Purpose and Scope of Services

The purpose of our preliminary geotechnical services was to perform preliminary subsurface explorations at the site for the proposed Galvin Middle School, and to provide preliminary foundation design and construction recommendations. LGCI performed the following services:

- Coordinated our exploration locations with Ai3.
- Marked the exploration locations at the site and notified Dig Safe Systems Inc. (Dig Safe) and the Town of Canton for utility clearance.
- Engaged a drilling subcontractor for five (5) days to advance twenty (20) soil borings at the site of the proposed Galvin Middle School. Our drilling subcontractor installed one (1) groundwater observation well in one (1) soil boring.
- Provided an LGCI geotechnical field representative at the site to coordinate and observe the borings, describe the soil samples and rock cores, and prepare field logs.
- Submitted four (4) soil samples from the borings for laboratory testing.
- Prepared this preliminary geotechnical report containing the results of our preliminary subsurface explorations, and our preliminary recommendations for foundation design and construction.

Our scope does not include preparing specifications, reviewing contract documents, attending meetings, or providing construction services. LGCI would be pleased to perform these services when needed. Recommendations for unsupported slopes, stormwater management, erosion control, pavement design, slope stability analyses, liquefaction and/or site-specific seismic analysis, pile analysis and design, and detailed cost or quantity estimates are not included in our scope of work.

LGCI's scope of services does not include an environmental assessment for the presence or absence of wetlands or analytical testing for hazardous or toxic materials in the soil, surface



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water, groundwater, or air, on or below or around this site, or mold in the soil or in any structure at the site. Any statements regarding odors, colors, or unusual or suspicious items or conditions are strictly for the information of the client.

### 1.3 Site Description

Our understanding of the site is based on our field observations, our discussions with Ai3 and on the following documents:

- Drawing titled: “Proposed Phase I Boring Plan, Galvin Middle School, 55 Pecunit Street, Canton, MA,” (Site Plan) prepared by Ai3, undated, and provided to LGCI by Ai3 via email on June 26, 2023.
- Drawings titled: “Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County),” (Existing Conditions Plan) prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 via e-mail on September 14, 2023.

The site of the existing Galvin Middle School is located at 55 Pecunit Street in Canton, Massachusetts as shown in Figure 1.

Based on the Site Plan, the site is bordered by Pecunit Street on the southern side, by private properties on the western side, by wooded land on the northern side, and by Surry Lane and Lieutenant Peter M. Hansen School and private properties on the eastern side. The site is currently occupied by the existing one- to three-story Galvin Middle School building, paved parking lots, driveways, and athletic fields. The parking lots are located on the southern and western sides of the existing school. The athletic fields are located on the northern side of the existing school.

Based on the Existing Conditions Plan, the grades generally rise at the site in a southerly direction as described below:

- The grades rise from about El. 52 feet at the northern limit of the site near the northern side of the existing athletic fields to El. 95 feet on the southern side of the site near Pecunit Street.
- On the eastern side of the site, the grade steeply drops from about El. 95 feet near Pecunit Street to El. 70 feet near the western side of the southern parking lot that is shared with Lieutenant Peter M. Hansen School, and then rise to about El. 81 feet on the eastern side of the parking lot.
- The existing grades within the small parking lot on the western side of the existing school range between El. 68 feet and El. 70 feet.
- The existing grades within the athletic fields to the north of the existing school range between El. 52 feet and El. 66 feet.
- The existing grades around the existing school building range between El. 65 feet near the northern side of the existing school and El. 82 feet near the southern side of the existing school.



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**1.4 Project Description**

Our understanding of the proposed construction is based on our discussions with Ai3, and the documents listed in Section 1.3.

We understand that at the time of this preliminary geotechnical report, the configuration, location, and size of the proposed building have not been established.

**1.5 Elevation Datum**

We understand that the elevations provided in the Site Plan and the Existing Conditions Plan are referenced with respect to the North American Vertical Datum of 1988 (NAVD88).



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## **2. SITE AND SUBSURFACE CONDITIONS**

### **2.1 Surficial Geology**

LGCI reviewed a surficial geologic map titled: “Surficial Materials Map of the Norwood Quadrangle, Massachusetts,” prepared by Stone, B.D., and DiGiacomo-Cohen, M.L., Scientific Investigation Map 3402, Quadrangle 116 – Norwood, 2018.

The surficial geologic map of the site indicates that the natural soils in the general vicinity of the site consist of coarse deposits and swamp deposits.

The coarse deposits consist of sand, sand and gravel, and gravel deposits as described below.

**Sand Deposits** – The sand deposits are comprised mostly of fine to coarse sand. Coarser layers may contain up to 25 percent gravel. Finer layers may contain very fine sand, silt, and clay.

**Sand and Gravel Deposits** – The sand and gravel deposits occur as a mixture of gravel and sand within individual layers and as alternating layers of sand and gravel. The sand and gravel layers range between 25 to 50 percent gravel and 50 to 75 percent sand.

**Gravel Deposits** – The gravel deposits are comprised of at least 50 percent gravel, cobbles, and boulders. Sand occurs within gravel beds and as separate layers within the gravel.

The swamp deposits are described as organic muck and peat that contain minor amounts of sand, silt, and clay, are stratified and are poorly sorted, and occur in swamps and freshwater marshes, in kettle depressions, or in poorly drained areas.

The Surficial Geologic Map is shown in Figure 2.

### **2.2 LGCI’s Explorations**

#### **2.2.1 General**

LGCI coordinated our exploration locations with Ai3 and marked the exploration locations in the field. LGCI notified Dig Safe and the Town of Canton for utility clearance prior to starting our explorations at the site.

Unless notified otherwise, we will dispose of the soil samples and rock cores obtained during our explorations after three (3) months.

#### **2.2.2 LGCI’s Soil Borings**

LGCI engaged Northern Drilling Services, Inc. (NDS) of Northborough, Massachusetts to advance twenty (20) soil borings (B-1 to B-20-OW) at the site between August 9 and 15,





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2023. Borings B-1 to B-4, and B-6 to B-20-OW were advanced with a Mobile B-53 ATV Drill Rig using 3 ¼” inner-diameter hollow stem augers. Boring B-5 was advanced with a Mobile B-53 ATV Drill Rig using drive and wash borings techniques with 4-inch casings. The borings extended to depths ranging between 10.4 feet and 45.0 feet beneath the ground surface. Upon completion, the boreholes were backfilled with the soil cuttings. The ground surface was restored with asphalt cold patch in paved areas.

NDS performed Standard Penetration Tests (SPT) and obtained split spoon samples with an automatic hammer at typical depth intervals of 2 feet or 5 feet as noted on the boring logs in general accordance with ASTM D-1586.

An LGCI geotechnical field representative observed and logged the borings in the field.

### **2.2.3 Exploration Logs and Locations**

The boring locations are shown in Figure 3. Appendix A contains LGCI’s boring logs and Table 1 includes a summary of LGCI’s borings.

## **2.3 Subsurface Conditions**

The subsurface description in this report is based on a limited number of explorations and is intended to highlight the major soil strata encountered during our explorations. The subsurface conditions are known only at the actual exploration locations. Variations may occur and should be expected between exploration locations. The boring logs represent conditions that we observed at the time of our explorations and were edited, as appropriate, based on the results of the laboratory test data and inspection of the soil samples and rock cores in the laboratory. The strata boundaries shown in our boring logs are based on our interpretations and the actual transitions may be gradual. Graphic soil symbols are for illustration only.

The soil strata encountered in LGCI’s borings were as follows, starting at the ground surface.

Asphalt – A layer of asphalt was encountered at the ground surface in borings B-2, B-5 to B-7, B-14, B-16, B-18, and B-19. The thickness of the asphalt was about 0.3 feet.

Topsoil – A layer of surficial organic topsoil was encountered at the ground surface in borings B-1, B-3, B-4, B-8 to B-13, B-15, B-17, and B-20-OW. The thickness of the topsoil ranged between 0.3 feet and 1 foot beneath the ground surface.

Fill – A layer of fill was encountered beneath the topsoil or asphalt in all borings. The fill extended to depths ranging between 2.0 feet and 6.0 feet beneath the ground surface. The samples in this layer were mostly described as silty sand. Eight (8) samples were described as well graded sand, and two (2) samples were described as well graded gravel. The fines content in the fill ranged between 0 and 30 percent and the gravel content in the fill ranged between 0 and



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45 percent. When described as gravel, the sand content in the fill ranged between 35 and 45 percent. The fill contained traces of organic soil, roots, wood, and asphalt.

The SPT N-values in the fill layer ranged between 7 blows per foot (bpf) and refusal, with most values ranging between 13 bpf and 50 bpf, indicating mostly medium dense to dense material. Please note that the high SPT N-values recorded in the fill may be due to obstructions such as cobbles and boulders present in the fill and may not represent the true density of the fill.

Buried Organic Soil – A layer of buried organic soil was encountered beneath the fill in borings B-1 and B-18. The buried organic soil extended to depths ranging between 7.5 feet and 8.0 feet beneath the ground surface. The samples within this layer were described as silty sand, peat, and silt. The fines content in the buried organic soil ranged between 10 and 35 percent, and the gravel content ranged between 0 and 25 percent. When described as silt, the sand content in the buried organic soil ranged between 5 and 10 percent. The buried organic soil contained roots and peat fibers. One (1) sample contained a faint petroleum odor. The peat sample was described as fibrous.

The SPT N-values in this layer ranged between 2 bpf and 22 bpf, indicating very soft to stiff material.

Sand and Gravel – A layer of sand and gravel was encountered beneath the fill or buried organic soil in all borings and extended to the termination depths of all borings except in borings B-5, and B-6 which terminated in weathered rock or rock. Split spoon and auger refusal were encountered on apparent rock near the bottom of this layer in borings B-1, B-2, B-5, B-9, and B-12 at depths of 17.9, 17.6, 34.3, 10.4, and 13.6 feet beneath the ground surface, respectively. The samples in this layer were mostly described as silty sand. Ten (10) samples were described as well graded sand, three (3) samples were described as poorly graded sand, one (1) sample was described as well graded gravel, one (1) sample was described as silty gravel, and one (1) sample was described as silt. The fines content in this layer ranged between 0 and 45 percent, and the gravel content ranged between 0 and 40 percent. When described as gravel or silt, the sand content in this layer ranged between 15 and 25 percent. The sand and gravel contained traces of weathered rock.

The SPT N-values in this layer ranged between 12 bpf and refusal, with most values higher than 30 bpf, indicating dense to very dense material. Please note that the high SPT N-values in the sand and gravel may be due to obstructions such as cobbles and boulders in the sand and gravel and may not represent the true density of the sand and gravel.

Weathered Rock – A layer of weathered rock was encountered beneath the sand and gravel in borings B-5 and B-6 at depths of 24.0 feet and 20.0 feet beneath the ground surface, respectively. The weathered rock extended to a depth of 34.3 feet beneath the ground surface in borings B-5 and to the termination depth of 22.0 feet beneath the ground surface in boring B-6. The samples in this layer were described as silty sand. The fines content in the weathered rock ranged between 20 and 25 percent and the gravel content ranged between 15 and 30 percent.



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The SPT N-values recorded in this layer ranged between 19 bpf and refusal, with most values over 44 bpf, indicating dense to very dense material.

Rock – Split spoon refusal and auger refusal were encountered on possible rock in borings B-1, B-2, B-5, B-9, and B-12 at depths ranging between 10.4 feet and 34.3 feet beneath the ground surface.

To confirm and characterize the rock, rock was cored in boring B-5. The rock generally consisted of very soft to very hard, severely weathered to fresh, moderately fractured to sound, fine-grained, gray, Graywacke. The rock core recoveries ranged between about 68.3 and 90.0 percent and the Rock Quality Designation (RQD) ranged between about 60.0 and 61.7 percent. The coring rates ranged between 2.2 and 4.2 minutes per foot.

**2.4 Groundwater**

Groundwater was encountered in all borings at depths ranging between 3.5 and 20.0 feet beneath the ground surface, as shown in Table 1 and in the boring logs.

The groundwater levels measured in the groundwater observation well are shown below.

Date	B-20-OW
	G.S. El.= 69.0 feet
	<b>Depth / Elevation (ft.)</b>
8/14/2023	5.2 / 63.8
8/15/2023	5.1 / 63.9

The groundwater information reported herein is based on observations made during or shortly after the completion of drilling. In addition, water was introduced into the boreholes during drilling, therefore, the reported groundwater levels may not represent the actual groundwater conditions, as additional time may be required for the groundwater levels to stabilize. The groundwater information presented in this report only represents the conditions encountered at the time and location of the explorations. Seasonal fluctuation should be anticipated.

**2.5 Laboratory Test Data**

LGCI submitted four (4) soil samples collected from the borings for grain-size analysis. The results of the grain-size analyses are provided in the test data sheets included in Appendix B and are summarized in the table below.



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*Grain-Size Analysis Test Results*

Boring No.	Sample No.	Stratum	Sample Depth (ft.)	Percent Gravel	Percent Sand	Percent Fines
B-2	S1	Fill	0.5 – 2.0	58.0	37.3	4.7
B-3	S2	Sand and Gravel	2.0 – 4.0	36.4	46.8	16.8
B-7	S1	Fill	0.5 – 2.0	45.5	44.7	9.8
B-12	S3	Fill	4.0 – 6.0	40.5	47.9	11.6



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### **3. EVALUATION AND RECOMMENDATIONS**

#### **3.1 General**

Based on our understanding of the proposed construction, our observation of our borings, and the results of our laboratory testing, there are a few issues that we would like to highlight for consideration and discussion.

##### **3.1.1 Asphalt, Surficial Topsoil, Buried Organic Soil, and Existing Fill**

- Asphalt, surficial topsoil, buried organic soil, and existing fill were encountered in the borings. These materials are not suitable to support foundations.
- The asphalt and surficial topsoil should be removed from within the entire construction area, including the proposed building footprint and proposed driveways and parking lots.
- The existing fill was observed to be variable in composition and density. In addition, variable amounts of organic soil, roots, wood, and asphalt were noted in the fill samples. Existing fill that was not placed with strict moisture, density, and gradation control presents risk of unpredictable settlement that may result in poor performance of floor slabs and foundations. Due to these risks, the existing fill as well as the underlying buried organic soil should be entirely removed from within the proposed building footprint and replaced with Structural Fill. We anticipate that the removal will extend up to depths of about 8 feet. The removal may extend to greater depths at locations not explored by LGCI. Laterally, the removal should extend beyond the proposed building footprint a distance equal to the distance between the bottom of the proposed footings and the top of the natural sand and gravel, or 5 feet, whichever is greater.
- The subgrade of footings should be prepared in accordance with the recommendations in Section 4.1.
- Within paved areas, the existing fill and the buried organic soil should be removed to the top of the natural sand and gravel or to a depth of 18 inches beneath the bottom of the proposed pavement. Where peat is exposed, the peat should be removed. Where existing fill or buried organic soil are exposed, the existing fill or buried organic soil deeper than 18 inches beneath the bottom of the proposed pavement can remain in place provided these materials are firm and unyielding following proofrolling as described in Section 4.1.

##### **3.1.2 Shallow Footings and Slabs-on-Grade**

Based on the results of the borings, the subsurface conditions are suitable to support shallow spread and continuous footings bearing on Structural Fill placed directly on top of the sand and gravel layer after entirely removing the asphalt, the surficial topsoil, buried organic soil, and the existing fill. Our recommendation for net allowable bearing capacity in the sand and



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gravel is presented in Section 3.2.1. Our estimates for settlement are presented in Section 3.2.2. The proposed slab may be designed as a slab-on-grade. Our concrete slab considerations are presented in Section 3.3. Section 4.1 provides recommendations for preparation of subgrades.

### **3.1.3 Shallow Rock**

Our borings generally indicated that the top of rock was deeper than the anticipated bottom of the footings. However, the rock could be encountered locally at elevations that are higher than shown in our borings. Therefore, we recommend that the project documents include a contingency for some rock removal in cut areas and for deep utilities.

## **3.2 Foundation Recommendations**

### **3.2.1 Footing Design**

- We recommend entirely removing the asphalt, surficial topsoil, buried organic soil, and the existing fill from within the proposed building footprint as described in Section 3.1.1.
- We recommend supporting the proposed building on spread footings bearing on Structural Fill placed directly on the natural sand and gravel.
- We recommend designing the proposed footings using a net allowable bearing pressure of 5 kips per square foot (ksf). We recommend that the footings bear on a minimum of 6 inches of Structural Fill placed directly on top of the natural sand and gravel or on rock. The Structural Fill should extend at least 1 foot laterally beyond the limits of the footings.
- Footing subgrades should be prepared in accordance with the recommendations in Section 4.1.
- Foundations should be designed in accordance with The Commonwealth of Massachusetts State Building Code 780 CMR, Ninth Edition (MSBC 9<sup>th</sup> Edition).
- Exterior footings and footings in unheated areas should be placed at a minimum depth of 4 feet below the final exterior grade to provide adequate frost protection. Interior footings in heated areas may be designed and constructed at a minimum depth of 2 feet below finished floor grades.
- Wall footings should be designed and constructed with continuous, longitudinal steel reinforcement for greater bending strength to span across small areas of loose or soft soils that may go undetected during construction.
- A representative of LGCI should be engaged to observe that the subgrade has been prepared in accordance with our recommendations.



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**3.2.2 Settlement Estimates**

Based on our experience with similar soils and designs using a net allowable bearing pressure of 5 ksf, we anticipate that the total settlement will be approximately 1 inch, and that the differential settlement of the footings will be 3/4 inch or less over a distance of 25 feet. We believe that total and differential settlements of this magnitude are tolerable for a similar structure. However, the tolerance of the proposed structure to the predicted total and differential settlements should be assessed by the structural engineer. Due to the granular nature of the soils at the site, we anticipate that most of the estimated settlement will occur during or shortly after construction.

**3.3 Concrete Slab Considerations**

**3.3.1 Slabs-on-Grade**

- Floor slabs should be constructed as slabs-on-grade bearing on a minimum of 12 inches of Structural Fill placed directly on top of the natural sand and gravel or rock. The subgrade of the slabs should be prepared as described in Section 4.1.
- To reduce the potential for dampness in the proposed floor slab, the project architect may consider placing a vapor barrier beneath the floor slab. The vapor barrier should be protected from puncture during the placement of the proposed slab reinforcement.
- For the design of the floor slab bearing on the materials described above, we recommend using a modulus of subgrade reaction,  $k_{s1}$ , of 100 tons per cubic foot (pcf). Please note that the values of  $k_{s1}$  are for a 1 x 1 square foot area. These values should be adjusted for larger areas using the following expression:

$$\text{Modulus of Subgrade Reaction } (k_s) = k_{s1} * \left( \frac{B+1}{2B} \right)^2$$

where:

- $k_s$  = Coefficient of vertical subgrade reaction for loaded area;
- $k_{s1}$  = Coefficient of vertical subgrade reaction for a 1 x 1 square foot area; and
- B = Width of area loaded, in feet.

Please note that cracking of slabs-on-grade can occur as a result of heaving or compression of the underlying soil, but also as a result of concrete curing stresses. To reduce the potential for cracking, the precautions listed below should be closely followed during the construction of all slabs-on-grade:



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- Construction joints should be provided between the floor slab and the walls and columns in accordance with the American Concrete Institute (ACI) requirements, or other applicable code.
- The backfill in interior utility trenches should be properly compacted.
- In order for the movement of exterior slabs not to be transmitted to foundations or superstructures, exterior slabs, such as approach slabs and sidewalks, should be isolated from the superstructure.

### **3.3.2 Under-slab Drains and Waterproofing**

Based on the groundwater level observed in the borings, we believe that an under-slab drainage system will not be required if the proposed slab is designed with an elevation that matches the existing grades or higher. If the proposed building requires cuts, an under-slab drainage system will likely be required. LGCI will revise this recommendation after the proposed building's finished floor elevation (FFE) is established and additional explorations are performed at the site.

If the proposed building includes an elevator pit or other structure that extends beneath the FFE, such elevator pit or other structure should be designed to be waterproof.

### **3.4 Seismic Design**

Based on the SPT N-values from the borings, we estimate that the seismic criteria for the site are as follows:

- |   |        |
|---|--------|
| • Site Class:   | D      |
| • Spectral Response Acceleration at short period ( $S_s$ ): | 0.195g |
| • Spectral Response Acceleration at 1 sec. ( $S_1$ ):       | 0.065g |
| • Site Coefficient $F_a$ (Table 1613.5.3(1)):               | 1.6    |
| • Site Coefficient $F_v$ (Table 1613.5.3(2)):               | 2.4    |
| • Adjusted spectral response $S_{MS}$ :                     | 0.312g |
| • Adjusted spectral response $S_{M1}$ :                     | 0.156g |

Based on the SPT data from the borings, the site soils are not susceptible to liquefaction.

### **3.5 Lateral Pressures for Wall Design**

#### **3.5.1 Lateral Earth Pressures**

Lateral earth pressures for the design of below-grade walls, if any, and site retaining walls are provided below.





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Coefficient of Active Earth Pressure, $K_A$ :	0.31
Coefficient of At-Rest Earth Pressure, $K_o$ :	0.47
Coefficient of Passive Earth Pressure, $K_p$ :	3.3
Total Unit Weight $\gamma$ :	125 pcf

Note: The values in the table are based on a friction angle for the backfill of 32 degrees and neglecting friction between the backfill and the wall. The design active and passive coefficients are based on horizontal surfaces (non-sloping backfill) on both the active and passive sides, and on a vertical wall face.

- Exterior walls of below-ground spaces and other retaining walls braced at the top to restrain movement/rotation, should be designed using the “at-rest” pressure coefficient.
- We recommend placing free-draining material within the 3 feet immediately behind retaining walls.
- We recommend providing weep holes at the bottom of site retaining walls, including temporary SOE systems, to promote drainage where possible. Alternatively, a pipe should be placed at the base of the wall to collect the water. Groundwater collected by the wall drains should be discharged into a lower area if gravity flow is possible.
- Passive earth pressures should only be used at the toe of the wall where special measures or provisions are taken to prevent the disturbance or future removal of the soil on the passive side of the wall, or in areas where the wall design includes a key. In any case, the passive pressures should be neglected in the top 4 feet.
- Where a permanent vertical uniform load will be applied to the active side immediately adjacent to the wall, a horizontal surcharge load equal to half of the uniform vertical load should be applied over the height of the wall. At a minimum, a temporary lateral construction surcharge load of 100 pounds per square foot (psf) should be applied uniformly over the height of the wall.
- We recommend using an ultimate friction factor of 0.5 between the sand and gravel and the bottom of the wall. Below-grade walls should be designed for minimum factors of safety of 1.5 for sliding and 2.0 for overturning.

**3.5.2 Seismic Pressures**

In accordance with the Massachusetts State Building Code, 9<sup>th</sup> Edition (MSBC 9<sup>th</sup> Edition), Section 1610, a lateral earthquake force equal to  $0.100 \cdot (S_s) \cdot (F_a) \cdot \gamma \cdot H^2$  should be included in the design of the walls (for horizontal backfill), where  $S_s$  is the maximum considered earthquake spectral response acceleration (defined in Section 3.4),  $F_a$  is the site coefficient (defined in Section 3.4),  $\gamma$  is the total unit weight of the soil backfill, and  $H$  is the height of the wall.



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The earthquake force should be distributed as an inverted triangle over the height of the wall. In accordance with MSBC 9<sup>th</sup> Edition, Section 1610.2, a load factor of 1.43 should be applied to the earthquake force for wall strength design.

Temporary surcharges should not be included when designing for earthquake loads. Surcharge loads applied for extended periods of time should be included in the total static lateral soil pressure, and their earthquake lateral force should be computed and added to the force determined above.

### **3.5.3 Perimeter Drains**

- We recommend that free-draining material be placed within 3 feet of the exterior of walls of below-ground spaces, if any. To reduce the potential for dampness in below-ground spaces, proposed below-ground walls should be damp-proofed.
- We recommend that drains be provided behind the exterior of walls of below-ground spaces. The drains should consist of 6-inch perforated PVC pipes installed with the slots facing down. Perimeter drains should be installed at the bottom of the wall in 18 inches of crushed stone wrapped in a geotextile for separation and filtration.

To the extent possible, groundwater collected by the wall drains should be discharged in a lower area if gravity flow is possible. In any case, the groundwater collected by the wall drains should be discharged in accordance with municipal, state, and other applicable standards.

## **3.6 Parking Lots, Driveways, and Sidewalks**

### **3.6.1 General**

The subsurface conditions encountered at the site are generally suitable to support the proposed driveways, parking lots, and sidewalks after preparation of the subgrade as described in Section 4.1.

- We recommend entirely removing the asphalt and surficial topsoil from within the footprint of the proposed driveways and parking lots.
- The existing fill and buried organic soil should be improved in accordance with the recommendations in Section 4.1.
- Cobbles and boulders should be removed to at least 18 inches below the bottom of the pavement.



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### **3.6.2 Sidewalks**

- Sidewalks should be placed on a minimum of 12 inches of Structural Fill with less than 5 percent fines.
- To reduce the potential for heave caused by surface water penetrating under the sidewalk, the joints between sidewalk concrete sections should be sealed with a waterproof compound. The sidewalks should be sloped away from the building or other vertical surfaces to promote flow of water. To the extent possible, roof leaders should not discharge onto sidewalk surfaces.

### **3.6.3 Pavement Sections**

A typical, minimum, standard-duty pavement section that could be used for parking areas is as follows:

- 1.5" Asphalt "Top Course"
- 2.0" Asphalt "Base Course"
- 8" Processed Gravel for Sub-Base (MassDOT M1.03.1)

A typical, minimum, heavy-duty pavement section that could be used for areas of heavy truck traffic is as follows:

- 2.0" Asphalt "Top Course"
- 2.5" Asphalt "Base Course"
- 12" Processed Gravel for Sub-Base (MassDOT M1.03.1)

The pavement sections shown above represent minimum thicknesses representative of typical local construction practices for similar use. Periodic maintenance should be anticipated.

Pavement material types and construction procedures should conform to specifications of the "Standard Specifications for Highways and Bridges," prepared by the Commonwealth of Massachusetts Department of Public Works and dated 2023.

Areas to receive relatively highly concentrated, sustained loads such as dumpsters, loading areas, and storage bins are typically installed over a rigid pavement section to distribute concentrated loads and reduce the possibility of high stress concentrations on the subgrade. Typical rigid pavement sections consist of 6 inches of concrete placed over a minimum of 12 inches of subbase material.



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### **3.7 Underground Utilities**

Boulders at the bottom of utility trenches should be removed to at least 12 inches below the pipe invert and the resulting excavation should be backfilled with suitable backfill. Utilities should be placed on suitable bedding material in accordance with the manufacturer's recommendations. "Cushion" material should be placed, by hand, above the utility pipe in maximum 6-inch lifts. The lift should be compacted by hand to avoid damage to the utility. Where the bedding/cushion material consists of crushed stone, it should be wrapped in a geotextile fabric.

Compaction of fill in utility trenches should be in accordance with our recommendations in Section 4.3. To reduce the potential for damage to utilities, placement and compaction of fill immediately above the utilities should be performed in accordance with the manufacturer's recommendations.



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## 4. CONSTRUCTION CONSIDERATIONS

### 4.1 Subgrade Preparation

- Asphalt, surficial topsoil, buried organic soil, existing fill, abandoned utilities, buried foundations, and other below-ground structures should be entirely removed from within the footprint of the proposed building and site structures, including site retaining walls, and exterior stairs, if any, before the start of foundation work.
- Tree stumps, root balls, and roots larger than ½ inch in diameter should be removed and the cavities filled with suitable material and compacted in accordance with the requirements in Section 4.3 of this report.
- Cobbles and boulders should be removed at least 6 inches from beneath footings and 18 inches beneath the bottom of slabs and paved areas. The resulting excavations should be backfilled with compacted Structural Fill under the building and with Ordinary Fill under the subbase of paved areas.
- The bottom of the excavation resulting from the removal of the existing fill or natural soil should be compacted with a dynamic vibratory compactor imparting a minimum of 40 kips of force to the subgrade.
- The base of the footing excavations in granular soil should be compacted with a dynamic vibratory compactor weighing at least 200 pounds and imparting a minimum of 4 kips of force to the subgrade.
- After the surficial materials are removed to a depth of 18 inches within the proposed paved areas in accordance with the recommendations in Section 3.1, the exposed existing fill and buried organic soil deeper than 18 inches beneath the bottom of the proposed pavement should be improved by compacting the exposed surface with at least six (6) passes of a vibratory roller compactor imparting a dynamic effort of at least 40 kips. Where soft zones are observed or peat is exposed, the soft soil or peat should be removed, and the grade should be restored using Ordinary Fill to the bottom of the proposed subbase layer. If pumping of the existing fill or subsoil deeper than 18 inches beneath the bottom of the proposed pavement is observed, the soft and/or pumping material should be removed and replaced.
- Fill placed within the footprint of the proposed building should meet the gradation and compaction requirements of Structural Fill, shown in Section 4.3.1.
- Fill placed under the subbase of paved areas should meet the gradation and compaction requirements of Ordinary Fill, shown in Section 4.3.2.
- Fill placed in the top 12 inches beneath sidewalks should consist of Structural Fill with less than 5 percent fines.



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- Loose or soft soils identified during the compaction of the footing or floor slab subgrades should be excavated to a suitable bearing stratum, as determined by the representative of LGCI. Grades should be restored by backfilling with Structural Fill or crushed stone.
- When crushed stone is required in the drawings or is used for the convenience of the contractor, it should be wrapped in a geotextile fabric for separation except where introduction of the geotextile fabric promotes sliding. A geotextile fabric should not be placed between the bottoms of the footings and the crushed stone.
- An LGCI representative should observe the exposed subgrades prior to fill and concrete placement to verify that the exposed bearing materials are suitable for the design soil bearing pressure. If soft or loose pockets are encountered in the footing excavations, the soft or loose materials should be removed and the bottom of the footing should be placed at a lower elevation on firm soil, or the resulting excavation should be backfilled with Structural Fill, or crushed stone wrapped in a filter fabric.

#### **4.2 Subgrade Protection**

The onsite fill and natural soils are frost susceptible. If construction takes place during freezing weather, special measures should be taken to prevent the subgrade from freezing. Such measures should include the use of heat blankets or excavating the final 6 inches of soil just before pouring the concrete. Footings should be backfilled as soon as possible after footing construction. Soil used as backfill should be free of frozen material, as should the ground on which it is placed. Filling operations should be halted during freezing weather.

Materials with high fines contents are typically difficult to handle when wet, as they are sensitive to moisture content variations. Subgrade support capacities may deteriorate when such soils become wet and/or disturbed. The contractor should keep exposed subgrades properly drained and free of ponded water. Subgrades should be protected from machine and foot traffic to reduce disturbance.

#### **4.3 Fill Materials**

Structural Fill and Ordinary Fill should consist of inert, hard, durable sand and gravel free from organic matter, clay, surface coatings, and deleterious materials, and should conform to the gradation requirements shown below.

##### **4.3.1 Structural Fill**

The Structural Fill should have a plasticity index of less than 6 and should meet the gradation requirements shown below. Structural Fill should be compacted in maximum 9-inch loose lifts to at least 95 percent of the Modified Proctor maximum dry density (ASTM D1557), with moisture contents within  $\pm 2$  percentage points of the optimum moisture content.



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Sieve Size Percent	Passing by Weight
3 inches	100
1 ½ inch	80-100
½ inch	50-100
No. 4	30-85
No. 20	15-60
No. 60	5-35
No. 200*	0-10

\* 0 – 5 for the top 12 inches under sidewalks, exterior slabs, pads, and walkways

**4.3.2 Ordinary Fill**

Ordinary Fill should have a plasticity index of less than 6 and should meet the gradation requirements shown below. Ordinary Fill should be compacted in maximum 9-inch loose lifts to at least 95 percent of the Modified Proctor maximum dry density (ASTM D1557), with moisture contents within ±2 percentage points of the optimum moisture content.

Sieve Size Percent	Passing by Weight
6 inches	100
1 inch	50-100
No. 4	20-100
No. 20	10-70
No. 60	5-45
No. 200	0-20

**4.4 Reuse of Onsite Materials**

Based on our field observations and the results of the grain-size analyses, some of the onsite soils free of organic matter may be used as Ordinary Fill.

The contractor should avoid mixing the reusable soils with fine-grained and/or organic soils. The soils to be reused should be excavated and stockpiled separately for compliance testing. Soils with 20 percent or greater fines contents are generally very sensitive to moisture content variations and are susceptible to frost. Such soils are very difficult to compact at moisture contents that are much higher or much lower than the optimum moisture content determined from the laboratory compaction test. Therefore, strict moisture control should be implemented during the compaction of onsite soils with fines contents of 20 percent or greater. The contractor should be prepared to remove and replace such soils if pumping occurs.

If needed, the onsite material could be blended with imported rock and processed in a crusher to produce fill meeting the gradation requirements of the materials in Section 4.3. Suitable imported



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material and amended/improved materials should be stockpiled separately from unimproved onsite soils.

Materials to be used as fill should first be tested for compliance with the applicable gradation specifications.

#### **4.5 Groundwater Control Procedures**

Based on the groundwater levels measured in our borings, we anticipate that groundwater control procedures will be needed during construction. We anticipate that filtered sump pumps installed in a series of sump pump pits located at least 3 feet below the bottom of planned excavations and a few deep sump pumps may be sufficient to handle groundwater and surface runoff that may enter the excavation during wet weather. The contractor should be prepared to use multiple sump pumps to maintain a dry excavation during the removal of the existing fill.

The contractor should be permitted to employ whatever commonly accepted means and practices are necessary to maintain the groundwater level below the bottom of the excavation and to maintain a dry excavation during wet weather. Groundwater levels should be maintained at a minimum of 1 foot below the bottom of the excavations during construction. The placement of reinforcing steel or concrete in standing water should not be permitted.

To reduce the potential for sinkholes developing over sump pump pits after the sump pumps are removed, the crushed stone placed in the sump pump pits should be wrapped in a geotextile fabric. Alternatively, the crushed stone should be entirely removed after the sump pump is no longer in use, and the sump pump pit should be restored with suitable backfill.

#### **4.6 Temporary Excavations**

All excavations to receive human traffic should be constructed in accordance with OSHA guidelines.

The site soils should generally be considered Type "C" and should have a maximum allowable slope of 1.5 Horizontal to 1 Vertical (1.5H:1V) for excavations less than 20 feet deep. Deeper excavations, if needed, should have shoring designed by a professional engineer.

The contractor is solely responsible for designing and constructing stable, temporary excavations and should shore, slope, or bench the sides of the excavations as required to maintain the stability of the excavation sides and bottom.





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## **5. RECOMMENDATIONS FOR FUTURE WORK**

We recommend engaging LGCI to perform the following services:

- Perform additional explorations at the site and update our geotechnical report.
- Prepare Earth Moving Specifications and review the geotechnical aspect of contract drawings.
- Review contractor submittals and Requests for Information (RFIs);
- Provide a field representative during construction to observe the removal of the unsuitable soil, and to observe the subgrade of footings and slabs.



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**6. REPORT LIMITATIONS**

Our analyses and recommendations are based on project information provided to us at the time of this report. If changes to the type, size, and location of the proposed structures or to the site grading are made, the recommendations contained in this report shall not be considered valid unless the changes are reviewed, and the conclusions and recommendations modified in writing by LGCI. LGCI cannot accept responsibility for designs based on our recommendations unless we are engaged to review the final plans and specifications to determine whether any changes in the project affect the validity of our recommendations, and whether our recommendations have been properly implemented in the design.

It is not part of our scope to perform a more detailed site history; therefore, we have not explored for or researched the locations of buried utilities or other structures in the area of the proposed construction. Our scope did not include environmental services or services related to moisture, mold, or other biological contaminants in or around the site.

The recommendations in this report are based in part on the data obtained from the subsurface explorations. The nature and extent of variations between explorations may not become evident until construction. If variations from anticipated conditions are encountered, it may be necessary to revise the recommendations in this report. We cannot accept responsibility for designs based on recommendations in this report unless we are engaged to 1) make site visits during construction to check that the subsurface conditions exposed during construction are in general conformance with our design assumptions and 2) ascertain that, in general, the work is being performed in compliance with the contract documents.

Our report has been prepared in accordance with generally accepted engineering practices and in accordance with the terms and conditions set forth in our agreement. No other warranty, expressed or implied, is made. This report has been prepared for the exclusive use of Ai3 Architects LLC for the Proposed Galvin Middle School in Canton, Massachusetts as conceived at this time.



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## 7. REFERENCES

In addition to the references included in the text of the report, we used the following references:

American Society of Civil Engineers, “Minimum Design Loads and Associated Criteria for Buildings and Other Structures,” ASCE/SEI 7-16, 2017.

The Commonwealth of Massachusetts (2017), “The Massachusetts State Building Code, Ninth (9<sup>th</sup>) Edition.”

The Department of Labor, Occupational Safety and Health Administration (1989), “Occupational Safety and Health Standards - Excavations; Final Rule,” 20 CFR Part 1926, Subpart P.

USGS Canton, MA topographic map from <http://mapserver.mytopo.com>.



**Table 1 - Summary of LGCI's Borings**  
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Boring No.	Ground Surface Elevation (ft.) <sup>1</sup>	Groundwater <sup>2</sup> Depth / El. (ft.)	Bottom of Asphalt / Topsoil Depth / El. (ft.)	Bottom of Fill Depth / El. (ft.)	Bottom of Buried Organic Soil Depth / El. (ft.)	Bottom of Sand and Gravel Depth / El. (ft.)	Bottom of Weathered Rock Depth / El. (ft.)	Top of Rock Depth / El. (ft.)	Bottom of Boring Depth / El. (ft.)
B-1	72.0	4.0 / <b>68.0</b>	<b>0.5</b> / <b>71.5</b>	4.0 / <b>68.0</b>	7.5 / 64.5	17.9 / <b>54.1</b>	- / -	- / -	17.9 <sup>3</sup> / <b>54.1</b>
B-2	70.0	5.7 / <b>64.3</b>	0.3 / <b>69.7</b>	4.0 / <b>66.0</b>	- / -	17.6 / <b>52.4</b>	- / -	- / -	17.6 <sup>3</sup> / <b>52.4</b>
B-3	81.0	6.0 / <b>75.0</b>	<b>1.0</b> / <b>80.0</b>	2.0 / <b>79.0</b>	- / -	20.1 / <b>60.9</b>	- / -	- / -	20.1 <sup>3</sup> / <b>60.9</b>
B-4	82.0	13.5 / <b>68.5</b>	<b>0.5</b> / <b>81.5</b>	6.0 / <b>76.0</b>	- / -	20.0 / <b>62.0</b>	- / -	- / -	20.0 <sup>3</sup> / <b>62.0</b>
B-5	77.0	3.5 / <b>73.5</b>	0.3 / <b>76.7</b>	2.0 / <b>75.0</b>	- / -	24.0 / <b>53.0</b>	34.3 / <b>42.7</b>	34.3 / <b>42.7</b>	45.0 <sup>5</sup> / <b>32.0</b>
B-6	72.0	5.8 / <b>66.2</b>	0.3 / <b>71.7</b>	2.0 / <b>70.0</b>	- / -	20.0 / <b>52.0</b>	22.0 / <b>50.0</b>	- / -	22.0 <sup>4</sup> / <b>50.0</b>
B-7	69.0	5.9 / <b>63.1</b>	0.3 / <b>68.7</b>	2.0 / <b>67.0</b>	- / -	22.0 / <b>47.0</b>	- / -	- / -	22.0 <sup>3</sup> / <b>47.0</b>
B-8	63.0	8.7 / <b>54.3</b>	<b>1.0</b> / <b>62.0</b>	4.0 / <b>59.0</b>	- / -	22.0 / <b>41.0</b>	- / -	- / -	22.0 <sup>3</sup> / <b>41.0</b>
B-9	64.0	6.0 / <b>58.0</b>	<b>0.5</b> / <b>63.5</b>	4.0 / <b>60.0</b>	- / -	10.4 / <b>53.6</b>	- / -	- / -	10.4 <sup>3</sup> / <b>53.6</b>
B-10	69.0	12.5 / <b>56.5</b>	<b>0.3</b> / <b>68.7</b>	2.0 / <b>67.0</b>	- / -	20.7 / <b>48.3</b>	- / -	- / -	20.7 <sup>3</sup> / <b>48.3</b>
B-11	74.0	6.0 / <b>68.0</b>	<b>0.3</b> / <b>73.7</b>	3.0 / <b>71.0</b>	- / -	17.0 / <b>57.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>57.0</b>
B-12	76.0	6.0 / <b>70.0</b>	<b>1.0</b> / <b>75.0</b>	6.0 / <b>70.0</b>	- / -	13.6 / <b>62.4</b>	- / -	- / -	13.6 <sup>3</sup> / <b>62.4</b>
B-13	80.0	14.0 / <b>66.0</b>	<b>0.5</b> / <b>79.5</b>	2.0 / <b>78.0</b>	- / -	22.0 / <b>58.0</b>	- / -	- / -	22.0 <sup>3</sup> / <b>58.0</b>
B-14	81.0	6.0 / <b>75.0</b>	0.3 / <b>80.7</b>	4.0 / <b>77.0</b>	- / -	17.0 / <b>64.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>64.0</b>
B-15	78.0	8.5 / <b>69.5</b>	<b>0.5</b> / <b>77.5</b>	6.0 / <b>72.0</b>	- / -	17.0 / <b>61.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>61.0</b>
B-16	77.0	8.5 / <b>68.5</b>	0.3 / <b>76.7</b>	2.0 / <b>75.0</b>	- / -	17.0 / <b>60.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>60.0</b>
B-17	73.0	8.6 / <b>64.4</b>	<b>0.5</b> / <b>72.5</b>	2.0 / <b>71.0</b>	- / -	17.0 / <b>56.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>56.0</b>
B-18	73.0	3.5 / <b>69.5</b>	0.3 / <b>72.7</b>	4.0 / <b>69.0</b>	8.0 / 65.0	16.0 / <b>57.0</b>	- / -	- / -	16.0 <sup>3</sup> / <b>57.0</b>
B-19	70.0	3.7 / <b>66.3</b>	0.3 / <b>69.7</b>	6.0 / <b>64.0</b>	- / -	17.0 / <b>53.0</b>	- / -	- / -	17.0 <sup>3</sup> / <b>53.0</b>
B-20-OW	69.0	5.0 / <b>64.0</b>	<b>1.0</b> / <b>68.0</b>	2.0 / <b>67.0</b>	- / -	22.0 / <b>47.0</b>	- / -	- / -	22.0 <sup>3</sup> / <b>47.0</b>

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

2. Groundwater was measured during drilling, at the end of drilling, or based on sample moisture whichever is shallower.

3. Boring terminated in the sand and gravel layer.

4. Boring terminated in the weathered rock layer.

5. Boring terminated in rock.


6. "-" means groundwater or layer was not encountered.

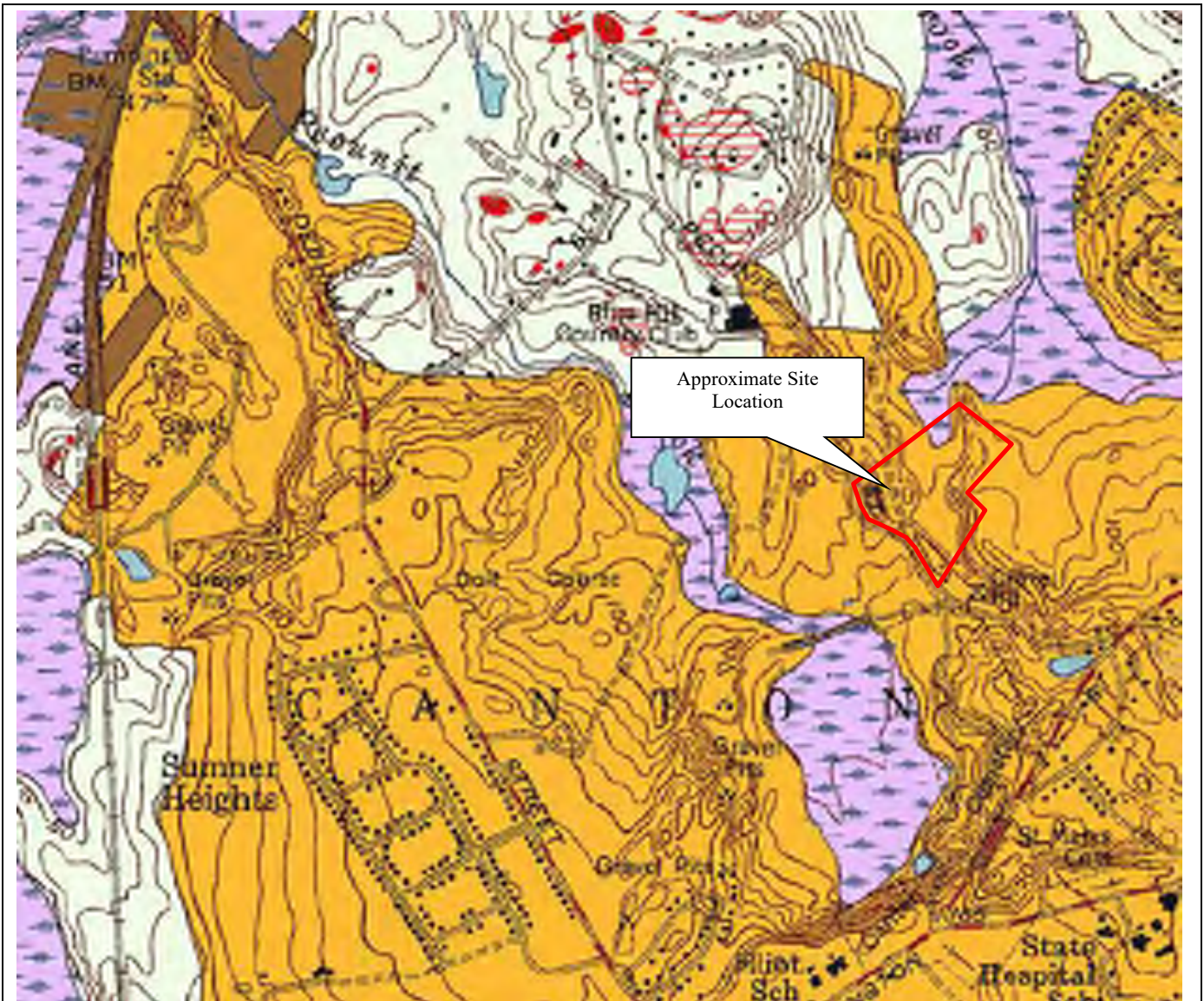


Contour Intervals: 3 meters

0.4 mi

Note: Figure based on USA Topo Maps of Canton, MA obtained from <https://viewer.nationalmap.gov/>

Client: Ai3 Architects LLC	Project: Proposed Galvin Middle School	Figure 1 – Site Location Map	
 <b>LGCI</b> Lahlaf Geotechnical Consulting, Inc.	Project Location: Canton, MA	LGCI Project No.: 2329	Date: Sept. 2023




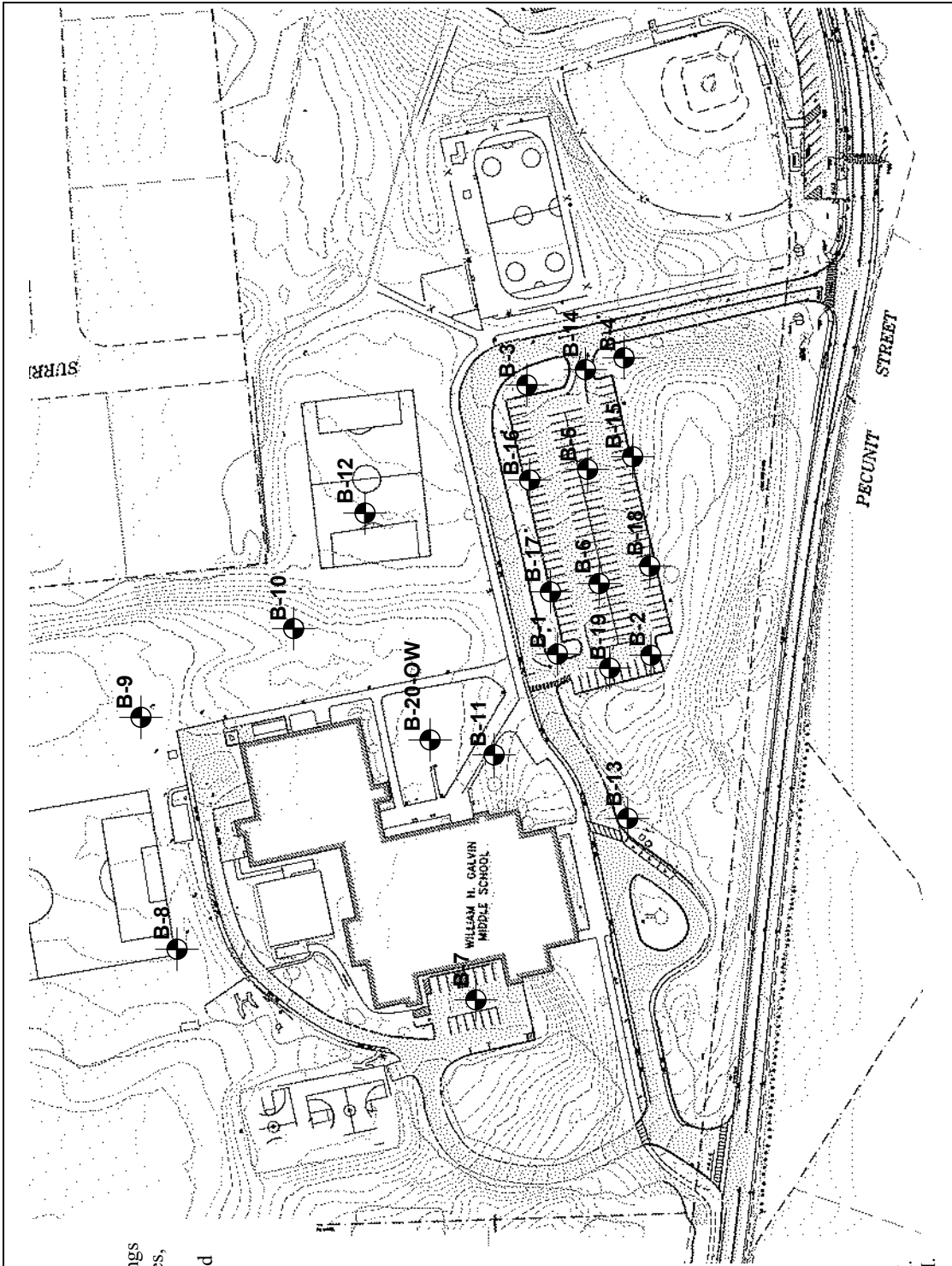
**Coarse deposits** consist of gravel deposits, sand and gravel deposits, and sand deposits, not differentiated in this report. Gravel deposits are composed of at least 50 percent gravel-size clasts; cobbles and boulders predominate; minor amounts of sand occur within gravel beds, and sand comprises a few separate layers. Gravel layers generally are poorly sorted, and bedding commonly is distorted and faulted due to postdepositional collapse related to melting of ice. Sand and gravel deposits occur as mixtures of gravel and sand within individual layers and as layers of sand alternating with layers of gravel. Sand and gravel layers generally range between 25 and 50 percent gravel particles and between 50 and 75 percent sand particles. Layers are well sorted to poorly sorted; bedding may be distorted and faulted due to postdepositional collapse. Sand deposits are composed mainly of very coarse to fine sand, commonly in well-sorted layers. Coarser layers may contain up to 25 percent gravel particles, generally granules and pebbles; finer layers may contain some very fine sand, silt, and clay

**Swamp deposits**—Organic muck and peat that contain minor amounts of sand, silt, and clay, are stratified and poorly sorted, and occur in swamps and freshwater marshes, in kettle depressions, or in poorly drained areas. Unit is shown only where deposits are estimated to be at least 3 ft thick; most deposits are less than 10 ft thick. Swamp deposits overlie glacial deposits or bedrock. They locally overlie glacial till even where they occur within thin glacial meltwater deposits




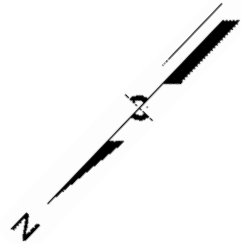
Note: Figure based on map titled: "Surficial Materials Map of the Norwood Quadrangle, Massachusetts," prepared by Stone, B.D., and DiGiacomo-Cohen, M.L., Scientific Investigation Map 3402, Quadrangle 116 – Norwood, 2018.

Client: Ai3 Architects LLC	Project: Proposed Galvin Middle School	Figure 2 – Surficial Geologic Map	
 <b>LGCI</b> Lahlaf Geotechnical Consulting, Inc.	Project Location: Canton, MA	LGCI Project No.: 2329	Date: Sept. 2023



**Legend**


 Approximate location of borings advanced by Northern Drill Services, Inc. (NDS) of Northborough, MA between August 9 and 15, 2023, and observed by Lahlaf Geotechnical Consulting, Inc. (LGCI).



Approximate Scale (ft)



**Note**  
 Figure based on drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunut Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Client:  Ai3 Architects LLC   Lahlaf Geotechnical Consulting, Inc.	Project:  Proposed Galvin Middle School  Project Location: Canton, MA	Figure 3 – Boring Location Plan  LGCI Project No.: 2329  Date: Sept. 2023
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**Appendix A – LGCI’s Boring Logs**





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# BORING LOG

**B-1**  
 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/10/23	<b>DATE COMPLETED:</b> 8/10/23
<b>BORING LOCATION:</b> Near northwestern corner of southern parking lot	
<b>COORDINATES:</b> NA	
<b>SURFACE EI.:</b> 72 ft. (see note 1)	<b>TOTAL DEPTH:</b> 17.9 ft.
<b>WEATHER:</b> 70's / Sunny	
<b>GROUNDWATER LEVELS:</b>	
▽ <b>DURING DRILLING:</b> 4.0 ft. / El. 68.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 4.2 ft. / El. 67.8 ft. ▽ <b>OTHER:</b> -	
<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.	
<b>DRILLING FOREMAN:</b> Tim Tucker	
<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)	
<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig	
<b>HAMMER TYPE:</b> Automatic	
<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.	
<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.	
<b>CORE BARREL SIZE:</b> NA	
<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL	

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
		0					Topsoil	0.5	S1 - Top 6": Topsoil
	70.0	2	S1	2-8-35-22 (43)	24/10		Fill	71.5	Bot. 4": Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 25-30% fine to coarse subangular gravel, trace of organic soil, trace of roots, brown, moist
			S2	36-24-27-20 (51)	24/24			4.0	S2 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 20-25% fine to coarse subrounded gravel, trace of organic soil, brown, moist
	5	4	S3	10-3-10-18 (13)	24/11		Buried Organic Soil	68.0	S3 - Silty SAND (SM), fine to medium, 30-35% fines, trace of organic soil, black, wet
			S4	10-10-12-16 (22)	24/24			7.5	S4 - Top 18": SILT (ML), slightly plastic, 10-15% fine sand, 5-10% fine subangular gravel, trace of roots, gray, wet
		8					Sand and Gravel	64.5	Bot. 6": Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse subrounded gravel, gray, wet
	10	10	S5	15-14-12-12 (26)	24/3				S5 - Similar to S4 Bot. 6", light brown
	60.0	12							
	15	15	S6	18-44-59-62 (103)	24/19				S6 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subangular gravel, light brown, wet
	55.0	17							
	17.9	17.9	S7	100/2"	2/0	1		17.9	S7 - No recovery REMARK 1: Split spoon and auger refusal encountered at depth of 17.9 feet on possible rock or large boulder. Boring terminated. Bottom of borehole at 17.9 feet. Borehole backfilled with drill cuttings.
	20								
	50.0								
	25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

**BORING LOG****B-2**  
PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/10/23	<b>DATE COMPLETED:</b> 8/10/23
<b>BORING LOCATION:</b> Near southwestern corner of southern parking lot	<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.
<b>COORDINATES:</b> NA	<b>DRILLING FOREMAN:</b> Tim Tucker
<b>SURFACE EL.:</b> 70 ft. (see note 1)	<b>TOTAL DEPTH:</b> 17.6 ft.
<b>WEATHER:</b> 70's / Cloudy	<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)
<b>GROUNDWATER LEVELS:</b>	<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig
<input type="checkbox"/> <b>DURING DRILLING:</b> 6.0 ft. / El. 64.0 ft. Based on sample moisture <input checked="" type="checkbox"/> <b>AT END OF DRILLING:</b> 5.7 ft. / El. 64.3 ft. <input type="checkbox"/> <b>OTHER:</b> -	<b>HAMMER TYPE:</b> Automatic
	<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.
	<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.
	<b>CORE BARREL SIZE:</b> NA
	<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5	S1	16-16-17 (33)	18/10		Asphalt	Top 3": Asphalt
		2	S2	28-28-29-28 (57)	24/9		Fill	S1 - Well Graded GRAVEL with Sand (GW), fine to coarse, subangular, 0-5% fines, 35-40% fine to coarse sand, trace of asphalt, gray, moist S2 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 20-25% fine to coarse subangular gravel, gray, moist
5	65.0	4	S3	19-31-20-46 (51)	24/15			S3 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subangular gravel, light brown, moist
		6	S4	40-42-28-18 (70)	24/17			S4 - Similar to S3, trace of weathered rock, wet
		8						
10	60.0	10	S5	8-9-10-10 (19)	24/13		Sand and Gravel	S5 - Well Graded GRAVEL with Sand (GW), fine to coarse, subrounded, 0-5% fines, 20-25% medium to coarse sand, light brown, wet
		12						
15	55.0	15	S6	21-31-37-40 (68)	24/20			S6 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse subangular gravel, light brown, wet
		17						
		17.6	S7	100/1"	1/0	1		REMARK 1: Split spoon and auger refusal encountered at depth of 17.6 feet on possible rock or large boulder. Boring terminated. S7 - No recovery Bottom of borehole at 17.6 feet. Borehole backfilled with drill cuttings.
20	50.0							
25	45.0							

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

**B-3**  
 PAGE 1 OF 1

**CLIENT:** Ai3 Architects LLC **PROJECT NAME:** Proposed Galvin Middle School  
**LGCI PROJECT NUMBER:** 2329 **PROJECT LOCATION:** Canton, MA

**DATE STARTED:** 8/15/23 **DATE COMPLETED:** 8/15/23 **DRILLING SUBCONTRACTOR:** Northern Drill Service, Inc.  
**BORING LOCATION:** Near northeastern corner of southern parking lot **DRILLING FOREMAN:** Tim Tucker  
**COORDINATES:** NA **DRILLING METHOD:** Hollow Stem Auger (3-1/4" I.D.)  
**SURFACE EI.:** 81 ft. (see note 1) **TOTAL DEPTH:** 20.1 ft. **DRILL RIG TYPE/MODEL:** Mobile B-53 ATV Rig  
**WEATHER:** 70's / Rainy **HAMMER TYPE:** Automatic  
**GROUNDWATER LEVELS:** **HAMMER WEIGHT:** 140 lb. **HAMMER DROP:** 30 in.  
 ▽ **DURING DRILLING:** 6.0 ft. / El. 75.0 ft. Based on sample moisture **SPLIT SPOON DIA.:** 1.375 in. I.D., 2 in. O.D.  
 ▼ **AT END OF DRILLING:** 6.2 ft. / El. 74.8 ft. **CORE BARREL SIZE:** NA  
 ▼ **OTHER:** - **LOGGED BY:** NP **CHECKED BY:** SL

Depth (ft.)	EI. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
80.0		0	S1	1-2-6-42 (8)	24/15		Topsoil	S1 - Top 12": Topsoil
							Fill	Bot. 3": Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subangular gravel, trace of roots, light brown, moist
2		2	S2	57-65-68-81 (133)	24/17			S2 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 35-40% fine to coarse subangular gravel, light brown, moist
4		4	S3	51-46-28-29 (74)	24/18			S3 - Similar to S2
5								▽ S4 - Silty GRAVEL with Sand (GM), fine to coarse, subangular, 15-20% fines, 15-20% medium to coarse sand, light brown, wet
75.0		6	S4	40-23-22-19 (45)	24/2			
8								
10		10	S5	12-12-12-19 (24)	24/16		Sand and Gravel	S5 - Silty SAND (SM), fine to coarse, 20-25% fines, 10-15% fine to coarse subangular gravel, light brown, wet
70.0		12						
15		15	S6	14-22-26-65 (48)	24/19			S6 - Silty SAND with Gravel (SM), fine to coarse, 25-30% fines, 15-20% fine to coarse subangular gravel, light brown, wet
65.0		17						
20		20.1	S7	100/1"	1/0			S7 - No recovery Bottom of borehole at 20.1 feet. Borehole backfilled with drill cuttings.
60.0								
25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

**BORING LOG****B-4**

PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/15/23	<b>DATE COMPLETED:</b> 8/15/23
<b>BORING LOCATION:</b> Near southeastern corner of southern parking lot	<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.
<b>COORDINATES:</b> NA	<b>DRILLING FOREMAN:</b> Tim Tucker
<b>SURFACE EL.:</b> 82 ft. (see note 1)	<b>TOTAL DEPTH:</b> 20 ft.
<b>WEATHER:</b> 70's / Rainy	<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)
<b>GROUNDWATER LEVELS:</b>	<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig
<input type="checkbox"/> <b>DURING DRILLING:</b> 15.0 ft. / El. 67.0 ft. Based on sample moisture <input checked="" type="checkbox"/> <b>AT END OF DRILLING:</b> 13.5 ft. / El. 68.5 ft. <input type="checkbox"/> <b>OTHER:</b> -	<b>HAMMER TYPE:</b> Automatic
	<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.
	<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.
	<b>CORE BARREL SIZE:</b> NA
	<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0					Topsoil	S1 - Top 6": Topsoil
		0.5						Bot. 7": Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subangular gravel, trace of organic soil, light brown, moist
80.0		2	S1	1-6-10-11 (16)	24/13		Fill	S2 - Silty SAND with Gravel (SM), fine to medium, 15-20% fines, 15-20% fine to coarse subrounded gravel, trace of organic soil, orange to brown, moist
		4	S2	14-34-16-15 (50)	24/12			S3 - Silty SAND (SM), fine to medium, 25-30% fines, 10-15% fine to coarse subrounded gravel, trace of organic soil, trace of roots, brown, moist
5		6	S3	2-3-6-15 (9)	24/17			
		6	S4	18-21-19-20 (40)	24/20		Sand and Gravel	S4 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 20-25% fine to coarse subrounded gravel, light brown, moist
		8						
10		10	S5	26-29-29-20 (58)	24/16			S5 - Similar to S4
		12						
15		15	S6	17-22-18-18 (40)	24/13			S6 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse subangular gravel, light brown, wet
		17						
		18	S7	79-84-63-94 (147)	24/0			S7 - No recovery
20		20						Bottom of borehole at 20.0 feet. Borehole backfilled with drill cuttings.
		60.0						
25								

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

**B-5**  
 PAGE 1 OF 2

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/9/23	<b>DATE COMPLETED:</b> 8/9/23
<b>BORING LOCATION:</b> Near center of southern parking lot	
<b>COORDINATES:</b> NA	
<b>SURFACE EL.:</b> 77 ft. (see note 1)	<b>TOTAL DEPTH:</b> 45 ft.
<b>WEATHER:</b> 70's / Sunny	
<b>GROUNDWATER LEVELS:</b>	
▽ <b>DURING DRILLING:</b> 4.0 ft. / El. 73.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 3.5 ft. / El. 73.5 ft. ▽ <b>OTHER:</b> -	
<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.	
<b>DRILLING FOREMAN:</b> Tim Tucker	
<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)	
<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig	
<b>HAMMER TYPE:</b> Automatic	
<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.	
<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.	
<b>CORE BARREL SIZE:</b> NX	
<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL	

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5					Asphalt	Top 4": Asphalt
			S1	18-13-27 (40)	18/10		Fill	S1 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 15-20% fine subrounded gravel, trace of asphalt, brown, moist
	75.0	2						
			S2	36-39-32-39 (71)	24/14			S2 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 20-25% fine to coarse subangular gravel, light brown, moist
		4						▽ S3 - Similar to S2, wet
	5		S3	28-45-41-39 (86)	24/17			
		6						
	70.0							
		9						
	10		S4	16-25-19-21 (44)	24/12			S4 - Silty SAND with Gravel (SM), fine to medium, 20-25% fines, 20-25% fine to coarse subrounded gravel, light brown, wet
		11						
	65.0						Sand and Gravel	
		14						
	15		S5	14-19-16-16 (35)	24/15			S5 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subrounded gravel, light brown, wet
		16						
	60.0							
		19						
	20		S6	22-29-15-14 (44)	24/10			S6 - Silty SAND (SM), fine to medium, 15-20% fines, light brown, wet
		21						
	55.0							
		24						
	25			17-19-25-58			Weathered Rock	S7 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse angular, gravel, trace of weathered rock, gray, wet

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

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CLIENT: Ai3 Architects LLC PROJECT NAME: Proposed Galvin Middle School  
 LGCI PROJECT NUMBER: 2329 PROJECT LOCATION: Canton, MA

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El.(ft.)	Material Description
24		X	S7	(44)	24/18				
26									
50.0									
29		X	S8	64-45-39-77 (84)	24/22		Weathered Rock		S8 - Similar to S7
30									
31									
45.0									
34		X	S9	100/4"	4/4	1		34.3	S9 - Similar to S7
35								42.7	REMARK 1: Split spoon and auger refusal encountered at depth of 34.3 feet on rock. Drilled to 35 feet and started coring rock.
35									C1 - Min./ft.: 3.1, 2.7, 2.3, 2.2, 2.5 REC. = 54"/60" = 90.00% RQD = 37"/60" = 61.67% Very soft to hard, severely to slightly weathered, moderately to slightly fractured, gray, fine-grained, GRAYWACKE
40.0			C1		60/54				
40							Rock		
40									C2 - Min./ft.: 4.2, 3.0, 3.2, 3.8, 4.0 REC. = 41"/60" = 68.33% RQD = 36"/60" = 60.00% Hard to very hard, slightly weathered to fresh, moderately fractured to sound, fine-grained, GRAYWACKE
35.0			C2		60/41				
45								45.0	Bottom of borehole at 45.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.
45									
30.0									
50									
25.0									
55									
20.0									
60									



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# BORING LOG

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 PAGE 1 OF 1

**CLIENT:** Ai3 Architects LLC **PROJECT NAME:** Proposed Galvin Middle School  
**LGCI PROJECT NUMBER:** 2329 **PROJECT LOCATION:** Canton, MA

**DATE STARTED:** 8/10/23 **DATE COMPLETED:** 8/10/23 **DRILLING SUBCONTRACTOR:** Northern Drill Service, Inc.  
**BORING LOCATION:** Near center of southern parking lot **DRILLING FOREMAN:** Tim Tucker  
**COORDINATES:** NA **DRILLING METHOD:** Hollow Stem Auger (3-1/4" I.D.)  
**SURFACE EI.:** 72 ft. (see note 1) **TOTAL DEPTH:** 22 ft. **DRILL RIG TYPE/MODEL:** Mobile B-53 ATV Rig  
**WEATHER:** 70's / Cloudy **HAMMER TYPE:** Automatic  
**GROUNDWATER LEVELS:** **HAMMER WEIGHT:** 140 lb. **HAMMER DROP:** 30 in.  
 ▽ **DURING DRILLING:** 6.0 ft. / El. 66.0 ft. Based on sample moisture **SPLIT SPOON DIA.:** 1.375 in. I.D., 2 in. O.D.  
 ▼ **AT END OF DRILLING:** 5.8 ft. / El. 66.2 ft. **CORE BARREL SIZE:** NA  
 ▽ **OTHER:** - **LOGGED BY:** NP **CHECKED BY:** SL

Depth (ft.)	EI. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5					Asphalt	Top 3": Asphalt
			S1	11-10-10 (20)	18/11		Fill	S1 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 15-20% fine to coarse subrounded gravel, trace of asphalt, brown, moist
	70.0	2						
			S2	31-26-25-23 (51)	24/17			S2 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 25-30% fine to coarse subrounded gravel, light brown, moist
		4						S3 - Similar to S2
5			S3	24-21-30-46 (51)	24/13			
		6						▼ S4 - Similar to S2, wet
	65.0		S4	57-38-37-35 (75)	24/19			
		8						
	10							
		10						
	60.0		S5	17-17-17-28 (34)	24/21		Sand and Gravel	S5 - SILT with Sand (ML), nonplastic, 15-20% fine sand, light brown, wet
		12						
	15							
		15						
	55.0		S6	18-21-17-14 (38)	24/16			S6 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subangular gravel, light brown, wet
		17						
	20							
		20						
	50.0		S7	9-10-9-10 (19)	24/14		Weathered Rock	S7 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse anular gravel, trace of weathered rock, gray, wet
		22						
								Bottom of borehole at 22.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

LGCI		100 Cheimsford Rd Suite 2 Billerica, MA 01862 Telephone: 9783305912 Fax: 9783305056		BORING LOG		B-7 PAGE 1 OF 1		
CLIENT: <u>Ai3 Architects LLC</u>				PROJECT NAME: <u>Proposed Galvin Middle School</u>				
LGCI PROJECT NUMBER: <u>2329</u>				PROJECT LOCATION: <u>Canton, MA</u>				
DATE STARTED: <u>8/11/23</u>		DATE COMPLETED: <u>8/11/23</u>		DRILLING SUBCONTRACTOR: <u>Northern Drill Service, Inc.</u>				
BORING LOCATION: <u>West of existing school</u>				DRILLING FOREMAN: <u>Tim Tucker</u>				
COORDINATES: <u>NA</u>				DRILLING METHOD: <u>Hollow Stem Auger (3-1/4" I.D.)</u>				
SURFACE EL.: <u>69 ft. (see note 1)</u>		TOTAL DEPTH: <u>22 ft.</u>		DRILL RIG TYPE/MODEL: <u>Mobile B-53 ATV Rig</u>				
WEATHER: <u>70's / Sunny</u>				HAMMER TYPE: <u>Automatic</u>				
GROUNDWATER LEVELS:				HAMMER WEIGHT: <u>140 lb.</u> HAMMER DROP: <u>30 in.</u>				
▽ DURING DRILLING: <u>6.0 ft. / El. 63.0 ft. Based on sample moisture</u>				SPLIT SPOON DIA.: <u>1.375 in. I.D., 2 in. O.D.</u>				
▼ AT END OF DRILLING: <u>5.9 ft. / El. 63.1 ft.</u>				CORE BARREL SIZE: <u>NA</u>				
▽ OTHER: <u>-</u>				LOGGED BY: <u>NP</u> CHECKED BY: <u>SL</u>				
Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5					Asphalt	0.3 68.7 Top 4": Asphalt
		2	S1	17-21-17 (38)	18/14		Fill	S1 - Well Graded GRAVEL with Silt and Sand (GW-GM), fine to coarse, subangular, 5-10% fines, 40-45% fine to coarse sand, trace of asphalt, gray, moist
	65.0	4	S2	26-25-28-24 (53)	24/17			S2 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 20-25% fine to coarse subangular gravel, gray, moist
5		6	S3	60-25-16-16 (41)	24/6			S3 - Similar to S2
		6	S4	16-19-21-22 (40)	24/18			S4 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse angular gravel, gray, wet
	60.0	10	S5	22-25-19-21 (44)	24/20			S5 - Similar to S4, 15-20% fines, light brown to gray
	55.0	12					Sand and Gravel	
15		15	S6	49-26-15-15 (41)	24/12			S6 - Well Graded SAND with Silt (SW-SM), fine to coarse, 10-15% fines, 5-10% fine subrounded gravel, light brown, wet
	50.0	20	S7	12-14-18-17 (32)	24/16			S7 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subrounded gravel, gray, wet
20		22						Bottom of borehole at 22.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.
	45.0							
25								
<b>GENERAL NOTES:</b>								
1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.								





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# BORING LOG

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PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/14/23	<b>DATE COMPLETED:</b> 8/14/23
<b>BORING LOCATION:</b> North of existing school	
<b>COORDINATES:</b> NA	
<b>SURFACE EL.:</b> 63 ft. (see note 1)	<b>TOTAL DEPTH:</b> 22 ft.
<b>WEATHER:</b> 70's / Sunny	
<b>GROUNDWATER LEVELS:</b>	
▽ <b>DURING DRILLING:</b> 10.0 ft. / El. 53.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 8.7 ft. / El. 54.3 ft. ▽ <b>OTHER:</b> -	
<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.	
<b>DRILLING FOREMAN:</b> Tim Tucker	
<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)	
<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig	
<b>HAMMER TYPE:</b> Automatic	
<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.	
<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.	
<b>CORE BARREL SIZE:</b> NA	
<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL	

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
		0					Topsoil	1.0	S1 - Topsoil
		2	S1	1-7-18-12 (25)	24/11	1	Fill	62.0	REMARK 1: Strata change assumed based on drilling effort.
	60.0		S2	12-12-18-20 (30)	24/1			4.0	S2 - Silty SAND (SM), fine to medium, 20-25% fines, trace of organic soil, trace of roots, dark brown, moist
		4					Sand and Gravel	59.0	S3 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse subrounded gravel, light brown to gray, moist
5			S3	12-20-19-22 (39)	24/13				S4 - Similar to S3, gray
		6							▼
		8	S4	22-22-30-24 (52)	24/15				▽
		10							S5 - Silty SAND (SM), fine to medium, 15-20% fines, 0-5% fine subrounded gravel, gray, wet
	50.0		S5	13-13-8-8 (21)	24/19				
		12							
15			S6	5-6-7-8 (13)	24/17				S6 - Poorly Graded SAND with Silt (SP-SM), fine, 5-10% fines, gray, wet
	45.0								
		20							
		20	S7	12-15-43-25 (58)	24/14				S7 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 25-30% fine to coarse subangular gravel, gray, wet
		22						22.0	Bottom of borehole at 22.0 feet. Borehole backfilled with drill cuttings.
	40.0								
25									

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
		0					Topsoil	0.5	S1 - Top 6": Topsoil
		2	S1	1-8-19-24 (27)	24/12		Fill	63.5	Bot. 6": Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 30-35% fine to coarse angular gravel, brown, moist
		2.4	S2	100/5"	5/2			S2 - Similar to S1 Bot. 6", 15-20% fine to coarse angular gravel, trace of organic soil REMARK 1: Drilled through boulder between depths of 2.4 feet and 3.6 feet.	
		4					Sand and Gravel	4.0	S3 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 30-35% fine to coarse subangular gravel, light brown, moist
		6	S3	32-40-84-59 (124)	24/16			60.0	
		8	S4	34-27-30-37 (57)	24/18			▼ S4 - Similar to S3, 20-25% fine to coarse subangular gravel, wet	
		10						10.4	S5 - No recovery REMARK 2: Split spoon and auger refusal encountered at depth of 10.4 feet on possible rock or large boulder. Boring terminated. Bottom of borehole at 10.4 feet. Borehole backfilled with drill cuttings.
		10.4	S5	100/5"	5/0				

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

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 PAGE 1 OF 1

**CLIENT:** Ai3 Architects LLC **PROJECT NAME:** Proposed Galvin Middle School  
**LGCI PROJECT NUMBER:** 2329 **PROJECT LOCATION:** Canton, MA

**DATE STARTED:** 8/14/23 **DATE COMPLETED:** 8/14/23 **DRILLING SUBCONTRACTOR:** Northern Drill Service, Inc.  
**BORING LOCATION:** East of existing school **DRILLING FOREMAN:** Tim Tucker  
**COORDINATES:** NA **DRILLING METHOD:** Hollow Stem Auger (3-1/4" I.D.)  
**SURFACE EI.:** 69 ft. (see note 1) **TOTAL DEPTH:** 20.7 ft. **DRILL RIG TYPE/MODEL:** Mobile B-53 ATV Rig  
**WEATHER:** 70's / Sunny **HAMMER TYPE:** Automatic  
**GROUNDWATER LEVELS:** **HAMMER WEIGHT:** 140 lb. **HAMMER DROP:** 30 in.  
 ▽ **DURING DRILLING:** 15.0 ft. / El. 54.0 ft. Based on sample moisture **SPLIT SPOON DIA.:** 1.375 in. I.D., 2 in. O.D.  
 ▼ **AT END OF DRILLING:** 12.5 ft. / El. 56.5 ft. **CORE BARREL SIZE:** NA  
 ▼ **OTHER:** - **LOGGED BY:** NP **CHECKED BY:** SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0					Topsoil	S1 - Top 4": Topsoil
		0	S1	1-6-8-9 (14)	24/13		Fill	Bot. 9": Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subrounded gravel, trace of organic soil, light brown, moist
		2	S2	9-15-10-12 (25)	24/16			S2 - Similar to S1 Bot. 9", no organic soil
65.0		4	S3	11-11-12-18 (23)	24/17			S3 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subrounded gravel, light brown, moist
5		6	S4	19-22-24-36 (46)	24/15			S4 - Similar to S3
		8						
60.0		10	S5	15-19-20-19 (39)	24/20		Sand and Gravel	S5 - Silty SAND (SM), fine to medium, 35-40% fines, gray, moist
		12						▼
55.0		15	S6	18-22-29-34 (51)	24/18			▽ S6 - Similar to S5, 40-45% fines, 5-10% fine angular gravel, wet
15		17						
50.0		20	S7	87-50/2" (50/2")	8/3			S7 - Silty SAND with Gravel (SM), fine to coarse, 25-30% fines, 20-25% fine to coarse subrounded gravel, gray, wet
20		20.7						Bottom of borehole at 20.7 feet. Borehole backfilled with drill cuttings.
45.0								
25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0					Topsoil	S1 - Top 4": Topsoil
			S1	1-4-19-73 (23)	24/6		Fill	Bot. 2": Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse subrounded gravel, trace of organic soil, trace of roots, gray, moist
		2	S2	10-22-39-53 (61)	24/19			S2 - Top 12": Similar to S1 Bot. 2"
	70.0						Sand and Gravel	Bot. 7": Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 25-30% fine to coarse angular gravel, gray, moist
		4	S3	37-53-35-35 (88)	24/16			S3 - Similar to S2 Bot. 7", 30-35% fine to coarse angular gravel
5								▼ S4 - Silty SAND with Gravel (SM), fine to medium, 20-25% fines, 15-20% fine to coarse subrounded gravel, gray, wet
		6	S4	36-34-33-31 (67)	24/14			
	65.0							
		10	S5	17-21-26-29 (47)	24/13			S5 - Similar to S4, 15-20% fines, gray with orange striations
	60.0							
15								
		15	S6	24-26-25-28 (51)	24/18			S6 - Similar to S4, 20-25% fine to coarse subrounded gravel
	50.0							
25		17						Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings.

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

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 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/14/23	<b>DATE COMPLETED:</b> 8/14/23
<b>BORING LOCATION:</b> East of existing school	
<b>COORDINATES:</b> NA	
<b>SURFACE EL.:</b> 76 ft. (see note 1)	<b>TOTAL DEPTH:</b> 13.6 ft.
<b>WEATHER:</b> 70's / Sunny	
<b>GROUNDWATER LEVELS:</b>	
▽ <b>DURING DRILLING:</b> 6.0 ft. / El. 70.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 6.5 ft. / El. 69.5 ft. ▽ <b>OTHER:</b> -	
<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.	
<b>DRILLING FOREMAN:</b> Tim Tucker	
<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)	
<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig	
<b>HAMMER TYPE:</b> Automatic	
<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.	
<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.	
<b>CORE BARREL SIZE:</b> NA	
<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL	

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
	75.0	0	S1	1-7-24-22 (31)	24/12	1	Topsoil	S1 - Topsoil
		2	S2	25-48-25-12 (73)	24/2		Fill	REMARK 1: Strata change assumed based on drilling effort.
		4	S3	6-6-7-12 (13)	24/15			S2 - Silty SAND with Gravel, (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse angular gravel, trace of organic soil, trace of roots, dark brown, moist
5								S3 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 40-45% fine subangular gravel, gray, moist
	70.0	6	S4	17-20-21-19 (41)	24/22		Sand and Gravel	6.0 ▽ 70.0 ▼ S4 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subrounded gravel, light brown, wet
10		10	S5	29-28-52-39 (80)	24/15			S5 - Similar to S4, 20-25% fine to coarse angular gravel
	65.0	12	S6	100/1"	1/0	2		13.6 REMARK 2: Split spoon and auger refusal encountered at depth of 13.6 feet on possible rock or large boulder. Boring terminated. S6 - No recovery Bottom of borehole at 13.6 feet. Borehole backfilled with drill cuttings.
	13.6							
	60.0							
	55.0							
25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
		0					Topsoil	0.5	S1 - Top 6": Topsoil
			S1	1-1-6-11 (7)	24/11		Fill	79.5	Bot. 5": Silty SAND with Gravel (SM), fine to coarse, 25-30% fines, 20-25% fine to coarse subangular gravel, trace of organic soil, gray, moist
		2						2.0	
			S2	17-13-13-18 (26)	24/16			78.0	S2 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subangular gravel, gray, moist
		4							S3 - Similar to S2, 15-20% fines, 25-30% fine to coarse subangular gravel
5	75.0		S3	16-29-16-14 (45)	24/8				
		6							S4 - Similar to S2, 25-30% fine to coarse subangular gravel
		8							
		10							
	70.0		S5	17-22-19-28 (41)	24/14		Sand and Gravel		S5 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subrounded gravel, trace of roots, gray, moist
		12							
		15							▼
	65.0		S6	17-10-9-8 (19)	24/0				S6 - No recovery
		17							
		20							
	60.0		S7	17-18-23-20 (41)	24/15				▼
		22						22.0	S7 - Silty SAND with Gravel (SM), fine to medium, 25-30% fines, 25-30% fine to coarse subrounded gravel, light brown to gray, wet
									Bottom of borehole at 22.0 feet. Borehole backfilled with drill cuttings.
		25							
	55.0								

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

**B-14**  
 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/15/23 <b>DATE COMPLETED:</b> 8/15/23	<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.
<b>BORING LOCATION:</b> Near eastern portion of southern parking lot	<b>DRILLING FOREMAN:</b> Tim Tucker
<b>COORDINATES:</b> NA	<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)
<b>SURFACE EI.:</b> 81 ft. (see note 1) <b>TOTAL DEPTH:</b> 17 ft.	<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig
<b>WEATHER:</b> 70's / Rainy	<b>HAMMER TYPE:</b> Automatic
<b>GROUNDWATER LEVELS:</b>	<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.
▽ <b>DURING DRILLING:</b> 6.0 ft. / El. 75.0 ft. Based on sample moisture	<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.
▼ <b>AT END OF DRILLING:</b> 7.0 ft. / El. 74.0 ft.	<b>CORE BARREL SIZE:</b> NA
▽ <b>OTHER:</b> -	<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
	80.0	0.5	S1	22-23-33 (56)	18/11		Asphalt	0.3 80.7	Top 4": Asphalt S1 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 20-25% fine to coarse subrounded gravel, trace of asphalt, gray, moist
		2	S2	82-76-61-63 (137)	24/4		Fill		S2 - Similar to S1, light brown
		4	S3	14-28-38-25 (66)	24/15		Sand and Gravel	4.0 77.0	S3 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse subangular gravel, gray, moist
	75.0	6	S4	23-23-17-18 (40)	24/17			▽ ▼	S4 - Similar to S3, 20-25% fines, 20-25% fine to coarse subangular gravel
		10	S5	44-36-24-14 (60)	24/5				S5 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 25-30% fine to coarse angular gravel, trace of weathered rock, light brown, wet
		12							
	15	15	S6	41-41-38-35 (79)	24/1				S6 - Similar to S5
	65.0	17						17.0	Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.
	20								
	60.0								
	25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Depth El. (ft.)	Material Description
		0					Topsoil	0.5	S1 - Top 6": Topsoil
			S1	1-5-20-21 (25)	24/8		Fill	77.5	Bot. 2": Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 20-25% fine to coarse subrounded gravel, trace of organic soil, trace of roots, brown, moist
	75.0		S2	30-18-10-10 (28)	24/14				S2 - Similar to S1 Bot. 2"
		4	S3	8-8-8-13 (16)	24/3				S3 - Silty SAND with Gravel (SM), fine to medium, 20-25% fines, 15-20% fine to coarse subrounded gravel, trace of organic soil, orange to brown, moist
5			S4	17-41-37-26 (78)	24/16		Sand and Gravel	6.0 72.0	S4 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 25-30% fine to coarse subangular gravel, light brown, moist
	70.0								▼
		10	S5	17-19-21-23 (40)	24/21				▼
	65.0								
		15	S6	8-6-6-6 (12)	24/20				S6 - Poorly Graded SAND with Silt (SP-SM), fine to medium, trace coarse, 5-10% fines, light brown, wet
	60.0							17.0	Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings.
		20							
	55.0								
		25							

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.





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# BORING LOG

**B-16**  
 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/14/23	<b>DATE COMPLETED:</b> 8/15/23
<b>BORING LOCATION:</b> Near northeastern portion of southern parking lot	
<b>COORDINATES:</b> NA	
<b>SURFACE EI.:</b> 77 ft. (see note 1)	<b>TOTAL DEPTH:</b> 17 ft.
<b>WEATHER:</b> 70's / Sunny	
<b>GROUNDWATER LEVELS:</b>	
▼ <b>DURING DRILLING:</b> 10.0 ft. / El. 67.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 8.5 ft. / El. 68.5 ft. ▼ <b>OTHER:</b> -	
<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.	
<b>DRILLING FOREMAN:</b> Tim Tucker	
<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)	
<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig	
<b>HAMMER TYPE:</b> Automatic	
<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.	
<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.	
<b>CORE BARREL SIZE:</b> NA	
<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL	

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description	
		0.5					Asphalt	0.3 76.7	Top 3": Asphalt
	75.0	2	S1	14-13-11 (24)	18/12		Fill	2.0 75.0	S1 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 20-25% fine to coarse subrounded gravel, trace of asphalt, brown, moist
			S2	14-13-15-17 (28)	24/17				S2 - Poorly Graded SAND with Silt (SP-SM), fine to medium, 5-10% fines, 10-15% fine subrounded gravel, light brown, moist
	5		S3	13-21-22-20 (43)	24/18				S3 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subrounded gravel, light brown, moist
	70.0		S4	27-21-17-16 (38)	24/21				S4 - Similar to S3, 20-25% fine to coarse subangular gravel
									▼
	10		S5	24-18-23-24 (41)	24/16		Sand and Gravel	▼	S5 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 20-25% fine to coarse subangular gravel, gray, wet
	65.0								
	15		S6	16-18-17-16 (35)	24/19				S6 - Similar to S5
	60.0								
									▼
	20								Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.
	55.0								
	25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0					Topsoil	0.5 S1 - Top 6" Topsoil
			S1	3-9-13-14 (22)	24/11		Fill	72.5 Bot. 5": Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 15-20% fine to coarse subrounded gravel, trace of roots, light brown, moist
	70.0	2						2.0 71.0 S2 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 15-20% fine to coarse subrounded gravel, light brown, moist
			S2	32-29-25-22 (54)	24/12			S3 - Similar to S2, 25-30% fine to coarse subangular gravel
	5	4						S4 - Silty SAND with Gravel (SM), fine to medium, 20-25% fines, 15-20% fine to coarse angular gravel, trace of weathered rock, light brown, moist
			S3	19-26-26-28 (52)	24/14			▼
			S4	33-26-21-20 (47)	24/18			▼
	65.0	8						S5 - Silty SAND with Gravel (SM), fine to medium, 20-25% fines, 15-20% fine to coarse subangular gravel, light brown, wet
			S5	13-20-14-16 (34)	24/15			S6 - Similar to S5, 20-25% fine to coarse subangular gravel
	10	10						▼
			S6	59-22-19-21 (41)	24/19			▼
	60.0	12						17.0 Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings.
	15	15						
	55.0	17						
	20							
	50.0							
	25							

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

**B-18**  
 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/9/23	<b>DATE COMPLETED:</b> 8/9/23
<b>BORING LOCATION:</b> Near southwestern portion of southern parking lot	<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.
<b>COORDINATES:</b> NA	<b>DRILLING FOREMAN:</b> Tim Tucker
<b>SURFACE EI.:</b> 73 ft. (see note 1)	<b>TOTAL DEPTH:</b> 16 ft.
<b>WEATHER:</b> 70's / Sunny	<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)
<b>GROUNDWATER LEVELS:</b>	<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig
▼ <b>DURING DRILLING:</b> 4.0 ft. / El. 69.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 3.5 ft. / El. 69.5 ft. ▼ <b>OTHER:</b> -	<b>HAMMER TYPE:</b> Automatic
	<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.
	<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.
	<b>CORE BARREL SIZE:</b> NA
	<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5	S1	14-14-17 (31)	18/8		Asphalt	Top 3": Asphalt S1 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 5-10% fines, 15-20% fine to coarse subrounded gravel, trace of asphalt, brown, moist
	70.0	2	S2	8-5-2-3 (7)	24/13		Fill	S2 - Similar to S1, trace of organic soil
		4	S3	5-1-1-1 (2)	24/11		Buried Organic Soil	S3 - PEAT (PT), fibrous, black, wet S4 - Silty SAND with Gravel (SM), fine to coarse, 25-30% fines, 20-25% fine to coarse subangular gravel, petroleum odor, black, wet
	65.0	6	S4	1-1-1-1 (2)	24/3			
		8	S5	16-23-23-45 (46)	24/15			S5 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 25-30% fine to coarse angular gravel, light brown, wet
	60.0	10	S6	27-33-22-29 (55)	24/17		Sand and Gravel	S6 - Similar to S5
	15	14	S7	16-16-13-12 (29)	24/20			S7 - Silty SAND (SM), fine to medium, 20-25% fines, 0-5% fine to coarse subangular gravel, light brown, wet
		16						Bottom of borehole at 16.0 feet. Borehole backfilled with drill cuttings. Ground surface restored with asphalt cold patch.

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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**BORING LOG****B-19**

PAGE 1 OF 1

<b>CLIENT:</b> <u>Ai3 Architects LLC</u>	<b>PROJECT NAME:</b> <u>Proposed Galvin Middle School</u>
<b>LGCI PROJECT NUMBER:</b> <u>2329</u>	<b>PROJECT LOCATION:</b> <u>Canton, MA</u>
<b>DATE STARTED:</b> <u>8/10/23</u> <b>DATE COMPLETED:</b> <u>8/10/23</u>	<b>DRILLING SUBCONTRACTOR:</b> <u>Northern Drill Service, Inc.</u>
<b>BORING LOCATION:</b> <u>Near northwestern portion of southern parking lot</u>	<b>DRILLING FOREMAN:</b> <u>Tim Tucker</u>
<b>COORDINATES:</b> <u>NA</u>	<b>DRILLING METHOD:</b> <u>Hollow Stem Auger (3-1/4" I.D.)</u>
<b>SURFACE EI.:</b> <u>70 ft. (see note 1)</u> <b>TOTAL DEPTH:</b> <u>17 ft.</u>	<b>DRILL RIG TYPE/MODEL:</b> <u>Mobile B-53 ATV Rig</u>
<b>WEATHER:</b> <u>70's / Sunny</u>	<b>HAMMER TYPE:</b> <u>Automatic</u>
<b>GROUNDWATER LEVELS:</b>	<b>HAMMER WEIGHT:</b> <u>140 lb.</u> <b>HAMMER DROP:</b> <u>30 in.</u>
▽ <b>DURING DRILLING:</b> <u>4.0 ft. / El. 66.0 ft. Based on sample moisture</u>	<b>SPLIT SPOON DIA.:</b> <u>1.375 in. I.D., 2 in. O.D.</u>
▼ <b>AT END OF DRILLING:</b> <u>3.7 ft. / El. 66.3 ft.</u>	<b>CORE BARREL SIZE:</b> <u>NA</u>
▽ <b>OTHER:</b> <u>-</u>	<b>LOGGED BY:</b> <u>NP</u> <b>CHECKED BY:</b> <u>SL</u>

Depth (ft.)	EI. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0.5	S1	23-20-16 (36)	18/11		Asphalt	Top 4": Asphalt
		2	S2	18-17-17-11 (34)	24/16		Fill	S1 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 15-20% fine to coarse subrounded gravel, trace of organic soil, trace of asphalt, gray, moist
		4	S3	11-11-9-5 (20)	24/5			S2 - Similar to S1, no asphalt, trace of wood
5	65.0	6	S4	15-22-21-24 (43)	24/15			S3 - Silty SAND with Gravel (SM), fine to coarse, 25-30% fines, 20-25% fine to coarse subrounded gravel, trace of asphalt, gray, wet
		10	S5	14-14-12-11 (26)	24/2		Sand and Gravel	S4 - Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 25-30% fine to coarse angular gravel, light brown, wet
		12						S5 - Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 35-40% fine to coarse subangular gravel, light brown, wet
15	55.0	15	S6	11-11-15-26 (26)	24/22			S6 - Silty SAND (SM), fine to medium, 20-25% fines, 0-5% fine subrounded gravel, gray, wet
		17						Bottom of borehole at 17.0 feet. Borehole backfilled with drill cuttings.
20	50.0							
25	45.0							

**GENERAL NOTES:**

- The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



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# BORING LOG

**B-20-OW**  
 PAGE 1 OF 1

<b>CLIENT:</b> Ai3 Architects LLC	<b>PROJECT NAME:</b> Proposed Galvin Middle School
<b>LGCI PROJECT NUMBER:</b> 2329	<b>PROJECT LOCATION:</b> Canton, MA
<b>DATE STARTED:</b> 8/11/23	<b>DATE COMPLETED:</b> 8/11/23
<b>BORING LOCATION:</b> Southeast of existing school	<b>DRILLING SUBCONTRACTOR:</b> Northern Drill Service, Inc.
<b>COORDINATES:</b> NA	<b>DRILLING FOREMAN:</b> Tim Tucker
<b>SURFACE EI.:</b> 69 ft. (see note 1)	<b>TOTAL DEPTH:</b> 22 ft.
<b>WEATHER:</b> 70's / Sunny	<b>DRILLING METHOD:</b> Hollow Stem Auger (3-1/4" I.D.)
<b>GROUNDWATER LEVELS:</b>	<b>DRILL RIG TYPE/MODEL:</b> Mobile B-53 ATV Rig
▼ <b>DURING DRILLING:</b> 6.0 ft. / El. 63.0 ft. Based on sample moisture ▼ <b>AT END OF DRILLING:</b> 5.0 ft. / El. 64.0 ft. ▼ <b>OTHER:</b> -	<b>HAMMER TYPE:</b> Automatic
	<b>HAMMER WEIGHT:</b> 140 lb. <b>HAMMER DROP:</b> 30 in.
	<b>SPLIT SPOON DIA.:</b> 1.375 in. I.D., 2 in. O.D.
	<b>CORE BARREL SIZE:</b> NA
	<b>LOGGED BY:</b> NP <b>CHECKED BY:</b> SL

Depth (ft.)	El. (ft.)	Sample Interval (ft.)	Sample Number	Blow Counts (N Value)	Pen./Rec. (in.)	Remark	Strata	Material Description
		0					Topsoil	S1 - Topsoil
			S1	2-5-21-23 (26)	24/4	1	Fill	REMARK 1: Strata change assumed based on drilling effort.
		2						
			S2	21-21-20-18 (41)	24/17			S2 - Silty SAND (SM), fine to medium, 35-40% fines, gray, moist
65.0		4						
			S3	11-11-10-12 (21)	24/22			S3 - Similar to S2, 25-30% fines
5		6						▼
			S4	13-14-14-16 (28)	24/20			▼ S4 - Similar to S2, 25-30% fines, wet
		8						
60.0		10						
			S5	57-25-21-20 (46)	24/14		Sand and Gravel	S5 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse subangular gravel, gray, wet
10		12						
55.0		15						
			S6	12-16-17-18 (33)	24/15			S6 - Silty SAND (SM), fine to medium, 25-30% fines, gray, wet
15		17						
50.0		20						
			S7	15-19-15-17 (34)	24/19			S7 - Silty SAND with Gravel (SM), fine to coarse, 20-25% fines, 15-20% fine to coarse angular gravel, trace of weathered rock, gray, wet
20		22						
45.0								Bottom of borehole at 22.0 feet. Installed ground water observation well.
25								

**GENERAL NOTES:**

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.



## GROUNDWATER OBSERVATION WELL INSTALLATION REPORT

Boring No. : **B-20-OW**

Page 1/1

Project Name: <b>Proposed Galvin Middle School, Canton, MA</b>	
LGCI Project Number: <b>2329</b>	
Client: <b>Ai3 Architects, LLC</b>	
Drilling Subcontractor: Northern Drill Services, Inc.	Date Started: 8/11/23
Drilling Foreman: Tim Tucker	Date Completed: 8/11/23
LGCI Engineer: Nicholas Proulx	Location: Southeast of existing building
Ground Surface Elevation: 69.0 feet (See note 1)	Total Depth of Boring: 22.0 feet
Groundwater Depth: 5.0 feet measured at the end of drilling	Drill Rig Type: Mobile Drill B-53 ATV
5.1 feet measured on 8/15/23	Drilling Method: Hollow Stem Auger (3-1/4" I.D.)

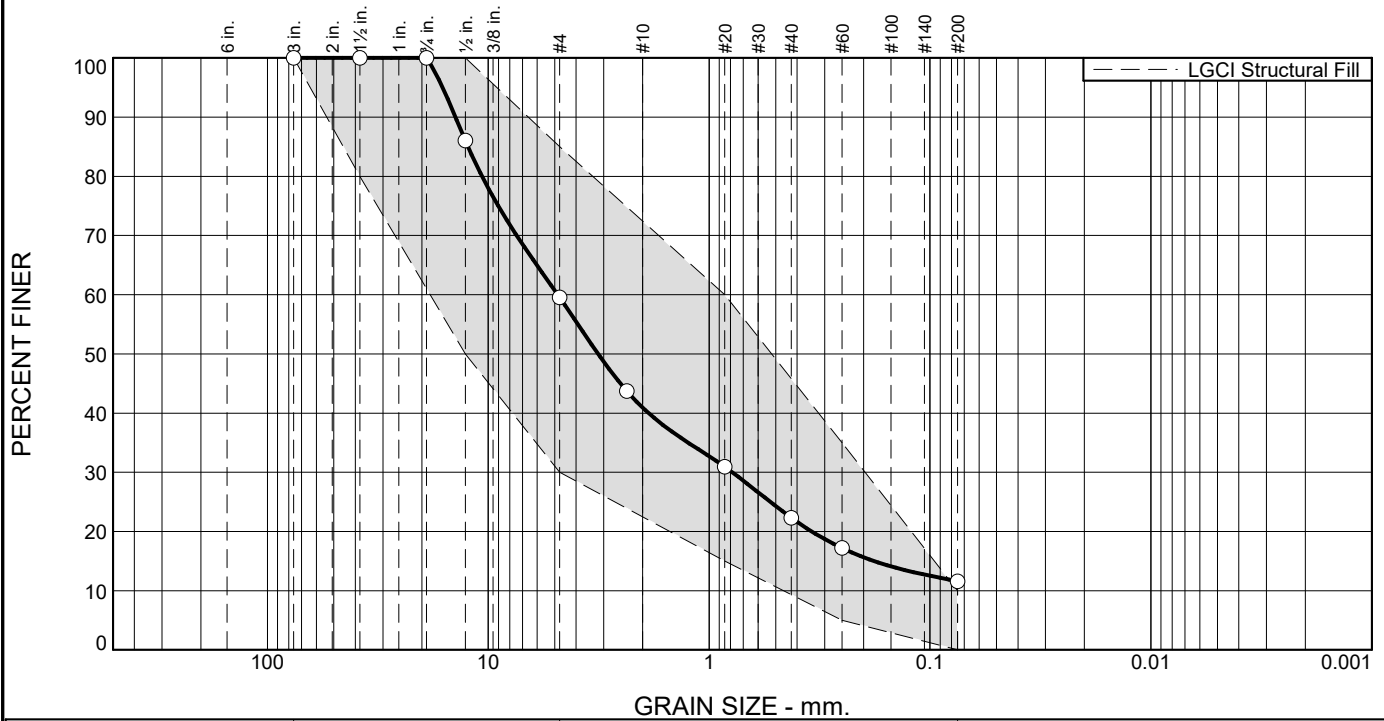
  

<p>GENERAL SOIL CONDITIONS (not to scale)</p> <p>Topsoil 1.0 feet</p> <p>Fill 2.0 feet</p> <p>Sand and Gravel</p> <p>22.0 feet</p>	<p>Riser Stickup 0.0 feet above ground surface</p> <p>THICKNESS OF SURFACE SEAL <u>1 foot</u></p> <p>TYPE OF SURFACE SEAL <u>Concrete</u></p> <p>TYPE OF SURFACE CASING <u>Roadway Box</u></p> <p>ID OF SURFACE CASING <u>4 inch</u></p> <p>DEPTH TO BOTTOM OF CASING <u>1.0 foot</u></p> <p>ID OF RISER PIPE <u>2 inch</u></p> <p>TYPE OF RISER PIPE <u>Schedule 40 PVC</u></p> <p>TYPE OF BACKFILL AROUND RISER PIPE <u>Filter sand</u></p> <p>DEPTH TO TOP OF SEAL <u>7.0 feet</u></p> <p>TYPE OF SEAL <u>Bentonite</u></p> <p>DEPTH TO BOTTOM OF SEAL <u>8.0 feet</u></p> <p>DEPTH TO TOP OF PERVIOUS SECTION <u>10.0 feet</u></p> <p>TYPE OF PERVIOUS SECTION <u>Schedule 40 PVC</u></p> <p>DESCRIBE OPENINGS <u>0.01 inch slots</u></p> <p>ID OF PERVIOUS SECTION <u>2 inch</u></p> <p>TYPE OF BACKFILL AROUND PERVIOUS SECTION <u>Filter sand (Holliston sand)</u></p> <p>DEPTH TO BOTTOM OF PERVIOUS SECTION <u>20.0 feet</u></p> <p>DEPTH TO BOTTOM OF SAND COLUMN <u>22.0 feet</u></p> <p>TYPE OF BACKFILL BELOW PERVIOUS SECTION <u>Filter sand (Holliston sand)</u></p> <p>DIAMETER OF BOREHOLE <u>4 inch</u></p> <p>DEPTH TO BOTTOM OF BOREHOLE <u>22.0 feet</u></p>	
--	---	--

1. The ground surface elevation was interpolated to the nearest foot from drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023

## **Appendix B – Laboratory Test Results**

# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	0.0	40.5	18.6	18.6	10.7	11.6	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
3"	100.0	100.0	
1.5"	100.0	80.0 - 100.0	
0.75"	100.0		
0.5"	86.0	50.0 - 100.0	
#4	59.5	30.0 - 85.0	
#8	43.7		
#20	30.9	15.0 - 60.0	
#40	22.3		
#60	17.2	5.0 - 35.0	
#200	11.6	0.0 - 10.0	X

**Material Description**  
 ASTM (D 2488) Classification: Well Graded SAND with Silt and Gravel (SW-SM), fine to coarse, 10-15% fines, 40-45% fine subangular gravel, gray

**Atterberg Limits (ASTM D 4318)**  
 PL= \_\_\_\_\_ LL= \_\_\_\_\_ PI= \_\_\_\_\_

**Classification**  
 USCS (D 2487)= \_\_\_\_\_ AASHTO (M 145)= \_\_\_\_\_

**Coefficients**  
 D<sub>90</sub>= 14.0873    D<sub>85</sub>= 12.3491    D<sub>60</sub>= 4.8452  
 D<sub>50</sub>= 3.1808    D<sub>30</sub>= 0.7865    D<sub>15</sub>= 0.1787  
 D<sub>10</sub>= \_\_\_\_\_    C<sub>u</sub>= \_\_\_\_\_    C<sub>c</sub>= \_\_\_\_\_

**Remarks**  
 Fill sample.

Date Received: 8/14/23    Date Tested: 8/16/23  
 Tested By: NP  
 Checked By: SL

\* LGCI Structural Fill

Location: Boring B-12  
 Sample Number: S3

Depth: 4.0'-6.0'

Date Sampled: 8/14/23



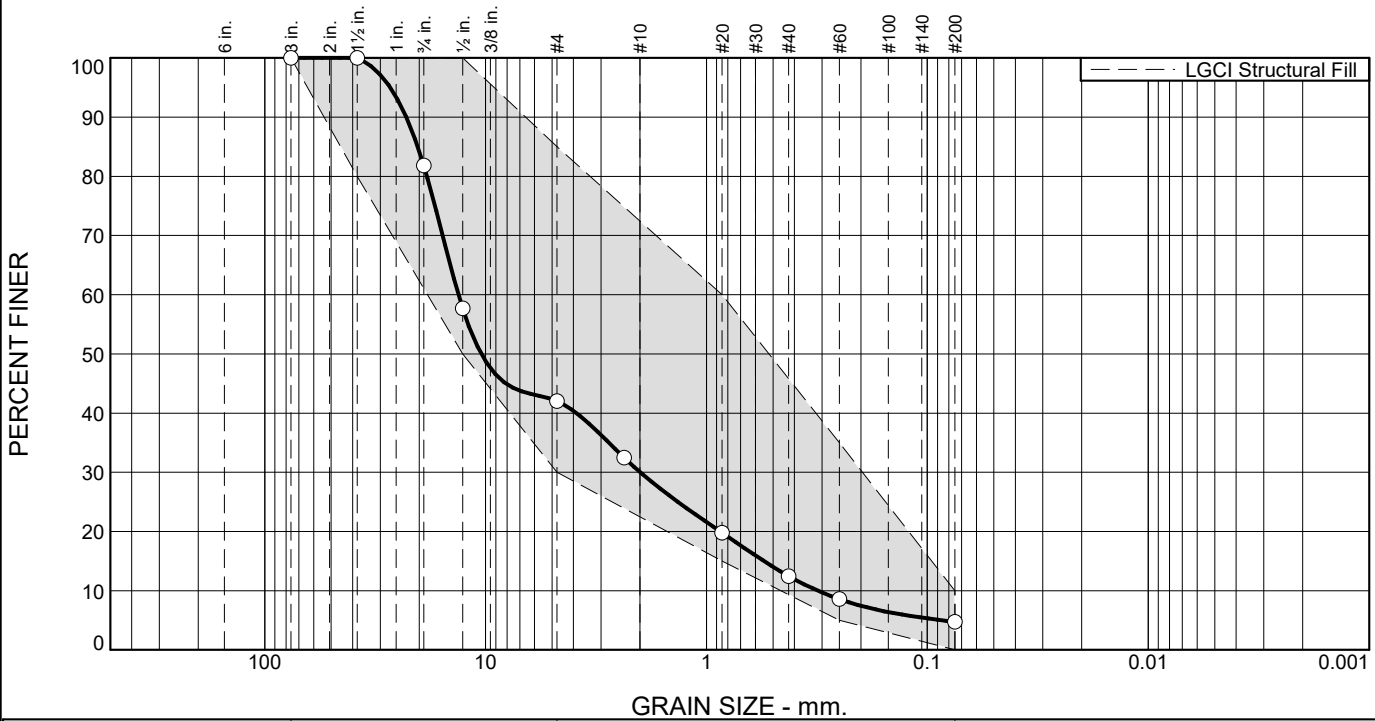
Client: Ai3 Architects LLC  
 Project: Proposed Galvin Middle School, Canton, MA

Project No: 2329

Figure



# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	18.2	39.8	11.9	17.6	7.8	4.7	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
3"	100.0	100.0	
1.5"	100.0	80.0 - 100.0	
0.75"	81.8		
0.5"	57.7	50.0 - 100.0	
#4	42.0	30.0 - 85.0	
#8	32.5		
#20	19.8	15.0 - 60.0	
#40	12.5		
#60	8.6	5.0 - 35.0	
#200	4.7	0.0 - 10.0	

**Material Description**  
 ASTM (D 2488) Classification: Well Graded GRAVEL with Sand (GW), fine to coarse, subangular, 0-5% fines, 35-40% fine to coarse sand, trace of asphalt, gray

**Atterberg Limits (ASTM D 4318)**  
 PL= \_\_\_\_\_ LL= \_\_\_\_\_ PI= \_\_\_\_\_

**Classification**  
 USCS (D 2487)= GP AASHTO (M 145)= \_\_\_\_\_

**Coefficients**  
 D<sub>90</sub>= 22.8667 D<sub>85</sub>= 20.2912 D<sub>60</sub>= 13.2690  
 D<sub>50</sub>= 10.4409 D<sub>30</sub>= 1.9924 D<sub>15</sub>= 0.5495  
 D<sub>10</sub>= 0.3128 C<sub>u</sub>= 42.41 C<sub>c</sub>= 0.96

**Remarks**  
 Fill sample.

Date Received: 8/10/23 Date Tested: 8/16/23  
 Tested By: NP  
 Checked By: SL

\* LGCI Structural Fill

Location: Boring B-2  
 Sample Number: S1

Depth: 0.5'-2.0'

Date Sampled: 8/10/23

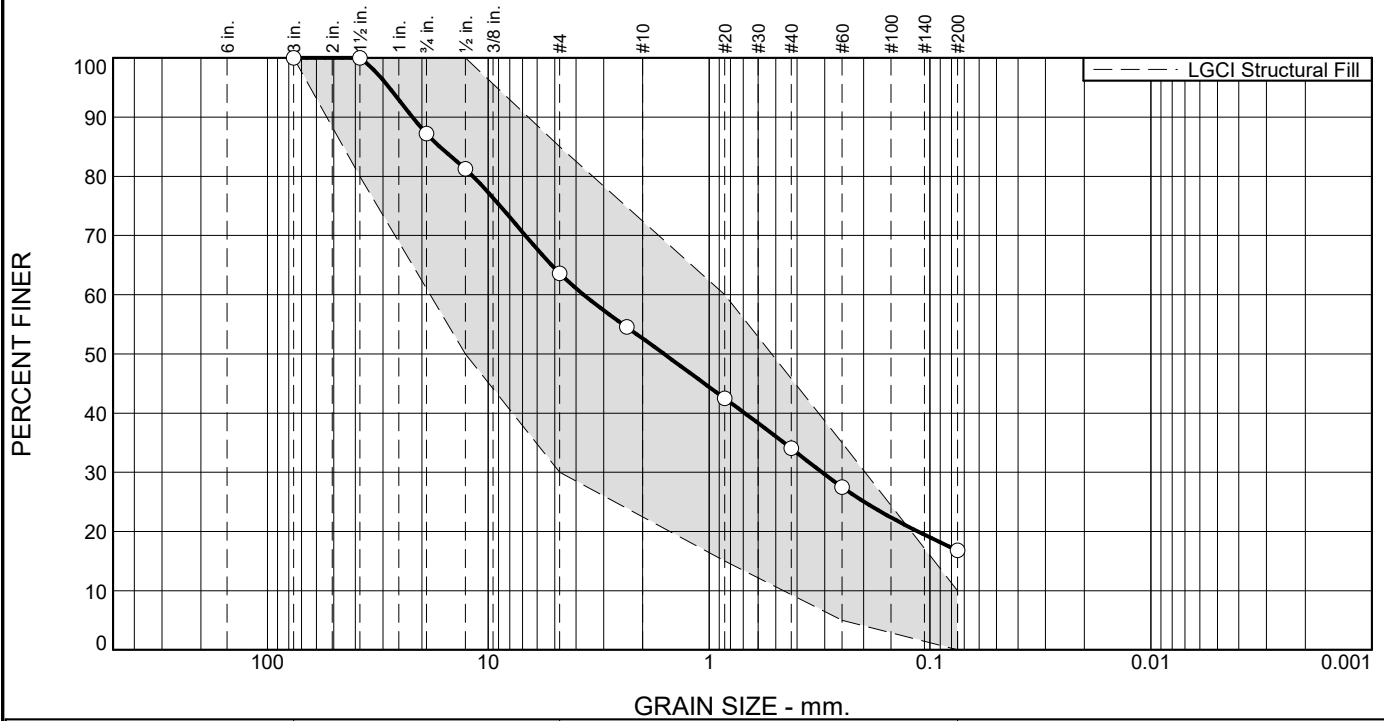


Client: Ai3 Architects LLC  
 Project: Proposed Galvin Middle School, Canton, MA

Project No: 2329

Figure

# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	12.8	23.6	11.0	18.5	17.3	16.8	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
3"	100.0	100.0	
1.5"	100.0	80.0 - 100.0	
0.75"	87.2	80.0 - 100.0	
0.5"	81.3	50.0 - 100.0	
#4	63.6	30.0 - 85.0	
#8	54.5	30.0 - 85.0	
#20	42.5	15.0 - 60.0	
#40	34.1	15.0 - 60.0	
#60	27.5	5.0 - 35.0	
#200	16.8	0.0 - 10.0	X

**Material Description**

ASTM (D 2488) Classification: Silty SAND with Gravel (SM), fine to coarse, 15-20% fines, 35-40% fine to coarse subrounded gravel, light brown

**Atterberg Limits (ASTM D 4318)**

PL= \_\_\_\_\_ LL= \_\_\_\_\_ PI= \_\_\_\_\_

**Classification**

USCS (D 2487)= \_\_\_\_\_ AASHTO (M 145)= \_\_\_\_\_

**Coefficients**

D<sub>90</sub>= 22.0481      D<sub>85</sub>= 16.5579      D<sub>60</sub>= 3.7046  
 D<sub>50</sub>= 1.6002      D<sub>30</sub>= 0.3082      D<sub>15</sub>= \_\_\_\_\_  
 D<sub>10</sub>= \_\_\_\_\_      C<sub>u</sub>= \_\_\_\_\_      C<sub>c</sub>= \_\_\_\_\_

**Remarks**

Natural sand and gravel sample.

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**Date Received:** 8/15/23      **Date Tested:** 8/16/23

**Tested By:** NP \_\_\_\_\_

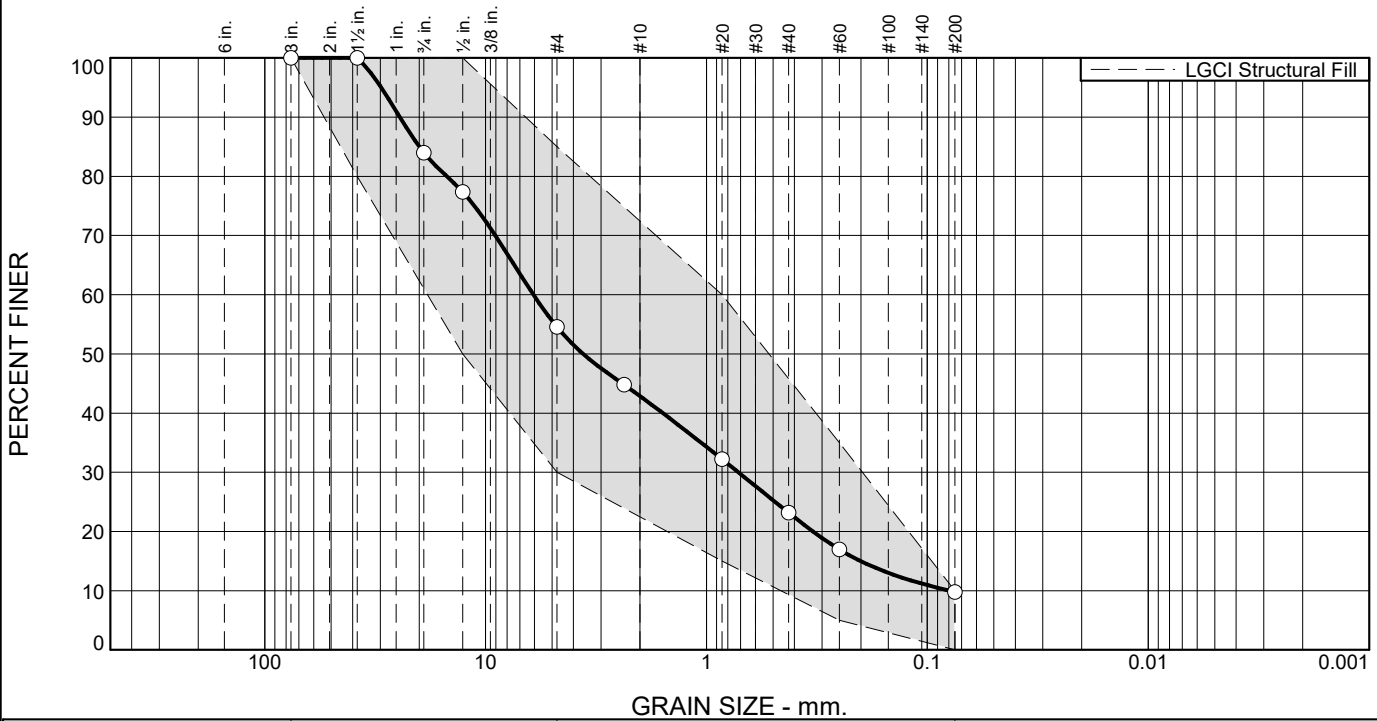
**Checked By:** SL \_\_\_\_\_

\* LGCI Structural Fill

**Location:** Boring B-3      **Sample Number:** S2      **Depth:** 2.0'-4.0'      **Date Sampled:** 8/15/23

<b style="font-size: 2em;">LGCI</b> Lahlaf Geotechnical Consulting, Inc.	<b>Client:</b> Ai3 Architects LLC <b>Project:</b> Proposed Galvin Middle School, Canton, MA
	<b>Project No:</b> 2329 <b>Figure</b>

# Particle Size Distribution Report



% +3"	% Gravel		% Sand			% Fines	
	Coarse	Fine	Coarse	Medium	Fine	Silt	Clay
0.0	16.0	29.5	11.6	19.7	13.4	9.8	

TEST RESULTS			
Opening Size	Percent Finer	Spec.* (Percent)	Pass? (X=Fail)
3"	100.0	100.0	
1.5"	100.0	80.0 - 100.0	
0.75"	84.0		
0.5"	77.4	50.0 - 100.0	
#4	54.5	30.0 - 85.0	
#8	44.8		
#20	32.2	15.0 - 60.0	
#40	23.2		
#60	17.0	5.0 - 35.0	
#200	9.8	0.0 - 10.0	

**Material Description**

ASTM (D 2488) Classification: Well Graded GRAVEL with Silt and Sand (GW-GM), fine to coarse, subangular, 5-10% fines, 40-45% fine to coarse sand, trace of asphalt, gray

**Atterberg Limits (ASTM D 4318)**

PL= \_\_\_\_\_ LL= \_\_\_\_\_ PI= \_\_\_\_\_

**Classification**

USCS (D 2487)= \_\_\_\_\_ AASHTO (M 145)= \_\_\_\_\_

**Coefficients**

D<sub>90</sub>= 24.4541    D<sub>85</sub>= 19.9585    D<sub>60</sub>= 6.0665  
 D<sub>50</sub>= 3.6163    D<sub>30</sub>= 0.7176    D<sub>15</sub>= 0.2002  
 D<sub>10</sub>= 0.0796    C<sub>u</sub>= 76.22    C<sub>c</sub>= 1.07

**Remarks**

Fill sample.

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Date Received: 8/11/23    Date Tested: 8/16/23

Tested By: NP \_\_\_\_\_

Checked By: SL \_\_\_\_\_

\* LGCI Structural Fill

Location: Boring B-7  
 Sample Number: S1

Depth: 0.5'-2.0'

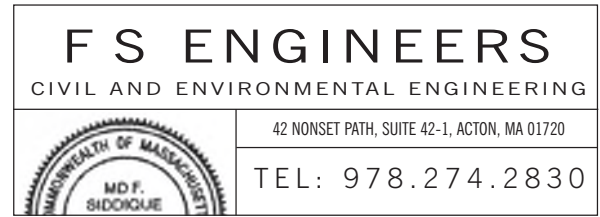
Date Sampled: 8/11/23



Client: Ai3 Architects LLC  
 Project: Proposed Galvin Middle School, Canton, MA

Project No: 2329

Figure



September 20, 2023

James S. Jordan AIA, LEED AP BD+C  
Partner  
Ai3 Architects, LLC  
111 Speen Street, Suite 300  
Framingham, MA 01701

**Re: Preliminary Soil Sampling Analysis Results  
Galvin Middle School, Canton, MA**

Dear Mr. Jordan:

FS Engineers, Inc. (FSE) is pleased to present the soil analysis results for soil samples obtained on August 21, 2023, from Lahlaf Geotechnical Consulting, Inc. (LGCI). Soil samples were collected by LGCI during a geotechnical investigation at the proposed Galvin Middle School site located at 55 Pecunit Street in Canton, Massachusetts (See Figure 1). FSE personnel were not onsite during the geotechnical soil boring and sample collection. The soil samples were submitted for laboratory analysis to identify the presence of hazardous materials relative to the applicable Massachusetts Department of Environmental Protection (MassDEP) Reportable Concentrations (RCs). This Soil Characterization consisted of submitting selected soil samples for laboratory analysis for volatile organic compounds (VOCs), semi-volatile organic compounds (SVOCs), total petroleum hydrocarbons (TPH), polychlorinated biphenyls (PCBs), pesticides, herbicides, and MCP 14 (MCP14) metals.

LGCI was retained by Ai3 Architects LLC (Ai3), on behalf of the Town of Canton, to perform the geotechnical evaluation for a proposed new school building. LGCI was responsible for locating the soil borings, obtaining soil samples, preparing soil boring logs, and completing a geotechnical evaluation for foundation design and construction. LGCI's findings, including the soil boring logs referenced in this letter, are contained in a separate report.

FSE did not perform geotechnical services for this project. Any statements in this report about soil color, odor, grain size, or other soil characteristics, are made by FSE for environmental purposes only. No geotechnical implications, opinions, conclusions, or recommendations are included in this environmental report, nor should they be inferred from this report.

## **SCOPE OF WORK**

FSE's scope of work consisted of (1) obtaining split soil samples from the soil borings, (2) submitting up to five composited soil samples for laboratory analysis, and (3) preparing this letter report describing the site investigation and soil analysis results.

## **SOIL BORINGS**

The soil borings were drilled over the period August 9 to 15, 2023, under the direction of LGCI. The following twenty soil borings were completed over the 5 days of drilling: B-1 through B-20. FSE obtained one composite soil sample from each of the following five soil borings: B-1, B-3, B-4, B-5, and B-8. The soil samples were submitted to a MassDEP-certified laboratory for analysis.

The drilling contractor was retained by LGCI to perform the soil borings. The soil boring locations were pre-marked in the field by LGCI and are identified on a site plan prepared by LGCI and included with this report. The soil strata are described in detail in the LGCI geotechnical report and on the LGCI soil boring logs. Five composite soil samples from the top 10 feet from 5 of the 20 soil borings were submitted for laboratory analysis. A site plan prepared by LGCI which shows the boring locations identified as B-1 thru B-20 is included in this report (See Figure 2).

Based upon visual observation, the composited soil samples appeared to consist of medium to coarse sand with silt. The soil samples did not appear to contain visible demolition debris, coal ash, wood ash, or other urban fill components commonly associated with human activities. No visible or olfactory evidence of petroleum hydrocarbons was apparent in the soil samples. No headspace VOC was detected in the samples screened with a handheld photoionization detector (PID).

## **SOIL ANALYSIS RESULTS**

Five composited soil samples (one each from soil borings B-1, B-3, B-4, B-5, and B-8) were submitted for laboratory analysis. The sample identification and analytical results for each soil sample are shown in Table 1 and the laboratory certificates of analysis are attached. The soil samples were placed in appropriately labeled, laboratory-provided, sample containers (pre-cleaned glass jars) and stored on ice in a cooler. The soil samples were transferred by

**Soil Characterization Report  
Galvin Middle School, Canton, MA**

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appropriate chain-of-custody procedures to Phoenix Environmental Laboratories, Inc., a MassDEP-certified laboratory. Each soil sample was analyzed for VOCs, SVOCs, TPH, PCBs, pesticides, herbicides, and MCP 14 total metals.

The soil analysis results were compared to the standards set forth by the Commonwealth of Massachusetts Department of Environmental Protection (MassDEP) and defined in 310 CMR 40.0000 – the Massachusetts Contingency Plan (MCP). No VOCs, SVOCs, TPH, PCBs, pesticides, herbicides, or MCP 14 total metals were reported in excess of MCP RCS-1 Reportable Concentrations. These results are consistent with PID headspace screening results and visual observations; namely, no evidence of significant soil contamination was observed in the soil samples submitted for analysis, and no positive PID headspace results were reported.

### **MASSDEP NOTIFICATION REQUIREMENTS**

No VOCs, SVOCs, TPH, PCBs, pesticides, herbicides, or MCP 14 total metals were reported at concentrations exceeding MCP RCS-1 Reportable Concentrations.

Based on these results, a reportable release was not identified and no notification to MassDEP is required.

### **CONCLUSIONS AND RECOMMENDATIONS**

Soil samples from five soil borings completed as part of a geotechnical evaluation for a new school building were visually characterized and screened for VOCs with a PID. The presence of oily sheen or other contamination was not observed and no positive PID results were reported.

One soil sample from each of the five soil borings (B-1, B-3, B-4, B-5, and B-8) was submitted for laboratory analysis. No VOCs, SVOCs, TPH, PCBs, pesticides, herbicides, or MCP 14 total metals were reported at concentrations exceeding MCP RCS-1 Reportable Concentrations that would require notification to the MassDEP. Each soil sample represents a specific location/depth on the site and the presence/absence of analyzed chemical compounds applies only to that location/depth.

The observed soils at the sampled locations appear to be suitable for reuse on-site (from an environmental standpoint only), or offsite transport consistent with the anti-degradation provisions contained in the MCP at 310 CMR 40.0032(3).

The anti-degradation provisions at 40.0032(3) allow onsite reuse or offsite transport without notice to or approval from the MassDEP, provided that the soils “are not disposed or reused at locations where existing concentrations of oil and/or hazardous material at the receiving site are significantly lower than the levels of those oil and/or hazardous materials present in the soil being disposed or reused”.

FSE compared the observed analytical results to a typical RCS-1 receiving facility and landfill reuse criteria. The site soils, where tested, are suitable for reuse at typical RCS-1 receiving facilities and lined and unlined landfills. Acceptance by offsite receiving facilities is dependent on general criteria published in the MassDEP Policy # COMM-97-001, and other facility-specific permit requirements. Determination of final offsite soil reuse/disposal, if required by the project design, will require additional sampling depending on the receiving facility’s permit conditions and the volume of soil to be transported. The analytical results for the five soil boring locations described in this report are only representative of soils located at those soil boring locations.

## **LIMITATIONS AND CONDITIONS**

FSE has completed a Preliminary Soil Characterization for the subject property. The findings and conclusions are limited to the information available at the time of the investigation and the scope of services as defined. No conclusion can be made relative to the presence or absence of OHM at locations where soil borings were not located. No other conclusions, interpretations, or recommendations are contained or implied in this report other than those expressed. Also, FSE makes no warranty, expressed or implied, on the accuracy of the work and information completed by others and upon which FSE has relied to prepare this report. Additional data subsequently provided, disclosed, or produced may alter findings or conclusions made in this report. FSE is under no obligation to update this report to reflect such subsequent information. The findings presented in this report are based upon the information reasonably available and observed site conditions at the time of this assessment. This report may not be relied on by any party other than the Client with whom FSE has been contracted to prepare this report. No other use of this report is warranted without the written consent of FS Engineers, Inc.

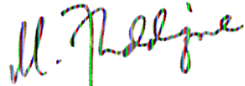
Please contact me with any questions regarding the procedures or results presented herein.

**Soil Characterization Report  
Galvin Middle School, Canton, MA**

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Very truly yours,

FS ENGINEERS, INC.



Farooq Siddique, PE, LSP  
Principal

Attachments: Table 1. Soil Analytical Results – August 2023  
Appendix A. Site Plan with Soil Boring Locations  
Appendix B. Laboratory Certificates of Analysis



Table 1  
Galvin Middle School  
55 Pecunit Street  
Canton, MA  
Soil Analysis Results, August 2023

Lab Sample Id Collection Date Client Id Matrix SDG: GCO80138 Project: GALVIN MS	Units	MA CMR-S1	MA CMR-S2	MA COMM 97 Un-lined	MA COMM 97 Lined	MA MA	MA Soil UCLs	CO80138 08/15/2023 B-1 SOIL	CO80139 08/15/2023 B-3 SOIL	CO80140 08/15/2023 B-4 SOIL	CO80141 08/15/2023 B-5 SOIL	CO80142 08/15/2023 B-8 SOIL	
		Result	RL	Result	RL	Result	RL	Result	RL	Result	RL	Result	RL
<b>Miscellaneous/Inorganics</b>													
Conductivity - Soil Matrix	umhos/cm	205	5	205	5	205	5	205	5	149	5	123	5
Corrosivity	Pos/Neg	Negative		Negative		Negative		Negative		Negative		Negative	
Flash Point	Degree F	>200	200	>200	200	>200	200	>200	200	>200	200	>200	200
Ignitability	Degree F	140	140	140	140	140	140	140	140	140	140	140	140
Percent Solid	%	91	1	91	1	91	1	91	1	87	1	86	1
pH at 25C - Soil	pH Units	6.42	1	6.41	1	6.41	1	6.41	1	5.88	1	6.6	1
Reactivity	Pos/Neg	Negative		Negative		Negative		Negative		Negative		Negative	
Reactivity Cyanide	mg/kg	<1	1	<1	1	<1	1	<1	1	<1	1	<1	1
Reactivity Sulfide	mg/kg	<20	20	<20	20	<20	20	<20	20	<20	20	<20	20
<b>Metals Total</b>													
Antimony	mg/kg	<3.7	3.7	<3.3	3.3	<3.3	3.3	<3.3	3.3	<3.9	3.9	<3.9	3.9
Arsenic	mg/kg	1.26	0.74	2.3	0.66	2.3	0.66	2.3	0.66	3.22	0.78	3.81	0.67
Barium	mg/kg	31.3	0.37	27.7	0.33	27.7	0.33	27.7	0.33	26	0.39	37.5	0.39
Beryllium	mg/kg	0.43	0.3	0.35	0.27	0.35	0.27	0.35	0.27	0.51	0.31	0.41	0.31
Cadmium	mg/kg	0.7	0.37	0.84	0.33	0.84	0.33	0.84	0.33	1.06	0.39	1.11	0.34
Chromium	mg/kg	13.7	0.37	13.7	0.33	13.7	0.33	13.7	0.33	17.8	0.39	18.4	0.39
Lead	mg/kg	6.72	0.37	8.23	0.33	8.23	0.33	8.23	0.33	7.35	0.39	17	0.39
Mercury	mg/kg	<0.03	0.03	<0.03	0.03	<0.03	0.03	<0.03	0.03	<0.03	0.03	<0.03	0.03
Nickel	mg/kg	9.79	0.37	10.3	0.33	10.3	0.33	10.3	0.33	12.1	0.39	12	0.39
Selenium	mg/kg	<1.5	1.5	<1.3	1.3	<1.3	1.3	<1.3	1.3	<1.6	1.6	<1.6	1.6
Silver	mg/kg	<0.37	0.37	<0.33	0.33	<0.33	0.33	<0.33	0.33	<0.39	0.39	<0.39	0.39
Thallium	mg/kg	<3.3	3.3	<3.0	3	<3.0	3	<3.0	3	<3.5	3.5	<3.5	3.5
Vanadium	mg/kg	22.7	0.37	21.8	0.33	21.8	0.33	21.8	0.33	36	0.39	26.5	0.39
Zinc	mg/kg	28.9	0.7	30.4	0.7	30.4	0.7	30.4	0.7	29.3	0.8	37.1	0.8
<b>Chlorinated Herbicides - SW8151A</b>													
2,4,5-T	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
2,4,5-TP (Silvex)	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
2,4-D	ug/kg	<54	54	<53	53	<53	53	<53	53	<57	57	<58	58
2,4-DB	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
Dalapon	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
Dicamba	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
Dichloroprop	ug/kg	<41	41	<40	40	<40	40	<40	40	<43	43	<43	43
Dinoseb	ug/kg	<27	27	<27	27	<27	27	<27	27	<29	29	<29	29
MCPA	ug/kg	<3300	3300	<3300	3300	<3300	3300	<3300	3300	<3300	3300	<3300	3300
MCPP	ug/kg	<3300	3300	<3200	3200	<3200	3200	<3300	3300	<3300	3300	<3300	3300
<b>Oxygenates &amp; Dioxane - SW8260D (OXY)</b>													
1,4-Dioxane	ug/kg	<110	110	<120	120	<120	120	<120	120	<140	140	<130	130
Di-isopropyl ether	ug/kg	<5.3	5.3	<5.9	5.9	<5.9	5.9	<5.9	5.9	<7.1	7.1	<6.3	6.3
Diethyl ether	ug/kg	<5.3	5.3	<5.9	5.9	<5.9	5.9	<5.9	5.9	<7.1	7.1	<6.3	6.3
Ethyl tert-butyl ether	ug/kg	<5.3	5.3	<5.9	5.9	<5.9	5.9	<5.9	5.9	<7.1	7.1	<6.3	6.3
tert-amyl methyl ether	ug/kg	<5.3	5.3	<5.9	5.9	<5.9	5.9	<5.9	5.9	<7.1	7.1	<6.3	6.3

Lab Sample Id Collection Date Client Id Matrix SDG: GC080138 Project: GALVIN MS	Units	MA CMR-S1	MA CMR-S2	MA COMM 97 Un-Lined	MA COMM 97 Lined	MA Soil UCLs	CO80138 08/15/2023 B-1 SOIL	CO80139 08/15/2023 B-3 SOIL	CO80140 08/15/2023 B-4 SOIL	CO80141 08/15/2023 B-5 SOIL	CO80142 08/15/2023 B-8 SOIL
		Result	Result	Result	Result	Result	Result	Result	Result	Result	Result
<b>Pesticides - SW8081B</b>											
4,4'-DDD	ug/kg	8000	40000			600000	<7.2	<7.2	<7.5	<6.6	<7.7
4,4'-DDE	ug/kg	6000	30000			600000	<7.2	<7.2	<7.5	<6.6	<7.7
4,4'-DDT	ug/kg	6000	30000			600000	<7.2	<7.2	<7.5	<6.6	<7.7
a-BHC	ug/kg	50000	500000				<7.2	<7.2	<7.5	<6.6	<7.7
Alachlor	ug/kg	100000	1000000			30000	<7.2	<7.2	<7.5	<6.6	<7.7
Aldrin	ug/kg	80	500				<3.6	<3.6	<3.7	<3.3	<3.9
b-BHC	ug/kg	10000	100000				<7.2	<7.2	<7.5	<6.6	<7.7
Chlordane	ug/kg	700	30000				<14	<14	<15	<13	<15
d-BHC	ug/kg	10000	100000				<7.2	<7.2	<7.5	<6.6	<7.7
Dieldrin	ug/kg	80	500			30000	<3.6	<3.6	<3.7	<3.3	<3.9
Endosulfan I	ug/kg	500	1000				<7.2	<7.2	<7.5	<6.6	<7.7
Endosulfan II	ug/kg	500	1000				<7.2	<7.2	<7.5	<6.6	<7.7
Endosulfan sulfate	ug/kg						<7.2	<7.2	<7.5	<6.6	<7.7
Endrin	ug/kg	10000	20000			200000	<7.2	<7.2	<7.5	<6.6	<7.7
Endrin aldehyde	ug/kg	10000	100000				<7.2	<7.2	<7.5	<6.6	<7.7
Endrin ketone	ug/kg						<7.2	<7.2	<7.5	<6.6	<7.7
g-BHC	ug/kg	3	500			600000	<1.4	<1.4	<1.5	<1.3	<1.5
Heptachlor	ug/kg	300	2000			100000	<7.2	<7.2	<7.5	<6.6	<7.7
Heptachlor epoxide	ug/kg	100	900			10000	<7.2	<7.2	<7.5	<6.6	<7.7
Hexachlorobenzene	ug/kg	700	800			8000	<3.6	<3.6	<3.7	<3.3	<3.9
Methoxychlor	ug/kg	200000	400000			4000000	<36	<36	<37	<33	<39
Toxaphene	ug/kg	10000	100000				<140	<140	<150	<130	<150
<b>Polychlorinated Biphenyls - SW8082A</b>											
PCB-1016	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1221	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1232	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1242	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1248	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1254	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1260	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1262	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
PCB-1268	ug/kg	1000	4000	2000	2000		<72	<72	<75	<66	<77
<b>Semivolatiles - SW8270D</b>											
1,1-Biphenyl	ug/kg	50	6000			10000000	<50	<50	<50	<50	<50
1,2,4,5-Tetrachlorobenzene	ug/kg	1000000	10000000				<250	<250	<260	<240	<260
1,2,4-Trichlorobenzene	ug/kg	2000	6000			10000000	<250	<250	<260	<240	<260
1,2-Dichlorobenzene	ug/kg	9000	100000			10000000	<250	<250	<260	<240	<260
1,2-Diphenylhydrazine	ug/kg	50000	500000				<360	<360	<370	<340	<380
1,3-Dichlorobenzene	ug/kg	3000	200000			5000000	<250	<250	<260	<240	<260
1,4-Dichlorobenzene	ug/kg	700	1000			10000000	<250	<250	<260	<240	<260
2,2-Oxybis(1-Chloropropane)	ug/kg	700	700			10000000	<250	<250	<260	<240	<260
2,4,5-Trichlorophenol	ug/kg	4000	600000			10000000	<250	<250	<260	<240	<260
2,4,6-Trichlorophenol	ug/kg	700	20000			4000000	<250	<250	<260	<240	<260
2,4-Dichlorophenol	ug/kg	700	40000			8000000	<250	<250	<260	<240	<260

Lab Sample Id Collection Date Client Id Matrix SDG: GC080138 Project: GALVIN MS	Units	MA CVR-S1	MA CVR-S2	MA COMM 97 Un-Lined	MA COMM 97 Lined	MA Soil UCLs	CO80138 08/15/2023 B-1 SOIL	CO80139 08/15/2023 B-3 SOIL	CO80140 08/15/2023 B-4 SOIL	CO80141 08/15/2023 B-5 SOIL	CO80142 08/15/2023 B-8 SOIL
		Result	Result	Result	Result	Result	Result	Result	Result	Result	Result
2,4-Dimethylphenol	ug/Kg	700	1000000			1000000000	<250	<250	<260	<240	<260
2,4-Dinitrophenol	ug/Kg	3000	50000			800000000	<360	<360	<370	<340	<380
2,4-Dinitrotoluene	ug/Kg	700	10000			8000000	<250	<250	<240	<240	<260
2,6-Dinitrotoluene	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
2-Chloronaphthalene	ug/Kg	100000000	1000000000				<250	<250	<260	<240	<260
2-Chlorophenol	ug/Kg	700	100000			300000000	<250	<250	<260	<240	<260
2-Methylnaphthalene	ug/Kg	700	80000			500000000	<250	<250	<260	<240	<260
2-Methylphenol (o-cresol)	ug/Kg	5000000	500000000				<250	<250	<260	<240	<260
2-Nitroaniline	ug/Kg	1000000	100000000				<360	<360	<370	<340	<380
2-Nitrophenol	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
3&4-Methylphenol (m&p-cresol)	ug/Kg	3000	20000			100000000	<360	<360	<370	<340	<380
3,3'-Dichlorobenzidine	ug/Kg	50000	5000000				<250	<250	<260	<240	<260
3-Nitroaniline	ug/Kg	1000000	100000000				<360	<360	<370	<340	<380
4,6-Dinitro-2-methylphenol	ug/Kg	1000000	100000000				<360	<360	<370	<340	<380
4-Bromophenyl phenyl ether	ug/Kg	1000000	100000000				<360	<360	<370	<340	<380
4-Chloro-3-methylphenol	ug/Kg	1000	3000			4000000	<250	<250	<240	<240	<260
4-Chloroaniline	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
4-Chlorophenyl phenyl ether	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
4-Nitroaniline	ug/Kg	100000000	10000000000				<580	<570	<600	<540	<600
4-Nitrophenol	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
Acenaphthene	ug/Kg	4000	3000000			1000000000	<250	<250	<260	<240	<260
Acenaphthylene	ug/Kg	1000	10000			1000000000	<250	<250	<260	<240	<260
Acetophenone	ug/Kg	100000000	10000000000			10000000000	<250	<250	<260	<240	<260
Aniline	ug/Kg	100000000	10000000000			10000000000	<250	<250	<260	<240	<260
Anthracene	ug/Kg	100000000	10000000000			10000000000	<250	<250	<260	<240	<260
Benz(a)anthracene	ug/Kg	7000	40000			300000000	<250	<250	<260	<240	<260
Benzo(a)pyrene	ug/Kg	10000	100000			300000000	<250	<250	<260	<240	<260
Benzo(b)fluoranthene	ug/Kg	2000	7000			300000000	<250	<250	<260	<240	<260
Benzo(k)fluoranthene	ug/Kg	70000	4000000			300000000	<250	<250	<260	<240	<260
Benzo(k)fluoranthene	ug/Kg	100000000	10000000000			10000000000	<250	<250	<260	<240	<260
Benzoic acid	ug/Kg	100000000	10000000000			10000000000	<730	<710	<750	<670	<750
Benzyl butyl phthalate	ug/Kg	1000000	100000000				<250	<250	<260	<240	<260
Bis(2-chloroethoxy)methane	ug/Kg	5000000	500000000				<250	<250	<260	<240	<260
Bis(2-chloroethyl)ether	ug/Kg	700	700			8000000	<360	<360	<370	<340	<380
Bis(2-ethylhexyl)phthalate	ug/Kg	900000	6000000			1000000000	<360	<360	<370	<340	<380
Carbazole	ug/Kg	70000	400000			1000000000	<250	<250	<260	<240	<260
Chrysene	ug/Kg	50000	5000000			1000000000	<360	<360	<370	<340	<380
Di-n-butylphthalate	ug/Kg	100000000	10000000000			10000000000	<250	<250	<260	<240	<260
Di-n-octylphthalate	ug/Kg	700	4000			300000000	<250	<250	<260	<240	<260
Dibenz(a,h)anthracene	ug/Kg	1000000	100000000			10000000000	<250	<250	<260	<240	<260
Dibenzofuran	ug/Kg	1000000	100000000			10000000000	<250	<250	<260	<240	<260
Diethyl phthalate	ug/Kg	10000	2000000			10000000000	<250	<250	<260	<240	<260
Dimethylphthalate	ug/Kg	700	50000			10000000000	<250	<250	<260	<240	<260
Fluoranthene	ug/Kg	100000000	300000000			10000000000	<250	<250	<260	<240	<260
Fluorene	ug/Kg	100000000	300000000			10000000000	<250	<250	<260	<240	<260
Hexachlorobenzene	ug/Kg	700	800			80000	<250	<250	<260	<240	<260

Lab Sample Id Collection Date Client Id Matrix SDG: GCO80138 Project: GALVIN MS	Units	MA CMR-S1	MA CMR-S2	MA COMM 97 Un-Lined	MA COMM 97 Lined	MA Soil UCLs	CO80138 08/15/2023 B-1 SOIL	CO80139 08/15/2023 B-3 SOIL	CO80140 08/15/2023 B-4 SOIL	CO80141 08/15/2023 B-5 SOIL	CO80142 08/15/2023 B-8 SOIL
							Result	Result	Result	Result	Result
Hexachlorobutadiene	ug/kg	30000	100000			1000000	<250	<250	<260	<240	<260
Hexachlorocyclopentadiene	ug/kg	50000	500000			2000000	<250	<250	<260	<240	<260
Hexachloroethane	ug/kg	700	3000			3000000	<250	<250	<260	<240	<260
Indeno(1,2,3-cd)pyrene	ug/kg	7000	40000				<250	<250	<260	<240	<260
Isophorone	ug/kg	100000	1000000				<250	<250	<260	<240	<260
N-Nitrosodi-n-propylamine	ug/kg	50000	500000				<250	<250	<260	<240	<260
N-Nitrosodimethylamine	ug/kg	50000	500000				<360	<360	<370	<340	<380
N-Nitrosodiphenylamine	ug/kg	100000	1000000				<360	<360	<370	<340	<380
Naphthalene	ug/kg	4000	20000			10000000	<250	<250	<260	<240	<260
Nitrobenzene	ug/kg	500000	5000000				<250	<250	<260	<240	<260
Pentachloronitrobenzene	ug/kg	100000	1000000				<360	<360	<370	<340	<380
Pentachlorophenol	ug/kg	3000	10000			700000	<360	<360	<370	<340	<380
Phenanthrene	ug/kg	10000	100000			10000000	<250	<250	<260	<240	<260
Phenol	ug/kg	1000	20000			10000000	<250	<250	<260	<240	<260
Pyrene	ug/kg	1000000	3000000			10000000	<250	<250	<260	<240	<260
Pyridine	ug/kg	500000	5000000				<360	<360	<370	<340	<380
<b>TPH by GC (Extractable (C9-C36)) - SW8015D DRO</b>											
Fuel Oil #2 / Diesel Fuel	mg/kg						<53	<54	<56	<50	<58
Fuel Oil #4	mg/kg						<53	<54	<56	<50	<58
Fuel Oil #6	mg/kg						<53	<54	<56	<50	<58
Kerosene	mg/kg						<53	<54	<56	<50	<58
Motor Oil	mg/kg						<53	<54	<56	<50	<58
Total TPH	mg/kg	1000	3000	2500	5000		<53	96	<56	<50	160
Unidentified	mg/kg						<53	**	<56	<50	**
<b>Volatiles - SW8260D</b>											
1,1,1,2-Tetrachloroethane	ug/kg	100	100			5000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,1,1-Trichloroethane	ug/kg	30000	600000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,1,2,2-Tetrachloroethane	ug/kg	5	20			4000000	<3.2	<3.5	<4.3	<3.6	<3.8
1,1,2-Trichloroethane	ug/kg	100	2000			5000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,1-Dichloroethane	ug/kg	400	9000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,1-Dichloropropene	ug/kg	3000	40000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,2,3-Trichlorobenzene	ug/kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
1,2,3-Trichloropropane	ug/kg	2000	6000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,2,4-Trichlorobenzene	ug/kg	1000000	10000000				<5.3	<5.9	<7.1	<6.0	<6.3
1,2,4-Trimethylbenzene	ug/kg	10000	100000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,2-Dibromo-3-chloropropane	ug/kg	100	1000			400000	<0.53	<0.59	<0.71	<0.60	<0.63
1,2-Dichloroethane	ug/kg	9000	100000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,2-Dichlorobenzene	ug/kg	100	100			9000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,2-Dichloropropane	ug/kg	100	100			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,3,5-Trimethylbenzene	ug/kg	10000	100000			5000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,3-Dichlorobenzene	ug/kg	3000	20000			5000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,3-Dichloropropane	ug/kg	500000	5000000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3
1,4-Dichlorobenzene	ug/kg	700	1000			10000000	<5.3	<5.9	<7.1	<6.0	<6.3

Lab Sample Id Collection Date Client Id Matrix SDG: GC080138 Project: GALVIN MS	Units	MA CMR-S1	MA CMR-S2	MA COMM 97 Un-Lined	MA COMM 97 Lined	MA Soil UCLs	CO80138 08/15/2023 B-1 SOIL	CO80139 08/15/2023 B-3 SOIL	CO80140 08/15/2023 B-4 SOIL	CO80141 08/15/2023 B-5 SOIL	CO80142 08/15/2023 B-8 SOIL
				Result	RL	Result	RL	Result	RL	Result	RL
2,2-Dichloropropane	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
2-Chlorotoluene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
2-Hexanone	ug/Kg	100000	1000000				<27	<29	<36	<30	<32
2-Isopropyltoluene	ug/Kg						<5.3	<5.9	<7.1	<6.0	<6.3
4-Chlorotoluene	ug/Kg						<5.3	<5.9	<7.1	<6.0	<6.3
4-Methyl-2-pentanone	ug/Kg	400	5000				<27	<29	<36	<30	<32
Acetone	ug/Kg	6000	50000				<270	<290	<360	<300	<320
Acrylonitrile	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Benzene	ug/Kg	2000	20000				<5.3	<5.9	<7.1	<6.0	<6.3
Bromobenzene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Bromochloromethane	ug/Kg	100	100				<5.3	<5.9	<7.1	<6.0	<6.3
Bromodichloromethane	ug/Kg	100	100				<5.3	<5.9	<7.1	<6.0	<6.3
Bromoforn	ug/Kg	100	1000				<5.3	<5.9	<7.1	<6.0	<6.3
Bromomethane	ug/Kg	500	500				<5.3	<5.9	<7.1	<6.0	<6.3
Bromomethane	ug/Kg	10000	100000				<5.3	<5.9	<7.1	<6.0	<6.3
Carbon tetrachloride	ug/Kg	5000	5000				<5.3	<5.9	<7.1	<6.0	<6.3
Chlorobenzene	ug/Kg	1000	3000				<5.3	<5.9	<7.1	<6.0	<6.3
Chloroethane	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Chloroform	ug/Kg	200	200				<5.3	<5.9	<7.1	<6.0	<6.3
Chloromethane	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
cis-1,2-Dichloroethene	ug/Kg	100	100				<5.3	<5.9	<7.1	<6.0	<6.3
cis-1,3-Dichloropropene	ug/Kg	10	100				<5.3	<5.9	<7.1	<6.0	<6.3
Dibromochloromethane	ug/Kg	5	30				<3.2	<3.5	<4.3	<3.6	<3.8
Dibromomethane	ug/Kg	500000	5000000				<5.3	<5.9	<7.1	<6.0	<6.3
Dichlorodifluoromethane	ug/Kg	10000000	100000000				<5.3	<5.9	<7.1	<6.0	<6.3
Ethylbenzene	ug/Kg	40000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Hexachlorobutadiene	ug/Kg	30000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Isopropylbenzene	ug/Kg	1000000	10000000				<5.3	<5.9	<7.1	<6.0	<6.3
m&p-Xylene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Methyl Ethyl Ketone	ug/Kg	4000	50000				<32	<35	<43	<36	<38
Methyl t-butyl ether (MTBE)	ug/Kg	100	1000000				<11	<12	<14	<12	<13
Methylene chloride	ug/Kg	100	4000				<11	<12	<14	<12	<13
n-Butylbenzene	ug/Kg						<5.3	<5.9	<7.1	<6.0	<6.3
n-Propylbenzene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Naphthalene	ug/Kg	4000	20000				<5.3	<5.9	<7.1	<6.0	<6.3
o-Xylene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
p-Isopropyltoluene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
sec-Butylbenzene	ug/Kg						<5.3	<5.9	<7.1	<6.0	<6.3
Styrene	ug/Kg	3000	4000				<5.3	<5.9	<7.1	<6.0	<6.3
tert-Butylbenzene	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Tetrachloroethene	ug/Kg	1000	10000				<5.3	<5.9	<7.1	<6.0	<6.3
Tetrahydrofuran (THF)	ug/Kg	500000	5000000				<11	<12	<14	<12	<13
Toluene	ug/Kg	30000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
Total Xylenes	ug/Kg	100000	1000000				<5.3	<5.9	<7.1	<6.0	<6.3
trans-1,2-Dichloroethene	ug/Kg	1000	1000				<5.3	<5.9	<7.1	<6.0	<6.3
trans-1,3-Dichloropropene	ug/Kg	10	100				<5.3	<5.9	<7.1	<6.0	<6.3
trans-1,4-dichloro-2-butene	ug/Kg	10000	100000				<11	<12	<14	<12	<13
Trichloroethene	ug/Kg	300	300				<5.3	<5.9	<7.1	<6.0	<6.3
Trichlorofluoromethane	ug/Kg	1000000	10000000				<5.3	<5.9	<7.1	<6.0	<6.3
Trichlorotrifluoroethane	ug/Kg	700	700				<11	<12	<14	<12	<13
Vinyl chloride	ug/Kg						<5.3	<5.9	<7.1	<6.0	<6.3

Result Detected

RL Exceeds Criteria

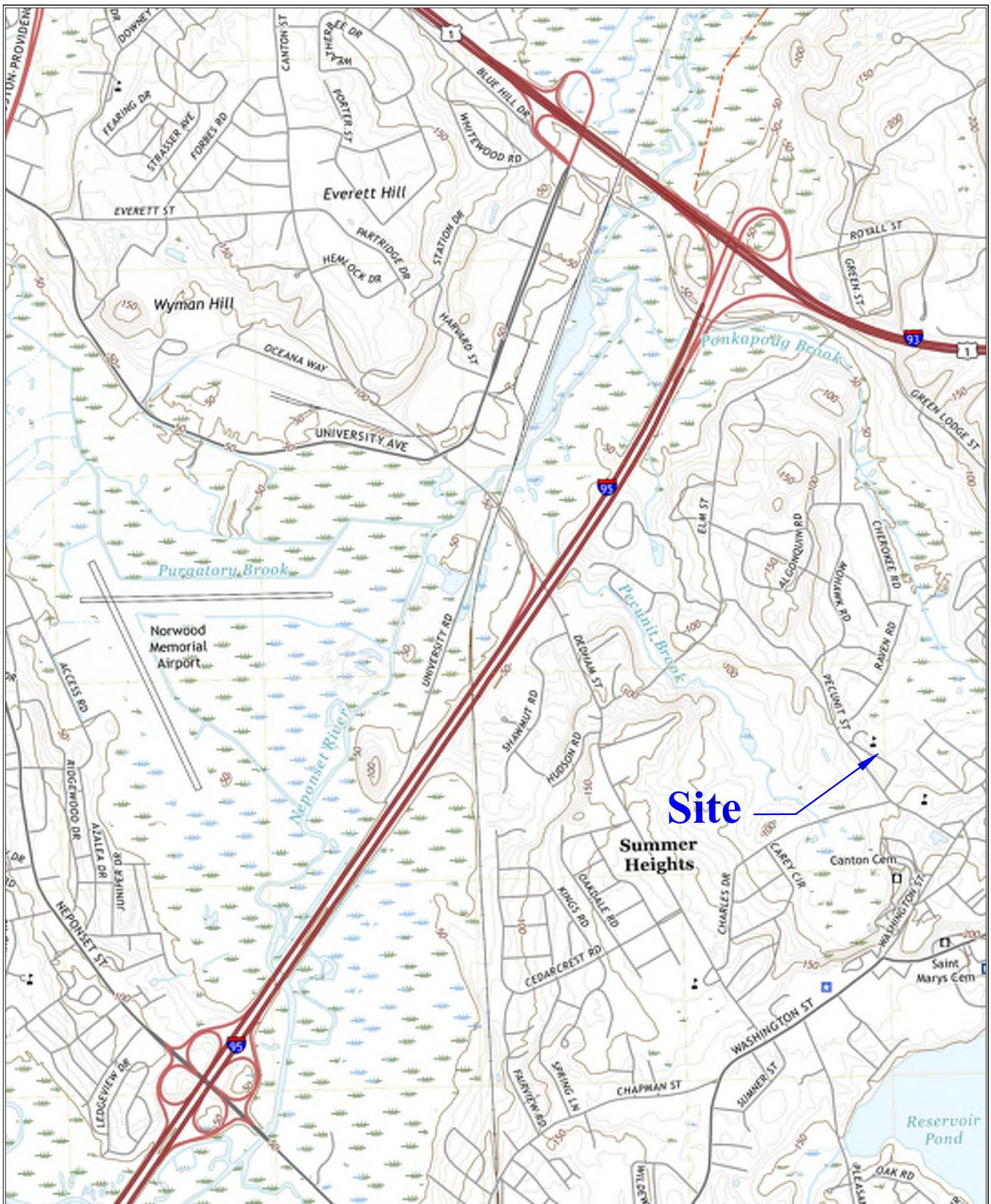
Result Exceeds Criteria

**APPENDIX A**

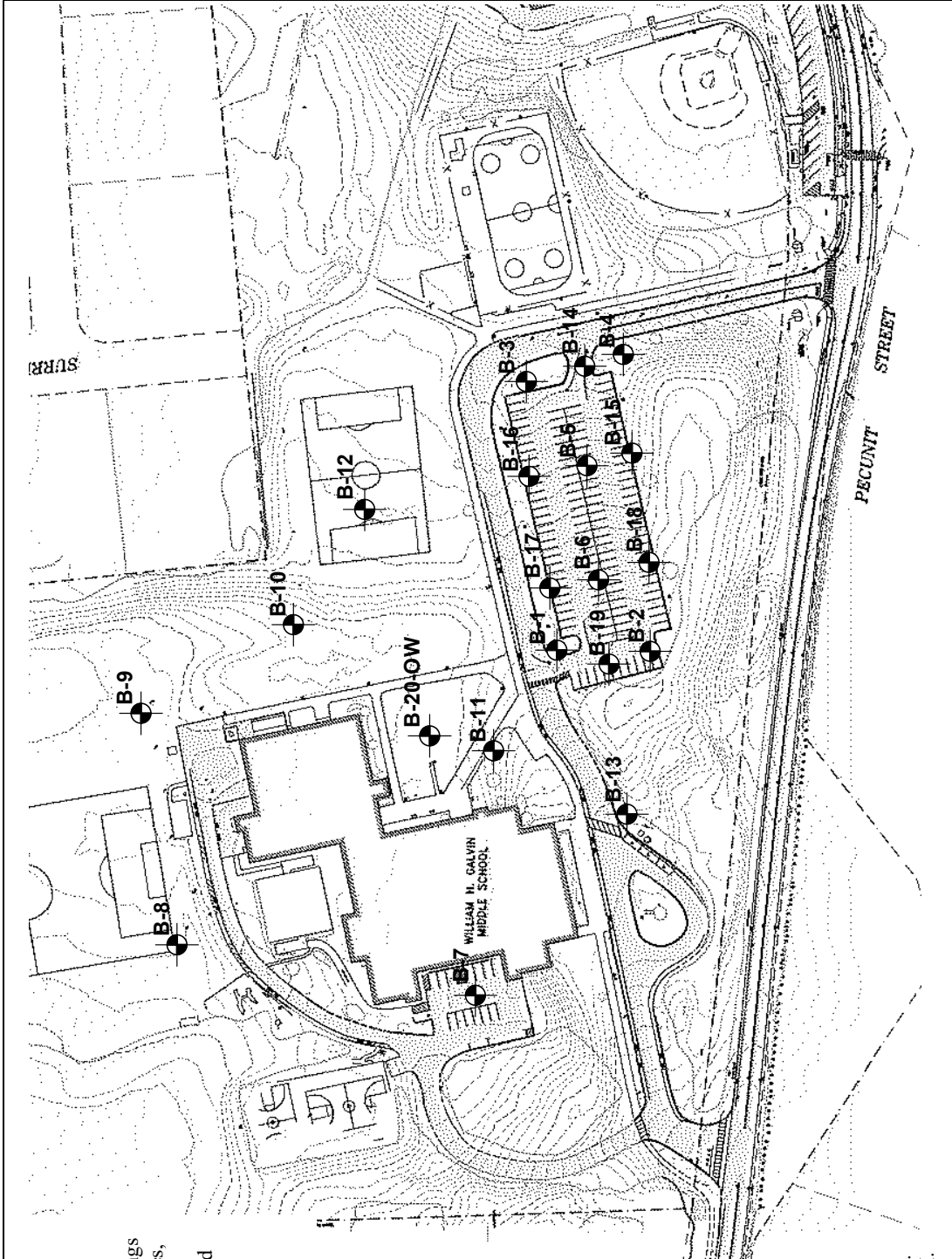
**SITE PLAN WITH SOIL BORING LOCATIONS**

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**FS ENGINEERS, INC.**

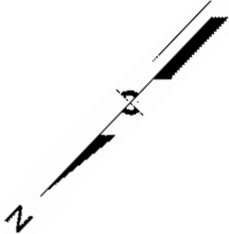


<p>SITE LOCATION MAP</p>	<p><b>FS ENGINEERS, INC.</b> 42 NONSET PATH, SUITE 42-1 ACTON, MA 01720 TEL. (978) 274 - 2830</p>	<p><b>GALVIN MIDDLE SCHOOL</b> <b>55 PECUNIT STREET</b> <b>CANTON, MASSACHUSETTS</b></p>	<p>SOURCES: USGS 7.5 X 7.5 Minute Quadrangle Topographic Maps</p>
<p>FIGURE 1</p>			
<p>SCALE 1:24,000</p>			

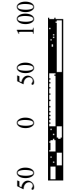


**Legend**


 Approximate location of borings advanced by Northern Drill Services, Inc. (NDS) of Northborough, MA between August 9 and 15, 2023, and observed by Lahlaf Geotechnical Consulting, Inc. (LGCI).



Approximate Scale (ft)



**Note**  
 Figure based on drawings titled: "Aerial Mapping Survey, William H. Galvin Middle School & Lt. Peter M. Hansen School, 55 Pecunit Street, Canton, Massachusetts (Norfolk County)," prepared by Welch Associates Land Surveyors, Inc., dated September 7, 2023, and provided to LGCI by Ai3 Architects LLC via e-mail on September 14, 2023.

Client:  	Project: Proposed Galvin Middle School  Project Location: Canton, MA	Figure 3 – Boring Location Plan  LGCI Project No.: 2329
		Date: Sept. 2023



## **APPENDIX B**

### **LABORATORY CERTIFICATES OF ANALYSIS**

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**FS ENGINEERS, INC.**



Monday, September 11, 2023

Attn: Mr. Farooq Siddique  
FS Engineers, Inc.  
42 Nonset Path, Suite 42-1  
Acton, MA 01720

Project ID: GALVIN MS  
SDG ID: GCO80138  
Sample ID#s: CO80138 - CO80142

This laboratory is in compliance with the NELAC requirements of procedures used except where indicated.

This report contains results for the parameters tested, under the sampling conditions described on the Chain Of Custody, as received by the laboratory. This report is incomplete unless all pages indicated in the pagination at the bottom of the page are included.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

A scanned version of the COC form accompanies the analytical report and is an exact duplicate of the original.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.

Sincerely yours,

A handwritten signature in black ink that reads "Phyllis Shiller". The signature is written in a cursive style.

Phyllis Shiller  
Laboratory Director

NELAC - #NY11301  
CT Lab Registration #PH-0618  
MA Lab Registration #M-CT007  
ME Lab Registration #CT-007  
NH Lab Registration #213693-A,B

NJ Lab Registration #CT-003  
NY Lab Registration #11301  
PA Lab Registration #68-03530  
RI Lab Registration #63  
VT Lab Registration #VT11301



Environmental Laboratories, Inc.  
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823



## SDG Comments

September 11, 2023

SDG I.D.: GCO80138

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Phoenix reporting levels may exceed those referenced in the CAM protocol. Please refer to criteria sheet for comparisons to requested MCP standards.

1,1-Biphenyl is evaluated below the lowest calibration standard in order to meet the MA S1 criteria.



Environmental Laboratories, Inc.  
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823

## Sample Id Cross Reference

September 11, 2023

SDG I.D.: GCO80138

Project ID: GALVIN MS

---

Client Id	Lab Id	Matrix
B-1	CO80138	SOIL
B-3	CO80139	SOIL
B-4	CO80140	SOIL
B-5	CO80141	SOIL
B-8	CO80142	SOIL



**Environmental Laboratories, Inc.**  
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
 Tel. (860) 645-1102 Fax (860) 645-0823

**Analysis Report**  
 September 11, 2023

FOR: Attn: Mr. Farooq Siddique  
 FS Engineers, Inc.  
 42 Nonset Path, Suite 42-1  
 Acton, MA 01720

Sample Information

Matrix: SOIL  
 Location Code: FS-ENG  
 Rush Request: Standard  
 P.O.#: 23-1891

Custody Information

Collected by:  
 Received by: CP  
 Analyzed by: see "By" below

Date

08/15/23  
 08/22/23

Time

16:16

Laboratory Data

SDG ID: GCO80138  
 Phoenix ID: CO80138

Project ID: GALVIN MS  
 Client ID: B-1

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Silver	< 0.37	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Arsenic	1.26	0.74	mg/Kg	1	09/03/23	CPP	SW6010D
Barium	31.3	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Beryllium	0.43	0.30	mg/Kg	1	09/03/23	CPP	SW6010D
Cadmium	0.70	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Chromium	13.7	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Mercury	< 0.03	0.03	mg/Kg	2	09/01/23	PM	SW7471B
Nickel	9.79	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Lead	6.72	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Antimony	< 3.7	3.7	mg/Kg	1	09/03/23	CPP	SW6010D
Selenium	< 1.5	1.5	mg/Kg	1	09/03/23	CPP	SW6010D
Thallium	< 3.3	3.3	mg/Kg	1	09/03/23	CPP	SW6010D
Vanadium	22.7	0.37	mg/Kg	1	09/03/23	CPP	SW6010D
Zinc	28.9	0.7	mg/Kg	1	09/03/23	CPP	SW6010D
Percent Solid	91		%		08/23/23	CV	SW846-%Solid
Conductivity - Soil Matrix	205	5	umhos/cm	1	08/24/23	AKS	SW9050A
Corrosivity	Negative		Pos/Neg	1	08/23/23	JW	SW846-Corr
Flash Point	>200	200	Degree F	1	08/24/23	G	SW1010B
Ignitability	Passed	140	degree F	1	08/24/23	G	SW846-Ignit
pH at 25C - Soil	6.42	1.00	pH Units	1	08/23/23 00:40	JW	SW846 9045D
Reactivity Cyanide	< 1	1	mg/Kg	1	08/25/23	DK/GD	SW846 7.3.3.1/90
Reactivity Sulfide	< 20	20	mg/Kg	1	08/25/23	DK/GD	SW846 CH7
Reactivity	Negative		Pos/Neg	1	08/25/23	DK/GD	SW846-React
Field Extraction	Completed				08/15/23		SW5035A
Mercury Digestion	Completed				08/31/23	AL/ZT	SW7471B
Extraction of ETPH	Completed				08/28/23	H/PL	SW3546
Soil Extraction for Herbicide	Completed				08/28/23	P/D	SW3546

Project ID: GALVIN MS  
Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Soil Extraction for PCB	Completed				08/28/23	C/F	SW3546
Soil Extraction for Pesticide	Completed				08/28/23	C/F	SW3546
Soil Extraction for SVOA	Completed				08/28/23	H/F	SW3546
Total Metals Digest	Completed				08/23/23	B/AG	SW3050B
<b><u>Chlorinated Herbicides</u></b>							
2,4,5-T	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
2,4,5-TP (Silvex)	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-D	ND	54	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-DB	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dalapon	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dicamba	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dichloroprop	ND	41	ug/Kg	2	08/29/23	KCA	SW8151A
Dinoseb	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
MCPA	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
MCPP	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
<b><u>QA/QC Surrogates</u></b>							
% DCAA	86		%	2	08/29/23	KCA	30 - 150 %
% DCAA (Confirmation)	93		%	2	08/29/23	KCA	30 - 150 %
<b><u>Polychlorinated Biphenyls</u></b>							
PCB-1016	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1221	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1232	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1242	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1248	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1254	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1260	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1262	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1268	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
<b><u>QA/QC Surrogates</u></b>							
% DCBP	73		%	2	08/29/23	SC	30 - 150 %
% DCBP (Confirmation)	77		%	2	08/29/23	SC	30 - 150 %
% TCMX	71		%	2	08/29/23	SC	30 - 150 %
% TCMX (Confirmation)	70		%	2	08/29/23	SC	30 - 150 %
<b><u>Pesticides</u></b>							
4,4' -DDD	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDE	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDT	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
a-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Alachlor	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Aldrin	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
b-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Chlordane	ND	14	ug/Kg	2	08/29/23	CN	SW8081B
d-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Dieldrin	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan I	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan II	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan sulfate	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B

Ver 1

Project ID: GALVIN MS  
 Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Endrin	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endrin aldehyde	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endrin ketone	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
g-BHC	ND	1.4	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor epoxide	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Hexachlorobenzene	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
Methoxychlor	ND	36	ug/Kg	2	08/29/23	CN	SW8081B
Toxaphene	ND	140	ug/Kg	2	08/29/23	CN	SW8081B
<b><u>QA/QC Surrogates</u></b>							
% DCBP	86		%	2	08/29/23	CN	30 - 150 %
% DCBP (Confirmation)	57		%	2	08/29/23	CN	30 - 150 %
% TCMX	81		%	2	08/29/23	CN	30 - 150 %
% TCMX (Confirmation)	66		%	2	08/29/23	CN	30 - 150 %

**TPH by GC (Extractable (C9-C36))**

Fuel Oil #2 / Diesel Fuel	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #4	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #6	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Kerosene	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Motor Oil	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Total TPH	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO
Unidentified	ND	53	mg/kg	1	08/29/23	KCA	SW8015D DRO

**QA/QC Surrogates**

% COD (surr)	90		%	1	08/29/23	KCA	50 - 150 %
% Terphenyl (surr)	78		%	1	08/29/23	KCA	50 - 150 %

**Volatiles**

1,1,1,2-Tetrachloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,1-Trichloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2,2-Tetrachloroethane	ND	3.2	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2-Trichloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloropropene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichloropropane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trichlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trimethylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromo-3-chloropropane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromoethane	ND	0.53	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloropropane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,3,5-Trimethylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichloropropane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,4-Dichlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
2,2-Dichloropropane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
2-Chlorotoluene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D

Ver 1

Project ID: GALVIN MS  
Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
2-Hexanone	ND	27	ug/Kg	1	08/23/23	JLI	SW8260D
2-Isopropyltoluene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
4-Chlorotoluene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
4-Methyl-2-pentanone	ND	27	ug/Kg	1	08/23/23	JLI	SW8260D
Acetone	ND	270	ug/Kg	1	08/23/23	JLI	SW8260D
Acrylonitrile	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Benzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromochloromethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromodichloromethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromoform	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromomethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon Disulfide	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon tetrachloride	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chlorobenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroform	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloromethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,2-Dichloroethene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,3-Dichloropropene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromochloromethane	ND	3.2	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromomethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Dichlorodifluoromethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Ethylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Hexachlorobutadiene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Isopropylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
m&p-Xylene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl Ethyl Ketone	ND	32	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl t-butyl ether (MTBE)	ND	11	ug/Kg	1	08/23/23	JLI	SW8260D
Methylene chloride	ND	11	ug/Kg	1	08/23/23	JLI	SW8260D
Naphthalene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
n-Butylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
n-Propylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
o-Xylene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
p-Isopropyltoluene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
sec-Butylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Styrene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
tert-Butylbenzene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrachloroethene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrahydrofuran (THF)	ND	11	ug/Kg	1	08/23/23	JLI	SW8260D
Toluene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Total Xylenes	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,2-Dichloroethene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,3-Dichloropropene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,4-dichloro-2-butene	ND	11	ug/Kg	1	08/23/23	JLI	SW8260D
Trichloroethene	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorofluoromethane	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorotrifluoroethane	ND	11	ug/Kg	1	08/23/23	JLI	SW8260D
Vinyl chloride	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D



Project ID: GALVIN MS  
 Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<b><u>QA/QC Surrogates</u></b>							
% 1,2-dichlorobenzene-d4	100		%	1	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene	98		%	1	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane	98		%	1	08/23/23	JLI	70 - 130 %
% Toluene-d8	98		%	1	08/23/23	JLI	70 - 130 %
<b><u>Oxygenates &amp; Dioxane</u></b>							
1,4-Dioxane	ND	110	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Diethyl ether	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Di-isopropyl ether	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Ethyl tert-butyl ether	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
tert-amyl methyl ether	ND	5.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
<b><u>Semivolatiles</u></b>							
1,1-Biphenyl	ND	50	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4,5-Tetrachlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4-Trichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Diphenylhydrazine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
1,3-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,4-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,2'-Oxybis(1-Chloropropane)	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,5-Trichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,6-Trichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dimethylphenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrophenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrotoluene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,6-Dinitrotoluene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chloronaphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylnaphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylphenol (o-cresol)	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitroaniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitrophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
3&4-Methylphenol (m&p-cresol)	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
3,3'-Dichlorobenzidine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
3-Nitroaniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4,6-Dinitro-2-methylphenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4-Bromophenyl phenyl ether	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloro-3-methylphenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloroaniline	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chlorophenyl phenyl ether	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitroaniline	ND	580	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitrophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthylene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acetophenone	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Aniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D

Ver 1

Project ID: GALVIN MS  
Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Benz(a)anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzidine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(a)pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(b)fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(ghi)perylene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(k)fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzoic acid	ND	730	ug/Kg	1	08/29/23	KCA	SW8270D
Benzyl butyl phthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethoxy)methane	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethyl)ether	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-ethylhexyl)phthalate	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Carbazole	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Chrysene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenz(a,h)anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenzofuran	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Diethyl phthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dimethylphthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-butylphthalate	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-octylphthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Fluorene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobutadiene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorocyclopentadiene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachloroethane	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Indeno(1,2,3-cd)pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Isophorone	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Naphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Nitrobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodimethylamine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodi-n-propylamine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodiphenylamine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachloronitrobenzene	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachlorophenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Phenanthrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Phenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Pyridine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
<b><u>QA/QC Surrogates</u></b>							
% 2,4,6-Tribromophenol	96		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorobiphenyl	74		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorophenol	57		%	1	08/29/23	KCA	30 - 130 %
% Nitrobenzene-d5	65		%	1	08/29/23	KCA	30 - 130 %
% Phenol-d5	68		%	1	08/29/23	KCA	30 - 130 %
% Terphenyl-d14	92		%	1	08/29/23	KCA	30 - 130 %

Project ID: GALVIN MS  
 Client ID: B-1

Phoenix I.D.: CO80138

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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Massachusetts does not offer certification for Soil/Solid matrices.

RL/PQL=Reporting/Practical Quantitation Level ND=Not Detected BRL=Below Reporting Level

QA/QC Surrogates: Surrogates are compounds (preceeded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

**Comments:**

Per 1.4.6 of EPA method 8270D, 1,2-Diphenylhydrazine is unstable and readily converts to Azobenzene. Azobenzene is used for the calibration of 1,2-Diphenylhydrazine.

Corrosivity is based solely on the pH analysis performed above.

Ignitability is based solely on the results of the closed cup flashpoint analysis performed above. Passed is >140 degree F.

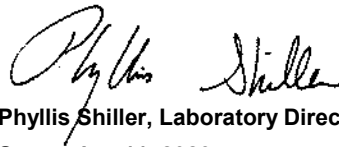
The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Cyanide. This method is no longer listed in the current version of SW-846.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Sulfide. This method is no longer listed in the current version of SW-846.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



**Phyllis Shiller, Laboratory Director**

**September 11, 2023**

**Reviewed and Released by: Phyllis Shiller, Laboratory Director**



### Environmental Laboratories, Inc.

587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823

## Analysis Report

September 11, 2023

FOR: Attn: Mr. Farooq Siddique  
FS Engineers, Inc.  
42 Nonset Path, Suite 42-1  
Acton, MA 01720

#### Sample Information

Matrix: SOIL  
Location Code: FS-ENG  
Rush Request: Standard  
P.O.#: 23-1891

#### Custody Information

Collected by:  
Received by: CP  
Analyzed by: see "By" below

#### Date

08/15/23

#### Time

16:16

### Laboratory Data

SDG ID: GCO80138  
Phoenix ID: CO80139

Project ID: GALVIN MS  
Client ID: B-3

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Silver	< 0.33	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Arsenic	2.30	0.66	mg/Kg	1	09/03/23	CPP	SW6010D
Barium	27.7	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Beryllium	0.35	0.27	mg/Kg	1	09/03/23	CPP	SW6010D
Cadmium	0.84	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Chromium	13.7	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Mercury	< 0.03	0.03	mg/Kg	2	09/06/23	AL1	SW7471B
Nickel	10.3	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Lead	8.23	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Antimony	< 3.3	3.3	mg/Kg	1	09/03/23	CPP	SW6010D
Selenium	< 1.3	1.3	mg/Kg	1	09/03/23	CPP	SW6010D
Thallium	< 3.0	3.0	mg/Kg	1	09/03/23	CPP	SW6010D
Vanadium	21.8	0.33	mg/Kg	1	09/03/23	CPP	SW6010D
Zinc	30.4	0.7	mg/Kg	1	09/03/23	CPP	SW6010D
Percent Solid	92		%		08/23/23	CV	SW846-%Solid
Conductivity - Soil Matrix	23	5	umhos/cm	1	08/24/23	AKS	SW9050A
Corrosivity	Negative		Pos/Neg	1	08/23/23	JW	SW846-Corr
Flash Point	>200	200	Degree F	1	08/24/23	G	SW1010B
Ignitability	Passed	140	degree F	1	08/24/23	G	SW846-Ignit
pH at 25C - Soil	6.41	1.00	pH Units	1	08/23/23 00:40	JW	SW846 9045D
Reactivity Cyanide	< 5	5	mg/Kg	1	08/25/23	DK/GD	SW846 7.3.3.1/90
Reactivity Sulfide	< 20	20	mg/Kg	1	08/25/23	DK/GD	SW846 CH7
Reactivity	Negative		Pos/Neg	1	08/25/23	DK/GD	SW846-React
Field Extraction	Completed				08/15/23		SW5035A
Mercury Digestion	Completed				09/06/23	AL/AL	SW7471B
Extraction of ETPH	Completed				08/28/23	H/PL	SW3546
Soil Extraction for Herbicide	Completed				08/28/23	P/D	SW3546

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Soil Extraction for PCB	Completed				08/28/23	C/F	SW3546
Soil Extraction for Pesticide	Completed				08/28/23	C/F	SW3546
Soil Extraction for SVOA	Completed				08/28/23	H/F	SW3546
Total Metals Digest	Completed				08/23/23	B/AG	SW3050B

**Chlorinated Herbicides**

2,4,5-T	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
2,4,5-TP (Silvex)	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-D	ND	53	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-DB	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dalapon	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dicamba	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
Dichloroprop	ND	40	ug/Kg	2	08/29/23	KCA	SW8151A
Dinoseb	ND	27	ug/Kg	2	08/29/23	KCA	SW8151A
MCPA	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
MCPP	ND	3200	ug/Kg	2	08/29/23	KCA	SW8151A

**QA/QC Surrogates**

% DCAA	88		%	2	08/29/23	KCA	30 - 150 %
% DCAA (Confirmation)	82		%	2	08/29/23	KCA	30 - 150 %

**Polychlorinated Biphenyls**

PCB-1016	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1221	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1232	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1242	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1248	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1254	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1260	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1262	ND	72	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1268	ND	72	ug/Kg	2	08/29/23	SC	SW8082A

**QA/QC Surrogates**

% DCBP	70		%	2	08/29/23	SC	30 - 150 %
% DCBP (Confirmation)	76		%	2	08/29/23	SC	30 - 150 %
% TCMX	63		%	2	08/29/23	SC	30 - 150 %
% TCMX (Confirmation)	68		%	2	08/29/23	SC	30 - 150 %

**Pesticides**

4,4' -DDD	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDE	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDT	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
a-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Alachlor	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Aldrin	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
b-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Chlordane	ND	14	ug/Kg	2	08/29/23	CN	SW8081B
d-BHC	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Dieldrin	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan I	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan II	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan sulfate	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Endrin	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endrin aldehyde	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Endrin ketone	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
g-BHC	ND	1.4	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor epoxide	ND	7.2	ug/Kg	2	08/29/23	CN	SW8081B
Hexachlorobenzene	ND	3.6	ug/Kg	2	08/29/23	CN	SW8081B
Methoxychlor	ND	36	ug/Kg	2	08/29/23	CN	SW8081B
Toxaphene	ND	140	ug/Kg	2	08/29/23	CN	SW8081B
<b><u>QA/QC Surrogates</u></b>							
% DCBP	89		%	2	08/29/23	CN	30 - 150 %
% DCBP (Confirmation)	50		%	2	08/29/23	CN	30 - 150 %
% TCMX	68		%	2	08/29/23	CN	30 - 150 %
% TCMX (Confirmation)	65		%	2	08/29/23	CN	30 - 150 %
<b><u>TPH by GC (Extractable (C9-C36))</u></b>							
Fuel Oil #2 / Diesel Fuel	ND	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Fuel Oil #4	ND	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Fuel Oil #6	ND	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Kerosene	ND	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Motor Oil	ND	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Total TPH	96	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
Unidentified	**	54	mg/kg	1	08/30/23	KCA	SW8015D DRO
<b><u>QA/QC Surrogates</u></b>							
% COD (surr)	84		%	1	08/30/23	KCA	50 - 150 %
% Terphenyl (surr)	96		%	1	08/30/23	KCA	50 - 150 %
<b><u>Volatiles</u></b>							
1,1,1,2-Tetrachloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,1-Trichloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2,2-Tetrachloroethane	ND	3.5	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2-Trichloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloropropene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichloropropane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trichlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trimethylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromo-3-chloropropane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromoethane	ND	0.59	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloropropane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,3,5-Trimethylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichloropropane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
1,4-Dichlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
2,2-Dichloropropane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
2-Chlorotoluene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D

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Project ID: GALVIN MS  
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Phoenix I.D.: CO80139

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
2-Hexanone	ND	29	ug/Kg	1	08/23/23	JLI	SW8260D
2-Isopropyltoluene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
4-Chlorotoluene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
4-Methyl-2-pentanone	ND	29	ug/Kg	1	08/23/23	JLI	SW8260D
Acetone	ND	290	ug/Kg	1	08/23/23	JLI	SW8260D
Acrylonitrile	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Benzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Bromobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Bromochloromethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Bromodichloromethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Bromoform	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Bromomethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon Disulfide	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon tetrachloride	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Chlorobenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroform	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Chloromethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,2-Dichloroethene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,3-Dichloropropene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromochloromethane	ND	3.5	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromomethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Dichlorodifluoromethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Ethylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Hexachlorobutadiene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Isopropylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
m&p-Xylene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl Ethyl Ketone	ND	35	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl t-butyl ether (MTBE)	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Methylene chloride	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Naphthalene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
n-Butylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
n-Propylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
o-Xylene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
p-Isopropyltoluene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
sec-Butylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Styrene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
tert-Butylbenzene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrachloroethene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrahydrofuran (THF)	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Toluene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Total Xylenes	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,2-Dichloroethene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,3-Dichloropropene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,4-dichloro-2-butene	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Trichloroethene	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorofluoromethane	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorotrifluoroethane	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Vinyl chloride	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D

Ver 1

Project ID: GALVIN MS  
Client ID: B-3

Phoenix I.D.: CO80139

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<b><u>QA/QC Surrogates</u></b>							
% 1,2-dichlorobenzene-d4	100		%	1	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene	98		%	1	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane	100		%	1	08/23/23	JLI	70 - 130 %
% Toluene-d8	99		%	1	08/23/23	JLI	70 - 130 %
<b><u>Oxygenates &amp; Dioxane</u></b>							
1,4-Dioxane	ND	120	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Diethyl ether	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Di-isopropyl ether	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Ethyl tert-butyl ether	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
tert-amyl methyl ether	ND	5.9	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
<b><u>Semivolatiles</u></b>							
1,1-Biphenyl	ND	50	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4,5-Tetrachlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4-Trichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Diphenylhydrazine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
1,3-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
1,4-Dichlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,2'-Oxybis(1-Chloropropane)	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,5-Trichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,6-Trichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dichlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dimethylphenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrophenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrotoluene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2,6-Dinitrotoluene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chloronaphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chlorophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylnaphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylphenol (o-cresol)	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitroaniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitrophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
3&4-Methylphenol (m&p-cresol)	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
3,3'-Dichlorobenzidine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
3-Nitroaniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4,6-Dinitro-2-methylphenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4-Bromophenyl phenyl ether	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloro-3-methylphenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloroaniline	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chlorophenyl phenyl ether	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitroaniline	ND	570	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitrophenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthylene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Acetophenone	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Aniline	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D

Ver 1



Project ID: GALVIN MS  
Client ID: B-3

Phoenix I.D.: CO80139

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Benz(a)anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzidine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(a)pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(b)fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(ghi)perylene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(k)fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Benzoic acid	ND	710	ug/Kg	1	08/29/23	KCA	SW8270D
Benzyl butyl phthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethoxy)methane	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethyl)ether	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-ethylhexyl)phthalate	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Carbazole	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Chrysene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenz(a,h)anthracene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenzofuran	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Diethyl phthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Dimethylphthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-butylphthalate	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-octylphthalate	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Fluoranthene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Fluorene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobutadiene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorocyclopentadiene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachloroethane	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Indeno(1,2,3-cd)pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Isophorone	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Naphthalene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Nitrobenzene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodimethylamine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodi-n-propylamine	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodiphenylamine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachloronitrobenzene	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachlorophenol	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
Phenanthrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Phenol	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Pyrene	ND	250	ug/Kg	1	08/29/23	KCA	SW8270D
Pyridine	ND	360	ug/Kg	1	08/29/23	KCA	SW8270D
<b><u>QA/QC Surrogates</u></b>							
% 2,4,6-Tribromophenol	81		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorobiphenyl	64		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorophenol	48		%	1	08/29/23	KCA	30 - 130 %
% Nitrobenzene-d5	56		%	1	08/29/23	KCA	30 - 130 %
% Phenol-d5	60		%	1	08/29/23	KCA	30 - 130 %
% Terphenyl-d14	76		%	1	08/29/23	KCA	30 - 130 %

Project ID: GALVIN MS  
Client ID: B-3

Phoenix I.D.: CO80139

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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Massachusetts does not offer certification for Soil/Solid matrices.

RL/PQL=Reporting/Practical Quantitation Level ND=Not Detected BRL=Below Reporting Level

QA/QC Surrogates: Surrogates are compounds (preceded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

**Comments:**

Per 1.4.6 of EPA method 8270D, 1,2-Diphenylhydrazine is unstable and readily converts to Azobenzene. Azobenzene is used for the calibration of 1,2-Diphenylhydrazine.

Corrosivity is based solely on the pH analysis performed above.

Ignitability is based solely on the results of the closed cup flashpoint analysis performed above. Passed is >140 degree F.

The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Cyanide. This method is no longer listed in the current version of SW-846.

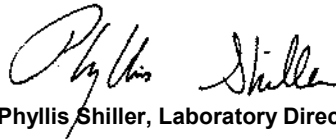
The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Sulfide. This method is no longer listed in the current version of SW-846.

TPH Comment:

\*\*Petroleum hydrocarbon chromatogram was not a perfect match with any of the standards, but contains a distribution in the C18 to C36 range. The sample was quantitated against a C9-C36 standard.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



**Phyllis Shiller, Laboratory Director**

**September 11, 2023**

**Reviewed and Released by: Phyllis Shiller, Laboratory Director**



**Environmental Laboratories, Inc.**  
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
 Tel. (860) 645-1102 Fax (860) 645-0823

**Analysis Report**  
 September 11, 2023

FOR: Attn: Mr. Farooq Siddique  
 FS Engineers, Inc.  
 42 Nonset Path, Suite 42-1  
 Acton, MA 01720

Sample Information

Matrix: SOIL  
 Location Code: FS-ENG  
 Rush Request: Standard  
 P.O.#: 23-1891

Custody Information

Collected by:  
 Received by: CP  
 Analyzed by: see "By" below

Date

08/15/23  
 08/22/23

Time

16:16

Laboratory Data

SDG ID: GCO80138  
 Phoenix ID: CO80140

Project ID: GALVIN MS  
 Client ID: B-4

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Silver	< 0.39	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Arsenic	3.22	0.78	mg/Kg	1	09/03/23	CPP	SW6010D
Barium	26.0	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Beryllium	0.51	0.31	mg/Kg	1	09/03/23	CPP	SW6010D
Cadmium	1.06	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Chromium	17.8	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Mercury	< 0.03	0.03	mg/Kg	2	09/06/23	AL1	SW7471B
Nickel	12.1	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Lead	7.35	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Antimony	< 3.9	3.9	mg/Kg	1	09/03/23	CPP	SW6010D
Selenium	< 1.6	1.6	mg/Kg	1	09/03/23	CPP	SW6010D
Thallium	< 3.5	3.5	mg/Kg	1	09/03/23	CPP	SW6010D
Vanadium	36.0	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Zinc	29.3	0.8	mg/Kg	1	09/03/23	CPP	SW6010D
Percent Solid	87		%		08/23/23	CV	SW846-%Solid
Conductivity - Soil Matrix	149	5	umhos/cm	1	08/24/23	AKS	SW9050A
Corrosivity	Negative		Pos/Neg	1	08/23/23	JW	SW846-Corr
Flash Point	>200	200	Degree F	1	08/24/23	G	SW1010B
Ignitability	Passed	140	degree F	1	08/24/23	G	SW846-Ignit
pH at 25C - Soil	5.88	1.00	pH Units	1	08/23/23 00:40	JW	SW846 9045D
Reactivity Cyanide	< 5	5	mg/Kg	1	08/25/23	DK/GD	SW846 7.3.3.1/90
Reactivity Sulfide	< 20	20	mg/Kg	1	08/25/23	DK/GD	SW846 CH7
Reactivity	Negative		Pos/Neg	1	08/25/23	DK/GD	SW846-React
Field Extraction	Completed				08/15/23		SW5035A
Mercury Digestion	Completed				09/06/23	AL/AL	SW7471B
Extraction of ETPH	Completed				08/28/23	H/PL	SW3546
Soil Extraction for Herbicide	Completed				08/28/23	P/D	SW3546

Project ID: GALVIN MS  
Client ID: B-4

Phoenix I.D.: CO80140

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Soil Extraction for PCB	Completed				08/28/23	C/F	SW3546
Soil Extraction for Pesticide	Completed				08/28/23	C/F	SW3546
Soil Extraction for SVOA	Completed				08/28/23	H/F	SW3546
Total Metals Digest	Completed				08/23/23	B/AG	SW3050B
<b><u>Chlorinated Herbicides</u></b>							
2,4,5-T	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
2,4,5-TP (Silvex)	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-D	ND	57	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-DB	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dalapon	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dicamba	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dichloroprop	ND	43	ug/Kg	2	08/29/23	KCA	SW8151A
Dinoseb	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
MCPA	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
MCPP	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
<b><u>QA/QC Surrogates</u></b>							
% DCAA	96		%	2	08/29/23	KCA	30 - 150 %
% DCAA (Confirmation)	97		%	2	08/29/23	KCA	30 - 150 %
<b><u>Polychlorinated Biphenyls</u></b>							
PCB-1016	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1221	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1232	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1242	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1248	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1254	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1260	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1262	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
PCB-1268	ND	75	ug/Kg	2	08/30/23	SC	SW8082A
<b><u>QA/QC Surrogates</u></b>							
% DCBP	54		%	2	08/30/23	SC	30 - 150 %
% DCBP (Confirmation)	57		%	2	08/30/23	SC	30 - 150 %
% TCMX	52		%	2	08/30/23	SC	30 - 150 %
% TCMX (Confirmation)	52		%	2	08/30/23	SC	30 - 150 %
<b><u>Pesticides</u></b>							
4,4' -DDD	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDE	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDT	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
a-BHC	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Alachlor	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Aldrin	ND	3.7	ug/Kg	2	08/29/23	CN	SW8081B
b-BHC	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Chlordane	ND	15	ug/Kg	2	08/29/23	CN	SW8081B
d-BHC	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Dieldrin	ND	3.7	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan I	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan II	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan sulfate	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B

Ver 1

Project ID: GALVIN MS  
 Client ID: B-4

Phoenix I.D.: CO80140

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Endrin	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Endrin aldehyde	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Endrin ketone	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
g-BHC	ND	1.5	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor epoxide	ND	7.5	ug/Kg	2	08/29/23	CN	SW8081B
Hexachlorobenzene	ND	3.7	ug/Kg	2	08/29/23	CN	SW8081B
Methoxychlor	ND	37	ug/Kg	2	08/29/23	CN	SW8081B
Toxaphene	ND	150	ug/Kg	2	08/29/23	CN	SW8081B
<b><u>QA/QC Surrogates</u></b>							
% DCBP	67		%	2	08/29/23	CN	30 - 150 %
% DCBP (Confirmation)	43		%	2	08/29/23	CN	30 - 150 %
% TCMX	62		%	2	08/29/23	CN	30 - 150 %
% TCMX (Confirmation)	54		%	2	08/29/23	CN	30 - 150 %

**TPH by GC (Extractable (C9-C36))**

Fuel Oil #2 / Diesel Fuel	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #4	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #6	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Kerosene	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Motor Oil	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Total TPH	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO
Unidentified	ND	56	mg/kg	1	08/29/23	KCA	SW8015D DRO

**QA/QC Surrogates**

% COD (surr)	96		%	1	08/29/23	KCA	50 - 150 %
% Terphenyl (surr)	81		%	1	08/29/23	KCA	50 - 150 %

**Volatiles**

1,1,1,2-Tetrachloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,1-Trichloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2,2-Tetrachloroethane	ND	4.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2-Trichloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloropropene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichloropropane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trichlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trimethylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromo-3-chloropropane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromoethane	ND	0.71	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloropropane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,3,5-Trimethylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichloropropane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
1,4-Dichlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
2,2-Dichloropropane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
2-Chlorotoluene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D

Project ID: GALVIN MS  
Client ID: B-4

Phoenix I.D.: CO80140

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
2-Hexanone	ND	36	ug/Kg	1	08/23/23	JLI	SW8260D
2-Isopropyltoluene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
4-Chlorotoluene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
4-Methyl-2-pentanone	ND	36	ug/Kg	1	08/23/23	JLI	SW8260D
Acetone	ND	360	ug/Kg	1	08/23/23	JLI	SW8260D
Acrylonitrile	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Benzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Bromobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Bromochloromethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Bromodichloromethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Bromoform	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Bromomethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon Disulfide	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon tetrachloride	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Chlorobenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroform	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Chloromethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,2-Dichloroethene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,3-Dichloropropene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromochloromethane	ND	4.3	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromomethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Dichlorodifluoromethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Ethylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Hexachlorobutadiene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Isopropylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
m&p-Xylene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl Ethyl Ketone	ND	43	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl t-butyl ether (MTBE)	ND	14	ug/Kg	1	08/23/23	JLI	SW8260D
Methylene chloride	ND	14	ug/Kg	1	08/23/23	JLI	SW8260D
Naphthalene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
n-Butylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
n-Propylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
o-Xylene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
p-Isopropyltoluene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
sec-Butylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Styrene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
tert-Butylbenzene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrachloroethene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrahydrofuran (THF)	ND	14	ug/Kg	1	08/23/23	JLI	SW8260D
Toluene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Total Xylenes	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,2-Dichloroethene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,3-Dichloropropene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,4-dichloro-2-butene	ND	14	ug/Kg	1	08/23/23	JLI	SW8260D
Trichloroethene	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorofluoromethane	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorotrifluoroethane	ND	14	ug/Kg	1	08/23/23	JLI	SW8260D
Vinyl chloride	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<b><u>QA/QC Surrogates</u></b>							
% 1,2-dichlorobenzene-d4	97		%	1	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene	82		%	1	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane	101		%	1	08/23/23	JLI	70 - 130 %
% Toluene-d8	97		%	1	08/23/23	JLI	70 - 130 %
<b><u>Oxygenates &amp; Dioxane</u></b>							
1,4-Dioxane	ND	140	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Diethyl ether	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Di-isopropyl ether	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Ethyl tert-butyl ether	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
tert-amyl methyl ether	ND	7.1	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
<b><u>Semivolatiles</u></b>							
1,1-Biphenyl	ND	50	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4,5-Tetrachlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4-Trichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Diphenylhydrazine	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
1,3-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,4-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,2'-Oxybis(1-Chloropropane)	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,5-Trichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,6-Trichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dimethylphenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrophenol	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrotoluene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,6-Dinitrotoluene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chloronaphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylnaphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylphenol (o-cresol)	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitroaniline	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitrophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
3&4-Methylphenol (m&p-cresol)	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
3,3'-Dichlorobenzidine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
3-Nitroaniline	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
4,6-Dinitro-2-methylphenol	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
4-Bromophenyl phenyl ether	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloro-3-methylphenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloroaniline	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chlorophenyl phenyl ether	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitroaniline	ND	600	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitrophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthylene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Acetophenone	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Aniline	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D

Ver 1

Project ID: GALVIN MS  
Client ID: B-4

Phoenix I.D.: CO80140

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Benz(a)anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzidine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(a)pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(b)fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(ghi)perylene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(k)fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzoic acid	ND	750	ug/Kg	1	08/29/23	KCA	SW8270D
Benzyl butyl phthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethoxy)methane	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethyl)ether	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-ethylhexyl)phthalate	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Carbazole	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Chrysene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenz(a,h)anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenzofuran	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Diethyl phthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dimethylphthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-butylphthalate	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-octylphthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Fluorene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobutadiene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorocyclopentadiene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachloroethane	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Indeno(1,2,3-cd)pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Isophorone	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Naphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Nitrobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodimethylamine	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodi-n-propylamine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodiphenylamine	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachloronitrobenzene	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachlorophenol	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
Phenanthrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Phenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Pyridine	ND	370	ug/Kg	1	08/29/23	KCA	SW8270D
<b><u>QA/QC Surrogates</u></b>							
% 2,4,6-Tribromophenol	71		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorobiphenyl	57		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorophenol	47		%	1	08/29/23	KCA	30 - 130 %
% Nitrobenzene-d5	55		%	1	08/29/23	KCA	30 - 130 %
% Phenol-d5	56		%	1	08/29/23	KCA	30 - 130 %
% Terphenyl-d14	65		%	1	08/29/23	KCA	30 - 130 %



Project ID: GALVIN MS  
 Client ID: B-4

Phoenix I.D.: CO80140

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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Massachusetts does not offer certification for Soil/Solid matrices.

RL/PQL=Reporting/Practical Quantitation Level ND=Not Detected BRL=Below Reporting Level

QA/QC Surrogates: Surrogates are compounds (preceeded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

**Comments:**

Per 1.4.6 of EPA method 8270D, 1,2-Diphenylhydrazine is unstable and readily converts to Azobenzene. Azobenzene is used for the calibration of 1,2-Diphenylhydrazine.

Corrosivity is based solely on the pH analysis performed above.

Ignitability is based solely on the results of the closed cup flashpoint analysis performed above. Passed is >140 degree F.

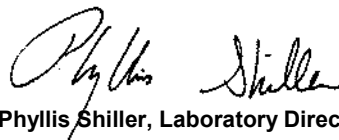
The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Cyanide. This method is no longer listed in the current version of SW-846.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Sulfide. This method is no longer listed in the current version of SW-846.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



**Phyllis Shiller, Laboratory Director**

**September 11, 2023**

**Reviewed and Released by: Phyllis Shiller, Laboratory Director**



## Environmental Laboratories, Inc.

587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823

# Analysis Report

September 11, 2023

FOR: Attn: Mr. Farooq Siddique  
FS Engineers, Inc.  
42 Nonset Path, Suite 42-1  
Acton, MA 01720

### Sample Information

Matrix: SOIL  
Location Code: FS-ENG  
Rush Request: Standard  
P.O.#: 23-1891

### Custody Information

Collected by:  
Received by: CP  
Analyzed by: see "By" below

### Date

08/15/23  
08/22/23

### Time

16:16

## Laboratory Data

SDG ID: GCO80138  
Phoenix ID: CO80141

Project ID: GALVIN MS  
Client ID: B-5

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Silver	< 0.34	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Arsenic	1.87	0.67	mg/Kg	1	09/03/23	CPP	SW6010D
Barium	22.3	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Beryllium	0.39	0.27	mg/Kg	1	09/03/23	CPP	SW6010D
Cadmium	1.11	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Chromium	28.0	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Mercury	< 0.03	0.03	mg/Kg	2	09/06/23	AL1	SW7471B
Nickel	15.0	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Lead	6.45	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Antimony	< 3.4	3.4	mg/Kg	1	09/03/23	CPP	SW6010D
Selenium	< 1.3	1.3	mg/Kg	1	09/03/23	CPP	SW6010D
Thallium	< 3.0	3.0	mg/Kg	1	09/03/23	CPP	SW6010D
Vanadium	31.4	0.34	mg/Kg	1	09/03/23	CPP	SW6010D
Zinc	49.9	0.7	mg/Kg	1	09/03/23	CPP	SW6010D
Percent Solid	98		%		08/23/23	CV	SW846-%Solid
Conductivity - Soil Matrix	59	5	umhos/cm	1	08/24/23	AKS	SW9050A
Corrosivity	Negative		Pos/Neg	1	08/23/23	JW	SW846-Corr
Flash Point	>200	200	Degree F	1	08/24/23	G	SW1010B
Ignitability	Passed	140	degree F	1	08/24/23	G	SW846-Ignit
pH at 25C - Soil	7.76	1.00	pH Units	1	08/23/23 00:40	JW	SW846 9045D
Reactivity Cyanide	< 5	5	mg/Kg	1	08/25/23	DK/GD	SW846 7.3.3.1/90
Reactivity Sulfide	< 20	20	mg/Kg	1	08/25/23	DK/GD	SW846 CH7
Reactivity	Negative		Pos/Neg	1	08/25/23	DK/GD	SW846-React
Field Extraction	Completed				08/15/23		SW5035A
Mercury Digestion	Completed				09/06/23	AL/AL	SW7471B
Extraction of ETPH	Completed				08/28/23	H/PL	SW3546
Soil Extraction for Herbicide	Completed				08/28/23	P/D	SW3546

Project ID: GALVIN MS  
 Client ID: B-5

Phoenix I.D.: CO80141

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Soil Extraction for PCB	Completed				08/28/23	C/F	SW3546
Soil Extraction for Pesticide	Completed				08/28/23	C/F	SW3546
Soil Extraction for SVOA	Completed				08/28/23	H/F	SW3546
Total Metals Digest	Completed				08/23/23	B/AG	SW3050B

**Chlorinated Herbicides**

2,4,5-T	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
2,4,5-TP (Silvex)	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-D	ND	51	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-DB	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
Dalapon	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
Dicamba	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
Dichloroprop	ND	38	ug/Kg	2	08/29/23	KCA	SW8151A
Dinoseb	ND	25	ug/Kg	2	08/29/23	KCA	SW8151A
MCPA	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
MCPP	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A

**QA/QC Surrogates**

% DCAA	95		%	2	08/29/23	KCA	30 - 150 %
% DCAA (Confirmation)	93		%	2	08/29/23	KCA	30 - 150 %

**Polychlorinated Biphenyls**

PCB-1016	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1221	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1232	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1242	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1248	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1254	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1260	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1262	ND	66	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1268	ND	66	ug/Kg	2	08/29/23	SC	SW8082A

**QA/QC Surrogates**

% DCBP	66		%	2	08/29/23	SC	30 - 150 %
% DCBP (Confirmation)	70		%	2	08/29/23	SC	30 - 150 %
% TCMX	65		%	2	08/29/23	SC	30 - 150 %
% TCMX (Confirmation)	65		%	2	08/29/23	SC	30 - 150 %

**Pesticides**

4,4' -DDD	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDE	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDT	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
a-BHC	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Alachlor	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Aldrin	ND	3.3	ug/Kg	2	08/29/23	CN	SW8081B
b-BHC	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Chlordane	ND	13	ug/Kg	2	08/29/23	CN	SW8081B
d-BHC	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Dieldrin	ND	3.3	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan I	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan II	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan sulfate	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Endrin	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Endrin aldehyde	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Endrin ketone	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
g-BHC	ND	1.3	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor epoxide	ND	6.6	ug/Kg	2	08/29/23	CN	SW8081B
Hexachlorobenzene	ND	3.3	ug/Kg	2	08/29/23	CN	SW8081B
Methoxychlor	ND	33	ug/Kg	2	08/29/23	CN	SW8081B
Toxaphene	ND	130	ug/Kg	2	08/29/23	CN	SW8081B
<b><u>QA/QC Surrogates</u></b>							
% DCBP	89		%	2	08/29/23	CN	30 - 150 %
% DCBP (Confirmation)	92		%	2	08/29/23	CN	30 - 150 %
% TCMX	73		%	2	08/29/23	CN	30 - 150 %
% TCMX (Confirmation)	72		%	2	08/29/23	CN	30 - 150 %
<b><u>TPH by GC (Extractable (C9-C36))</u></b>							
Fuel Oil #2 / Diesel Fuel	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #4	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #6	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Kerosene	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Motor Oil	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Total TPH	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
Unidentified	ND	50	mg/kg	1	08/29/23	KCA	SW8015D DRO
<b><u>QA/QC Surrogates</u></b>							
% COD (surr)	90		%	1	08/29/23	KCA	50 - 150 %
% Terphenyl (surr)	79		%	1	08/29/23	KCA	50 - 150 %
<b><u>Volatiles</u></b>							
1,1,1,2-Tetrachloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,1-Trichloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2,2-Tetrachloroethane	ND	3.6	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2-Trichloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloropropene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichloropropane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trichlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,4-Trimethylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromo-3-chloropropane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dibromoethane	ND	0.60	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloropropane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,3,5-Trimethylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,3-Dichloropropane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
1,4-Dichlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
2,2-Dichloropropane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
2-Chlorotoluene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D

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2-Hexanone	ND	30	ug/Kg	1	08/23/23	JLI	SW8260D
2-Isopropyltoluene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
4-Chlorotoluene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
4-Methyl-2-pentanone	ND	30	ug/Kg	1	08/23/23	JLI	SW8260D
Acetone	ND	300	ug/Kg	1	08/23/23	JLI	SW8260D
Acrylonitrile	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Benzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Bromobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Bromochloromethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Bromodichloromethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Bromoform	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Bromomethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon Disulfide	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon tetrachloride	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Chlorobenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroform	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Chloromethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,2-Dichloroethene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,3-Dichloropropene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromochloromethane	ND	3.6	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromomethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Dichlorodifluoromethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Ethylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Hexachlorobutadiene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Isopropylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
m&p-Xylene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl Ethyl Ketone	ND	36	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl t-butyl ether (MTBE)	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Methylene chloride	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Naphthalene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
n-Butylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
n-Propylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
o-Xylene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
p-Isopropyltoluene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
sec-Butylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Styrene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
tert-Butylbenzene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrachloroethene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrahydrofuran (THF)	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Toluene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Total Xylenes	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,2-Dichloroethene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,3-Dichloropropene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,4-dichloro-2-butene	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Trichloroethene	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorofluoromethane	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorotrifluoroethane	ND	12	ug/Kg	1	08/23/23	JLI	SW8260D
Vinyl chloride	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<b><u>QA/QC Surrogates</u></b>							
% 1,2-dichlorobenzene-d4	96		%	1	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene	84		%	1	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane	102		%	1	08/23/23	JLI	70 - 130 %
% Toluene-d8	94		%	1	08/23/23	JLI	70 - 130 %
<b><u>Oxygenates &amp; Dioxane</u></b>							
1,4-Dioxane	ND	120	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Diethyl ether	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Di-isopropyl ether	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Ethyl tert-butyl ether	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
tert-amyl methyl ether	ND	6.0	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
<b><u>Semivolatiles</u></b>							
1,1-Biphenyl	ND	50	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4,5-Tetrachlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4-Trichlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Dichlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Diphenylhydrazine	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
1,3-Dichlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
1,4-Dichlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,2'-Oxybis(1-Chloropropane)	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,5-Trichlorophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,6-Trichlorophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dichlorophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dimethylphenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrophenol	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrotoluene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2,6-Dinitrotoluene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chloronaphthalene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chlorophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylnaphthalene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylphenol (o-cresol)	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitroaniline	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitrophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
3&4-Methylphenol (m&p-cresol)	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
3,3'-Dichlorobenzidine	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
3-Nitroaniline	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
4,6-Dinitro-2-methylphenol	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
4-Bromophenyl phenyl ether	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloro-3-methylphenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloroaniline	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chlorophenyl phenyl ether	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitroaniline	ND	540	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitrophenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthylene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Acetophenone	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Aniline	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Anthracene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D

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Benz(a)anthracene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzidine	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(a)pyrene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(b)fluoranthene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(ghi)perylene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(k)fluoranthene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Benzoic acid	ND	670	ug/Kg	1	08/29/23	KCA	SW8270D
Benzyl butyl phthalate	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethoxy)methane	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethyl)ether	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-ethylhexyl)phthalate	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Carbazole	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Chrysene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenz(a,h)anthracene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenzofuran	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Diethyl phthalate	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Dimethylphthalate	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-butylphthalate	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-octylphthalate	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Fluoranthene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Fluorene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobutadiene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorocyclopentadiene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachloroethane	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Indeno(1,2,3-cd)pyrene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Isophorone	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Naphthalene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Nitrobenzene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodimethylamine	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodi-n-propylamine	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodiphenylamine	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachloronitrobenzene	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachlorophenol	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
Phenanthrene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Phenol	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Pyrene	ND	240	ug/Kg	1	08/29/23	KCA	SW8270D
Pyridine	ND	340	ug/Kg	1	08/29/23	KCA	SW8270D
<b><u>QA/QC Surrogates</u></b>							
% 2,4,6-Tribromophenol	81		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorobiphenyl	64		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorophenol	48		%	1	08/29/23	KCA	30 - 130 %
% Nitrobenzene-d5	58		%	1	08/29/23	KCA	30 - 130 %
% Phenol-d5	58		%	1	08/29/23	KCA	30 - 130 %
% Terphenyl-d14	76		%	1	08/29/23	KCA	30 - 130 %

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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Massachusetts does not offer certification for Soil/Solid matrices.

RL/PQL=Reporting/Practical Quantitation Level ND=Not Detected BRL=Below Reporting Level

QA/QC Surrogates: Surrogates are compounds (preceded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

### Comments:

Per 1.4.6 of EPA method 8270D, 1,2-Diphenylhydrazine is unstable and readily converts to Azobenzene. Azobenzene is used for the calibration of 1,2-Diphenylhydrazine.

Corrosivity is based solely on the pH analysis performed above.

Ignitability is based solely on the results of the closed cup flashpoint analysis performed above. Passed is >140 degree F.

The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Cyanide. This method is no longer listed in the current version of SW-846.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Sulfide. This method is no longer listed in the current version of SW-846.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



**Phyllis Shiller, Laboratory Director**

**September 11, 2023**

**Reviewed and Released by: Phyllis Shiller, Laboratory Director**





**Environmental Laboratories, Inc.**  
 587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
 Tel. (860) 645-1102 Fax (860) 645-0823

# Analysis Report

September 11, 2023

FOR: Attn: Mr. Farooq Siddique  
 FS Engineers, Inc.  
 42 Nonset Path, Suite 42-1  
 Acton, MA 01720

Sample Information

Matrix: SOIL  
 Location Code: FS-ENG  
 Rush Request: Standard  
 P.O.#: 23-1891

Custody Information

Collected by:  
 Received by: CP  
 Analyzed by: see "By" below

Date

08/15/23  
 08/22/23

Time

16:16

## Laboratory Data

SDG ID: GCO80138  
 Phoenix ID: CO80142

Project ID: GALVIN MS  
 Client ID: B-8

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Silver	< 0.39	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Arsenic	3.81	0.79	mg/Kg	1	09/03/23	CPP	SW6010D
Barium	37.5	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Beryllium	0.41	0.31	mg/Kg	1	09/03/23	CPP	SW6010D
Cadmium	0.84	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Chromium	18.4	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Mercury	< 0.03	0.03	mg/Kg	2	09/06/23	AL1	SW7471B
Nickel	12.0	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Lead	17.0	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Antimony	< 3.9	3.9	mg/Kg	1	09/03/23	CPP	SW6010D
Selenium	< 1.6	1.6	mg/Kg	1	09/03/23	CPP	SW6010D
Thallium	< 3.5	3.5	mg/Kg	1	09/03/23	CPP	SW6010D
Vanadium	26.5	0.39	mg/Kg	1	09/03/23	CPP	SW6010D
Zinc	37.1	0.8	mg/Kg	1	09/03/23	CPP	SW6010D
Percent Solid	86		%		08/23/23	CV	SW846-%Solid
Conductivity - Soil Matrix	123	5	umhos/cm	1	08/24/23	AKS	SW9050A
Corrosivity	Negative		Pos/Neg	1	08/23/23	JW	SW846-Corr
Flash Point	>200	200	Degree F	1	08/24/23	G	SW1010B
Ignitability	Passed	140	degree F	1	08/24/23	G	SW846-Ignit
pH at 25C - Soil	6.60	1.00	pH Units	1	08/23/23 00:40	JW	SW846 9045D
Reactivity Cyanide	< 6	6	mg/Kg	1	08/25/23	DK/GD	SW846 7.3.3.1/90
Reactivity Sulfide	< 20	20	mg/Kg	1	08/25/23	DK/GD	SW846 CH7
Reactivity	Negative		Pos/Neg	1	08/25/23	DK/GD	SW846-React
Field Extraction	Completed				08/15/23		SW5035A
Mercury Digestion	Completed				09/06/23	AL/AL	SW7471B
Extraction of ETPH	Completed				08/28/23	H/PL	SW3546
Soil Extraction for Herbicide	Completed				08/28/23	P/D	SW3546

Project ID: GALVIN MS  
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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Soil Extraction for PCB	Completed				08/28/23	C/F	SW3546
Soil Extraction for Pesticide	Completed				08/28/23	C/F	SW3546
Soil Extraction for SVOA	Completed				08/28/23	H/F	SW3546
Total Metals Digest	Completed				08/23/23	B/AG	SW3050B
<b><u>Chlorinated Herbicides</u></b>							
2,4,5-T	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
2,4,5-TP (Silvex)	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-D	ND	58	ug/Kg	2	08/29/23	KCA	SW8151A
2,4-DB	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dalapon	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dicamba	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
Dichloroprop	ND	43	ug/Kg	2	08/29/23	KCA	SW8151A
Dinoseb	ND	29	ug/Kg	2	08/29/23	KCA	SW8151A
MCPA	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
MCPP	ND	3300	ug/Kg	2	08/29/23	KCA	SW8151A
<b><u>QA/QC Surrogates</u></b>							
% DCAA	80		%	2	08/29/23	KCA	30 - 150 %
% DCAA (Confirmation)	102		%	2	08/29/23	KCA	30 - 150 %
<b><u>Polychlorinated Biphenyls</u></b>							
PCB-1016	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1221	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1232	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1242	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1248	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1254	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1260	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1262	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
PCB-1268	ND	77	ug/Kg	2	08/29/23	SC	SW8082A
<b><u>QA/QC Surrogates</u></b>							
% DCBP	83		%	2	08/29/23	SC	30 - 150 %
% DCBP (Confirmation)	86		%	2	08/29/23	SC	30 - 150 %
% TCMX	79		%	2	08/29/23	SC	30 - 150 %
% TCMX (Confirmation)	77		%	2	08/29/23	SC	30 - 150 %
<b><u>Pesticides</u></b>							
4,4' -DDD	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDE	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
4,4' -DDT	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
a-BHC	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Alachlor	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Aldrin	ND	3.9	ug/Kg	2	08/29/23	CN	SW8081B
b-BHC	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Chlordane	ND	15	ug/Kg	2	08/29/23	CN	SW8081B
d-BHC	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Dieldrin	ND	3.9	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan I	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan II	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Endosulfan sulfate	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B

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 Client ID: B-8

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Endrin	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Endrin aldehyde	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Endrin ketone	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
g-BHC	ND	1.5	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Heptachlor epoxide	ND	7.7	ug/Kg	2	08/29/23	CN	SW8081B
Hexachlorobenzene	ND	3.9	ug/Kg	2	08/29/23	CN	SW8081B
Methoxychlor	ND	39	ug/Kg	2	08/29/23	CN	SW8081B
Toxaphene	ND	150	ug/Kg	2	08/29/23	CN	SW8081B

**QA/QC Surrogates**

% DCBP	71		%	2	08/29/23	CN	30 - 150 %
% DCBP (Confirmation)	83		%	2	08/29/23	CN	30 - 150 %
% TCMX	56		%	2	08/29/23	CN	30 - 150 %
% TCMX (Confirmation)	58		%	2	08/29/23	CN	30 - 150 %

**TPH by GC (Extractable (C9-C36))**

Fuel Oil #2 / Diesel Fuel	ND	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #4	ND	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Fuel Oil #6	ND	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Kerosene	ND	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Motor Oil	ND	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Total TPH	160	58	mg/kg	1	08/29/23	KCA	SW8015D DRO
Unidentified	**	58	mg/kg	1	08/29/23	KCA	SW8015D DRO

**QA/QC Surrogates**

% COD (surr)	102		%	1	08/29/23	KCA	50 - 150 %
% Terphenyl (surr)	Interference		%	1	08/29/23	KCA	50 - 150 %

**Volatiles**

1,1,1,2-Tetrachloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,1-Trichloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2,2-Tetrachloroethane	ND	3.8	ug/Kg	1	08/23/23	JLI	SW8260D
1,1,2-Trichloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloroethene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,1-Dichloropropene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2,3-Trichlorobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2,3-Trichloropropane	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2,4-Trichlorobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2,4-Trimethylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2-Dibromo-3-chloropropane	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2-Dibromoethane	ND	0.63	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichlorobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,2-Dichloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,2-Dichloropropane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,3,5-Trimethylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,3-Dichlorobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
1,3-Dichloropropane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
1,4-Dichlorobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
2,2-Dichloropropane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
2-Chlorotoluene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D

Ver 1

Project ID: GALVIN MS  
Client ID: B-8

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Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
2-Hexanone	ND	32	ug/Kg	1	08/23/23	JLI	SW8260D
2-Isopropyltoluene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
4-Chlorotoluene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
4-Methyl-2-pentanone	ND	32	ug/Kg	1	08/23/23	JLI	SW8260D
Acetone	ND	320	ug/Kg	1	08/23/23	JLI	SW8260D
Acrylonitrile	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Benzene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromobenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
Bromochloromethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromodichloromethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromoform	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Bromomethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon Disulfide	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Carbon tetrachloride	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chlorobenzene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloroform	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Chloromethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,2-Dichloroethene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
cis-1,3-Dichloropropene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromochloromethane	ND	3.8	ug/Kg	1	08/23/23	JLI	SW8260D
Dibromomethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Dichlorodifluoromethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Ethylbenzene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Hexachlorobutadiene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
Isopropylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
m&p-Xylene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl Ethyl Ketone	ND	38	ug/Kg	1	08/23/23	JLI	SW8260D
Methyl t-butyl ether (MTBE)	ND	13	ug/Kg	1	08/23/23	JLI	SW8260D
Methylene chloride	ND	13	ug/Kg	1	08/23/23	JLI	SW8260D
Naphthalene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
n-Butylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
n-Propylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
o-Xylene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
p-Isopropyltoluene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
sec-Butylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
Styrene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
tert-Butylbenzene	ND	330	ug/Kg	50	08/23/23	JLI	SW8260D
Tetrachloroethene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Tetrahydrofuran (THF)	ND	13	ug/Kg	1	08/23/23	JLI	SW8260D
Toluene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Total Xylenes	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,2-Dichloroethene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,3-Dichloropropene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
trans-1,4-dichloro-2-butene	ND	660	ug/Kg	50	08/23/23	JLI	SW8260D
Trichloroethene	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorofluoromethane	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D
Trichlorotrifluoroethane	ND	13	ug/Kg	1	08/23/23	JLI	SW8260D
Vinyl chloride	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D

Project ID: GALVIN MS  
 Client ID: B-8

Phoenix I.D.: CO80142

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
<b><u>QA/QC Surrogates</u></b>							
% 1,2-dichlorobenzene-d4	96		%	1	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene	77		%	1	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane	100		%	1	08/23/23	JLI	70 - 130 %
% Toluene-d8	94		%	1	08/23/23	JLI	70 - 130 %
% 1,2-dichlorobenzene-d4 (50x)	99		%	50	08/23/23	JLI	70 - 130 %
% Bromofluorobenzene (50x)	97		%	50	08/23/23	JLI	70 - 130 %
% Dibromofluoromethane (50x)	94		%	50	08/23/23	JLI	70 - 130 %
% Toluene-d8 (50x)	97		%	50	08/23/23	JLI	70 - 130 %
<b><u>Oxygenates &amp; Dioxane</u></b>							
1,4-Dioxane	ND	130	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Diethyl ether	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Di-isopropyl ether	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
Ethyl tert-butyl ether	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
tert-amyl methyl ether	ND	6.3	ug/Kg	1	08/23/23	JLI	SW8260D (OXY)
<b><u>Semivolatiles</u></b>							
1,1-Biphenyl	ND	50	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4,5-Tetrachlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2,4-Trichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,2-Diphenylhydrazine	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
1,3-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
1,4-Dichlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,2'-Oxybis(1-Chloropropane)	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,5-Trichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4,6-Trichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dichlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dimethylphenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrophenol	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
2,4-Dinitrotoluene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2,6-Dinitrotoluene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chloronaphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Chlorophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylnaphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Methylphenol (o-cresol)	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitroaniline	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
2-Nitrophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
3&4-Methylphenol (m&p-cresol)	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
3,3'-Dichlorobenzidine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
3-Nitroaniline	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
4,6-Dinitro-2-methylphenol	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
4-Bromophenyl phenyl ether	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloro-3-methylphenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chloroaniline	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Chlorophenyl phenyl ether	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitroaniline	ND	600	ug/Kg	1	08/29/23	KCA	SW8270D
4-Nitrophenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Acenaphthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D

Ver 1

Project ID: GALVIN MS  
Client ID: B-8

Phoenix I.D.: CO80142

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
Acenaphthylene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Acetophenone	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Aniline	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benz(a)anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzidine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(a)pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(b)fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(ghi)perylene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzo(k)fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Benzoic acid	ND	750	ug/Kg	1	08/29/23	KCA	SW8270D
Benzyl butyl phthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethoxy)methane	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-chloroethyl)ether	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Bis(2-ethylhexyl)phthalate	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Carbazole	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Chrysene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenz(a,h)anthracene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dibenzofuran	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Diethyl phthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Dimethylphthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-butylphthalate	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Di-n-octylphthalate	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Fluoranthene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Fluorene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorobutadiene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachlorocyclopentadiene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Hexachloroethane	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Indeno(1,2,3-cd)pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Isophorone	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Naphthalene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Nitrobenzene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodimethylamine	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodi-n-propylamine	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
N-Nitrosodiphenylamine	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachloronitrobenzene	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Pentachlorophenol	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
Phenanthrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Phenol	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Pyrene	ND	260	ug/Kg	1	08/29/23	KCA	SW8270D
Pyridine	ND	380	ug/Kg	1	08/29/23	KCA	SW8270D
<b><u>QA/QC Surrogates</u></b>							
% 2,4,6-Tribromophenol	79		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorobiphenyl	64		%	1	08/29/23	KCA	30 - 130 %
% 2-Fluorophenol	55		%	1	08/29/23	KCA	30 - 130 %
% Nitrobenzene-d5	65		%	1	08/29/23	KCA	30 - 130 %
% Phenol-d5	65		%	1	08/29/23	KCA	30 - 130 %
% Terphenyl-d14	74		%	1	08/29/23	KCA	30 - 130 %

Project ID: GALVIN MS  
 Client ID: B-8

Phoenix I.D.: CO80142

Parameter	Result	RL/ PQL	Units	Dilution	Date/Time	By	Reference
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Massachusetts does not offer certification for Soil/Solid matrices.

RL/PQL=Reporting/Practical Quantitation Level ND=Not Detected BRL=Below Reporting Level

QA/QC Surrogates: Surrogates are compounds (preceeded with a %) added by the lab to determine analysis efficiency. Surrogate results(%) listed in the report are not "detected" compounds.

**Comments:**

Per 1.4.6 of EPA method 8270D, 1,2-Diphenylhydrazine is unstable and readily converts to Azobenzene. Azobenzene is used for the calibration of 1,2-Diphenylhydrazine.

Corrosivity is based solely on the pH analysis performed above.

Ignitability is based solely on the results of the closed cup flashpoint analysis performed above. Passed is >140 degree F.

The regulatory hold time for pH is immediately. This pH was performed in the laboratory and may be considered outside of hold-time.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Cyanide. This method is no longer listed in the current version of SW-846.

The reactivity, reported above, is based only on the EPA Interim Guidance for Reactive Sulfide. This method is no longer listed in the current version of SW-846.

**Volatile Comment:**

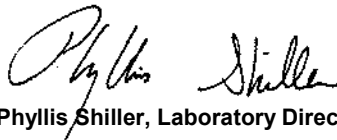
There was a suppression of the last internal standard in the low level analysis, all affected compounds are reported from the methanol preserved high level analysis which did not exhibit this interference.

**TPH Comment:**

\*\*Petroleum hydrocarbon chromatogram was not a perfect match with any of the standards, but contains a distribution in the C18 to C36 range. The sample was quantitated against a C9-C36 standard.

All soils, solids and sludges are reported on a dry weight basis unless otherwise noted in the sample comments.

If you are the client above and have any questions concerning this testing, please do not hesitate to contact Phoenix Client Services at ext.200. The contents of this report cannot be discussed with anyone other than the client listed above without their written consent.



**Phyllis Shiller, Laboratory Director**

**September 11, 2023**

**Reviewed and Released by: Phyllis Shiller, Laboratory Director**



Environmental Laboratories, Inc.  
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102

## QA/QC Report

September 11, 2023

### QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	Sample Result	Dup Result	Dup RPD	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
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QA/QC Batch 695021 (mg/kg), QC Sample No: CO73853 (CO80138)

Mercury - Soil	BRL	0.02	0.03	0.07	NC	123	115	6.7	100	103	3.0	75 - 125	20
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Comment:

Additional Mercury criteria: LCS acceptance range for waters is 80-120% and for soils is 75-125%

QA/QC Batch 695690 (mg/kg), QC Sample No: CO80340 2X (CO80139, CO80140, CO80141, CO80142)

Mercury - Soil	BRL	0.02	<0.03	<0.03	NC	108	106	1.9	99.2	104	4.7	75 - 125	20
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Comment:

Additional Mercury criteria: LCS acceptance range for waters is 80-120% and for soils is 75-125%

QA/QC Batch 693733 (mg/kg), QC Sample No: CO80138 (CO80138, CO80139, CO80140, CO80141, CO80142)

### ICP Metals - Soil

Antimony	BRL	3.3	<3.7	<3.8	NC	100	108	7.7	93.1			75 - 125	35
Arsenic	BRL	0.67	1.26	2.32	NC	105	108	2.8	102			75 - 125	35
Barium	BRL	0.33	31.3	38.0	19.3	112	117	4.4	119			75 - 125	35
Beryllium	BRL	0.27	0.43	0.51	NC	108	118	8.8	104			75 - 125	35
Cadmium	BRL	0.33	0.70	0.85	NC	104	118	12.6	106			75 - 125	35
Chromium	BRL	0.33	13.7	15.9	14.9	108	116	7.1	106			75 - 125	35
Lead	BRL	0.33	6.72	7.39	9.50	103	103	0.0	109			75 - 125	35
Nickel	BRL	0.33	9.79	12.5	24.3	104	114	9.2	105			75 - 125	35
Selenium	BRL	1.3	<1.5	<1.5	NC	103	107	3.8	98.8			75 - 125	35
Silver	BRL	0.33	<0.37	<0.38	NC	103	104	1.0	103			75 - 125	35
Thallium	BRL	3.0	<3.3	<3.4	NC	104	111	6.5	102			75 - 125	35
Vanadium	BRL	0.33	22.7	26.0	13.6	108	113	4.5	113			75 - 125	35
Zinc	BRL	0.67	28.9	36.1	22.2	107	111	3.7	107			75 - 125	35

Comment:

Additional: LCS acceptance range is 80-120% MS acceptance range 75-125%.





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# QA/QC Report

September 11, 2023

## QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	Sample Result	Dup Result	Dup RPD	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
QA/QC Batch 693956 (mg/Kg), QC Sample No: CO79925 5X (CO80138, CO80139, CO80140, CO80141, CO80142)													
Reactivity Cyanide	BRL	5	<6	<6.0	NC	100						80 - 120	20
Reactivity Sulfide	BRL	20	<20	<20	NC	90.8						80 - 120	20
Comment:													
Additional soil criteria LCS acceptance range is 80-120% MS acceptance range 75-125%.													
QA/QC Batch 694212 (mg/Kg), QC Sample No: CO80138 5X (CO80138)													
Reactivity Cyanide	BRL	5	<1	<5.2	NC	100						80 - 120	20
Reactivity Sulfide	BRL	20	<20	<20	NC	90.8						80 - 120	20
Comment:													
Additional soil criteria LCS acceptance range is 80-120% MS acceptance range 75-125%.													
QA/QC Batch 693952 (Degree F), QC Sample No: CO79738 (CO80138, CO80139, CO80140, CO80141, CO80142)													
Flash Point			>200	>200	NC	100						75 - 125	30
Comment:													
Additional: LCS acceptance range is 85-115% MS acceptance range 75-125%.													
QA/QC Batch 693663 (PH), QC Sample No: CO79881 (CO80138, CO80139, CO80140, CO80141, CO80142)													
pH			7.26	7.26	0	101						85 - 115	20
Comment:													
Additional: LCS acceptance range is 85-115% MS acceptance range 75-125%.													
QA/QC Batch 693878 (umhos/cm), QC Sample No: CO80341 (CO80138, CO80139, CO80140, CO80141, CO80142)													
Conductivity - Soil Matrix	BRL	5	386	386	0	110						75 - 125	30
Comment:													
Additional: LCS acceptance range is 85-115% MS acceptance range 75-125%.													



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## QA/QC Report

September 11, 2023

### QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
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QA/QC Batch 694478 (mg/Kg), QC Sample No: CO80138 (CO80138, CO80139, CO80140, CO80141, CO80142)

#### TPH by GC (Extractable Products) - Soil

Ext. Petroleum H.C. (C9-C36)	ND	50	70	83	17.0	116	122	5.0	50 - 150	30
% COD (surr)	85	%	123	103	17.7	150	149	0.7	50 - 150	30
% Terphenyl (surr)	77	%	85	78	8.6	94	110	15.7	50 - 150	30

Comment:

The ETPH/DRO LCS has been normalized based on the alkane calibration.

QA/QC Batch 694538 (ug/Kg), QC Sample No: CO79290 10X (CO80138, CO80139, CO80140, CO80141, CO80142)

#### Chlorinated Herbicides - Soil

2,4,5-T	ND	130	42	46	9.1	43	51	17.0	40 - 140	30
2,4,5-TP (Silvex)	ND	130	55	55	0.0	50	55	9.5	40 - 140	30
2,4-D	ND	250	52	47	10.1	42	49	15.4	40 - 140	30
2,4-DB	ND	2500	34	37	8.5	60	49	20.2	40 - 140	30
Dalapon	ND	130	99	81	20.0	46	54	16.0	40 - 140	30
Dicamba	ND	130	101	87	14.9	57	66	14.6	40 - 140	30
Dichloroprop	ND	130	60	64	6.5	55	62	12.0	40 - 140	30
Dinoseb	ND	130	128	110	15.1	65	76	15.6	10 - 110	20
MCPA	ND	38000	48	53	9.9	45	50	10.5	40 - 140	30
MCPP	ND	38000	52	52	0.0	51	55	7.5	40 - 140	30
% DCAA (Surrogate Rec)	71	%	69	69	0.0	67	73	8.6	30 - 150	30
% DCAA (Surrogate Rec) (Confirm)	65	%	67	66	1.5	66	72	8.7	30 - 150	30

Comment:

MCP 8151 additional criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is at least 10%.

QA/QC Batch 694482 (ug/Kg), QC Sample No: CO83806 2X (CO80138, CO80139, CO80140, CO80141, CO80142)

#### Polychlorinated Biphenyls - Soil

PCB-1016	ND	33	84	63	28.6	70	65	7.4	40 - 140	30
PCB-1221	ND	33							40 - 140	30
PCB-1232	ND	33							40 - 140	30
PCB-1242	ND	33							40 - 140	30
PCB-1248	ND	33							40 - 140	30
PCB-1254	ND	33							40 - 140	30
PCB-1260	ND	33	82	48	52.3	64	59	8.1	40 - 140	30
PCB-1262	ND	33							40 - 140	30
PCB-1268	ND	33							40 - 140	30
% DCBP (Surrogate Rec)	74	%	81	66	20.4	79	71	10.7	30 - 150	30
% DCBP (Surrogate Rec) (Confirm)	75	%	67	50	29.1	61	54	12.2	30 - 150	30
% TCMX (Surrogate Rec)	59	%	63	63	0.0	65	61	6.3	30 - 150	30
% TCMX (Surrogate Rec) (Confirm)	60	%	67	66	1.5	69	63	9.1	30 - 150	30

QA/QC Batch 694483 (ug/Kg), QC Sample No: CO83806 2X (CO80138, CO80139, CO80140, CO80141, CO80142)

#### Pesticides - Soil

4,4'-DDD	ND	1.7	94	95	1.1	61	72	16.5	40 - 140	30
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QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
4,4' -DDE	ND	1.7	87	88	1.1	55	70	24.0	40 - 140	30
4,4' -DDT	ND	1.7	78	85	8.6	53	64	18.8	40 - 140	30
a-BHC	ND	1.0	76	81	6.4	53	71	29.0	40 - 140	30
Alachlor	ND	3.3	NA	NA	NC	NA	NA	NC	40 - 140	30
Aldrin	ND	1.0	80	85	6.1	52	65	22.2	40 - 140	30
b-BHC	ND	1.0	64	86	29.3	55	67	19.7	40 - 140	30
Chlordane	ND	33	79	91	14.1	45	59	26.9	40 - 140	30
d-BHC	ND	3.3	63	73	14.7	59	68	14.2	40 - 140	30
Dieldrin	ND	1.0	91	93	2.2	58	79	30.7	40 - 140	30
Endosulfan I	ND	3.3	80	87	8.4	50	66	27.6	40 - 140	30
Endosulfan II	ND	3.3	90	85	5.7	58	68	15.9	40 - 140	30
Endosulfan sulfate	ND	3.3	79	76	3.9	54	59	8.8	40 - 140	30
Endrin	ND	3.3	89	92	3.3	60	71	16.8	40 - 140	30
Endrin aldehyde	ND	3.3	92	88	4.4	58	71	20.2	40 - 140	30
Endrin ketone	ND	3.3	73	80	9.2	62	42	38.5	40 - 140	30
g-BHC	ND	1.0	80	85	6.1	54	66	20.0	40 - 140	30
Heptachlor	ND	3.3	78	82	5.0	49	62	23.4	40 - 140	30
Heptachlor epoxide	ND	3.3	85	81	4.8	53	63	17.2	40 - 140	30
Hexachlorobenzene	ND	3.3	74	77	4.0	60	72	18.2	40 - 140	30
Methoxychlor	ND	3.3	91	100	9.4	89	73	19.8	40 - 140	30
Toxaphene	ND	130	NA	NA	NC	NA	NA	NC	40 - 140	30
% DCBP	86	%	78	81	3.8	61	69	12.3	30 - 150	30
% DCBP (Confirmation)	65	%	57	61	6.8	42	44	4.7	30 - 150	30
% TCMX	78	%	73	78	6.6	48	60	22.2	30 - 150	30
% TCMX (Confirmation)	71	%	61	69	12.3	46	53	14.1	30 - 150	30

QA/QC Batch 694477 (ug/kg), QC Sample No: CO83787 (CO80138, CO80139, CO80140, CO80141, CO80142)

Semivolatiles - Soil

1,1-Biphenyl	ND	230	63	69	9.1	68	75	9.8	40 - 140	30
1,2,4,5-Tetrachlorobenzene	ND	230	74	80	7.8	80	88	9.5	40 - 140	30
1,2,4-Trichlorobenzene	ND	230	68	72	5.7	72	79	9.3	40 - 140	30
1,2-Dichlorobenzene	ND	180	55	56	1.8	53	60	12.4	40 - 140	30
1,2-Diphenylhydrazine	ND	230	62	70	12.1	68	73	7.1	40 - 140	30
1,3-Dichlorobenzene	ND	230	52	53	1.9	50	56	11.3	40 - 140	30
1,4-Dichlorobenzene	ND	230	54	55	1.8	52	58	10.9	40 - 140	30
2,2'-Oxybis(1-Chloropropane)	ND	230	50	52	3.9	52	59	12.6	40 - 140	30
2,4,5-Trichlorophenol	ND	230	78	88	12.0	84	90	6.9	30 - 130	30
2,4,6-Trichlorophenol	ND	130	81	90	10.5	86	89	3.4	30 - 130	30
2,4-Dichlorophenol	ND	130	78	85	8.6	83	90	8.1	30 - 130	30
2,4-Dimethylphenol	ND	230	76	84	10.0	82	88	7.1	30 - 130	30
2,4-Dinitrophenol	ND	230	76	88	14.6	72	75	4.1	30 - 130	30
2,4-Dinitrotoluene	ND	130	80	89	10.7	88	94	6.6	40 - 140	30
2,6-Dinitrotoluene	ND	130	78	86	9.8	85	92	7.9	40 - 140	30
2-Chloronaphthalene	ND	230	71	78	9.4	76	85	11.2	40 - 140	30
2-Chlorophenol	ND	230	62	65	4.7	63	70	10.5	30 - 130	30
2-Methylnaphthalene	ND	230	67	73	8.6	73	80	9.2	40 - 140	30
2-Methylphenol (o-cresol)	ND	230	64	66	3.1	66	73	10.1	30 - 130	30
2-Nitroaniline	ND	330	90	101	11.5	110	119	7.9	40 - 140	30
2-Nitrophenol	ND	230	79	87	9.6	87	97	10.9	30 - 130	30
3&4-Methylphenol (m&p-cresol)	ND	230	67	74	9.9	73	80	9.2	30 - 130	30
3,3'-Dichlorobenzidine	ND	130	51	64	22.6	82	82	0.0	40 - 140	30
3-Nitroaniline	ND	330	32	38	17.1	71	79	10.7	40 - 140	30
4,6-Dinitro-2-methylphenol	ND	230	82	93	12.6	84	83	1.2	30 - 130	30

QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits	
4-Bromophenyl phenyl ether	ND	230	83	94	12.4	93	98	5.2	40 - 140	30	
4-Chloro-3-methylphenol	ND	230	75	82	8.9	82	89	8.2	30 - 130	30	
4-Chloroaniline	ND	230	22	26	16.7	57	70	20.5	40 - 140	30	I
4-Chlorophenyl phenyl ether	ND	230	80	89	10.7	87	95	8.8	40 - 140	30	
4-Nitroaniline	ND	230	69	76	9.7	78	84	7.4	40 - 140	30	
4-Nitrophenol	ND	230	70	82	15.8	77	83	7.5	30 - 130	30	
Acenaphthene	ND	230	67	74	9.9	74	82	10.3	40 - 140	30	
Acenaphthylene	ND	130	62	70	12.1	69	75	8.3	40 - 140	30	
Acetophenone	ND	230	58	62	6.7	58	65	11.4	40 - 140	30	
Aniline	ND	330	61	12	134.2	43	48	11.0	40 - 140	30	I,r
Anthracene	ND	230	72	81	11.8	86	91	5.6	40 - 140	30	
Benz(a)anthracene	ND	230	72	81	11.8	91	93	2.2	40 - 140	30	
Benzidine	ND	330	<10	<10	NC	17	16	6.1	40 - 140	30	I,m
Benzo(a)pyrene	ND	130	80	89	10.7	99	100	1.0	40 - 140	30	
Benzo(b)fluoranthene	ND	160	75	83	10.1	101	101	0.0	40 - 140	30	
Benzo(ghi)perylene	ND	230	80	90	11.8	71	77	8.1	40 - 140	30	
Benzo(k)fluoranthene	ND	230	72	81	11.8	89	96	7.6	40 - 140	30	
Benzoic Acid	ND	670	79	74	6.5	45	35	25.0	30 - 130	30	
Benzyl butyl phthalate	ND	230	70	81	14.6	79	83	4.9	40 - 140	30	
Bis(2-chloroethoxy)methane	ND	230	63	67	6.2	66	72	8.7	40 - 140	30	
Bis(2-chloroethyl)ether	ND	130	52	55	5.6	51	57	11.1	40 - 140	30	
Bis(2-ethylhexyl)phthalate	ND	230	69	80	14.8	79	82	3.7	40 - 140	30	
Carbazole	ND	230	70	80	13.3	82	89	8.2	40 - 140	30	
Chrysene	ND	230	73	83	12.8	88	88	0.0	40 - 140	30	
Dibenz(a,h)anthracene	ND	130	79	89	11.9	68	76	11.1	40 - 140	30	
Dibenzofuran	ND	230	72	79	9.3	79	87	9.6	40 - 140	30	
Diethyl phthalate	ND	230	75	85	12.5	83	90	8.1	40 - 140	30	
Dimethylphthalate	ND	230	74	82	10.3	81	87	7.1	40 - 140	30	
Di-n-butylphthalate	ND	670	75	85	12.5	85	91	6.8	40 - 140	30	
Di-n-octylphthalate	ND	230	74	85	13.8	81	83	2.4	40 - 140	30	
Fluoranthene	ND	230	77	88	13.3	113	113	0.0	40 - 140	30	
Fluorene	ND	230	74	82	10.3	83	90	8.1	40 - 140	30	
Hexachlorobenzene	ND	130	78	87	10.9	85	90	5.7	40 - 140	30	
Hexachlorobutadiene	ND	230	76	80	5.1	78	90	14.3	40 - 140	30	
Hexachlorocyclopentadiene	ND	230	55	59	7.0	47	40	16.1	40 - 140	30	
Hexachloroethane	ND	130	52	53	1.9	52	57	9.2	40 - 140	30	
Indeno(1,2,3-cd)pyrene	ND	230	79	90	13.0	75	81	7.7	40 - 140	30	
Isophorone	ND	130	55	60	8.7	58	64	9.8	40 - 140	30	
Naphthalene	ND	230	61	65	6.3	65	72	10.2	40 - 140	30	
Nitrobenzene	ND	130	58	62	6.7	61	68	10.9	40 - 140	30	
N-Nitrosodimethylamine	ND	230	42	42	0.0	32	37	14.5	40 - 140	30	m
N-Nitrosodi-n-propylamine	ND	130	61	65	6.3	65	72	10.2	40 - 140	30	
N-Nitrosodiphenylamine	ND	130	72	81	11.8	79	84	6.1	40 - 140	30	
Pentachloronitrobenzene	ND	230	79	91	14.1	89	96	7.6	40 - 140	30	
Pentachlorophenol	ND	230	82	93	12.6	85	86	1.2	30 - 130	30	
Phenanthrene	ND	130	70	80	13.3	97	98	1.0	40 - 140	30	
Phenol	ND	230	63	68	7.6	66	75	12.8	30 - 130	30	
Pyrene	ND	230	77	88	13.3	111	111	0.0	40 - 140	30	
Pyridine	ND	230	35	45	25.0	23	24	4.3	40 - 140	30	I,m
% 2,4,6-Tribromophenol	74	%	71	81	13.2	81	86	6.0	30 - 130	30	
% 2-Fluorobiphenyl	62	%	63	70	10.5	70	77	9.5	30 - 130	30	
% 2-Fluorophenol	51	%	54	57	5.4	53	58	9.0	30 - 130	30	
% Nitrobenzene-d5	50	%	55	58	5.3	59	67	12.7	30 - 130	30	

**QA/QC Data**

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
% Phenol-d5	55	%	60	64	6.5	64	70	9.0	30 - 130	30
% Terphenyl-d14	77	%	72	80	10.5	82	88	7.1	30 - 130	30

Comment:

Additional 8270 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is at least 10%. (Acid surrogates acceptance range for aqueous samples: 10-110%, for soils 30-130%)

QA/QC Batch 693923H (ug/kg), QC Sample No: CO77530 50X (CO80142 (50X) )

**Volatiles - Soil (High Level)**

1,2,3-Trichlorobenzene	ND	250	105	104	1.0	88	99	11.8	70 - 130	20
1,2,3-Trichloropropane	ND	250	150	124	19.0	86	114	28.0	70 - 130	20
1,2,4-Trichlorobenzene	ND	250	109	109	0.0	94	105	11.1	70 - 130	20
1,2,4-Trimethylbenzene	ND	250	112	110	1.8	100	107	6.8	70 - 130	20
1,2-Dibromo-3-chloropropane	ND	250	87	85	2.3	71	78	9.4	70 - 130	20
1,2-Dichlorobenzene	ND	250	106	105	0.9	93	99	6.3	70 - 130	20
1,3,5-Trimethylbenzene	ND	250	110	108	1.8	99	106	6.8	70 - 130	20
1,3-Dichlorobenzene	ND	250	109	107	1.9	96	103	7.0	70 - 130	20
1,4-Dichlorobenzene	ND	250	108	106	1.9	95	102	7.1	70 - 130	20
2-Chlorotoluene	ND	250	107	105	1.9	95	102	7.1	70 - 130	20
2-Isopropyltoluene	ND	250	109	107	1.9	97	104	7.0	70 - 130	20
4-Chlorotoluene	ND	250	108	106	1.9	96	102	6.1	70 - 130	20
Bromobenzene	ND	250	104	102	1.9	91	98	7.4	70 - 130	20
Hexachlorobutadiene	ND	250	110	109	0.9	96	104	8.0	70 - 130	20
Isopropylbenzene	ND	250	108	107	0.9	97	105	7.9	70 - 130	20
Naphthalene	ND	250	106	105	0.9	90	101	11.5	70 - 130	20
n-Butylbenzene	ND	250	117	115	1.7	104	111	6.5	70 - 130	20
n-Propylbenzene	ND	250	109	107	1.9	98	105	6.9	70 - 130	20
p-Isopropyltoluene	ND	250	112	110	1.8	100	106	5.8	70 - 130	20
sec-Butylbenzene	ND	250	111	109	1.8	99	106	6.8	70 - 130	20
tert-Butylbenzene	ND	250	108	106	1.9	96	102	6.1	70 - 130	20
trans-1,4-dichloro-2-butene	ND	250	111	110	0.9	94	102	8.2	70 - 130	20
% 1,2-dichlorobenzene-d4	100	%	100	100	0.0	99	99	0.0	70 - 130	20
% Bromofluorobenzene	98	%	102	102	0.0	101	101	0.0	70 - 130	20
% Dibromofluoromethane	92	%	95	97	2.1	97	97	0.0	70 - 130	20
% Toluene-d8	97	%	100	100	0.0	99	100	1.0	70 - 130	20

Comment:

Additional 8260 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is 10%.  
The RPD criteria for the LCS/LCSD is 20%,  
The MS/MSD RPD criteria is listed above.

QA/QC Batch 693726 (ug/kg), QC Sample No: CO80140 (CO80138, CO80139, CO80140, CO80141, CO80142)

**Volatiles - Soil (Low Level)**

1,1,1,2-Tetrachloroethane	ND	5.0	107	112	4.6	107	103	3.8	70 - 130	20
1,1,1-Trichloroethane	ND	5.0	109	115	5.4	110	104	5.6	70 - 130	20
1,1,1,2,2-Tetrachloroethane	ND	3.0	103	107	3.8	132	125	5.4	70 - 130	20
1,1,2-Trichloroethane	ND	5.0	104	109	4.7	96	95	1.0	70 - 130	20
1,1-Dichloroethane	ND	5.0	109	112	2.7	110	105	4.7	70 - 130	20
1,1-Dichloroethene	ND	5.0	112	114	1.8	111	104	6.5	70 - 130	20
1,1-Dichloropropene	ND	5.0	106	110	3.7	107	103	3.8	70 - 130	20
1,2,3-Trichlorobenzene	ND	5.0	98	99	1.0	43	39	9.8	70 - 130	20
1,2,3-Trichloropropane	ND	5.0	101	107	5.8	131	124	5.5	70 - 130	20
1,2,4-Trichlorobenzene	ND	5.0	98	101	3.0	52	47	10.1	70 - 130	20
1,2,4-Trimethylbenzene	ND	1.0	104	108	3.8	128	119	7.3	70 - 130	20
1,2-Dibromo-3-chloropropane	ND	5.0	110	117	6.2	105	101	3.9	70 - 130	20
1,2-Dibromoethane	ND	5.0	104	108	3.8	104	103	1.0	70 - 130	20

QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
1,2-Dichlorobenzene	ND	5.0	103	106	2.9	93	87	6.7	70 - 130	20
1,2-Dichloroethane	ND	5.0	104	107	2.8	103	100	3.0	70 - 130	20
1,2-Dichloropropane	ND	5.0	106	108	1.9	104	101	2.9	70 - 130	20
1,3,5-Trimethylbenzene	ND	1.0	106	110	3.7	134	125	6.9	70 - 130	20 m
1,3-Dichlorobenzene	ND	5.0	102	106	3.8	103	94	9.1	70 - 130	20
1,3-Dichloropropane	ND	5.0	103	105	1.9	108	103	4.7	70 - 130	20
1,4-Dichlorobenzene	ND	5.0	99	103	4.0	102	92	10.3	70 - 130	20
1,4-dioxane	ND	100	106	118	10.7	114	104	9.2	40 - 160	20
2,2-Dichloropropane	ND	5.0	110	114	3.6	110	104	5.6	70 - 130	20
2-Chlorotoluene	ND	5.0	104	107	2.8	129	120	7.2	70 - 130	20
2-Hexanone	ND	25	98	105	6.9	88	65	30.1	40 - 160	20 r
2-Isopropyltoluene	ND	5.0	107	111	3.7	131	119	9.6	70 - 130	20 m
4-Chlorotoluene	ND	5.0	101	103	2.0	121	109	10.4	70 - 130	20
4-Methyl-2-pentanone	ND	25	102	109	6.6	94	79	17.3	40 - 160	20
Acetone	ND	10	87	96	9.8	72	71	1.4	40 - 160	20
Acrylonitrile	ND	5.0	103	113	9.3	92	86	6.7	70 - 130	20
Benzene	ND	1.0	104	109	4.7	105	100	4.9	70 - 130	20
Bromobenzene	ND	5.0	103	107	3.8	126	116	8.3	70 - 130	20
Bromochloromethane	ND	5.0	106	108	1.9	102	101	1.0	70 - 130	20
Bromodichloromethane	ND	5.0	110	111	0.9	105	102	2.9	70 - 130	20
Bromoform	ND	5.0	113	117	3.5	95	94	1.1	70 - 130	20
Bromomethane	ND	5.0	105	111	5.6	105	91	14.3	40 - 160	20
Carbon Disulfide	ND	5.0	118	121	2.5	114	107	6.3	70 - 130	20
Carbon tetrachloride	ND	5.0	117	118	0.9	110	105	4.7	70 - 130	20
Chlorobenzene	ND	5.0	103	108	4.7	103	97	6.0	70 - 130	20
Chloroethane	ND	5.0	107	113	5.5	111	105	5.6	70 - 130	20
Chloroform	ND	5.0	107	107	0.0	109	105	3.7	70 - 130	20
Chloromethane	ND	5.0	106	110	3.7	100	94	6.2	40 - 160	20
cis-1,2-Dichloroethene	ND	5.0	109	111	1.8	107	100	6.8	70 - 130	20
cis-1,3-Dichloropropene	ND	5.0	107	113	5.5	101	97	4.0	70 - 130	20
Dibromochloromethane	ND	3.0	111	115	3.5	110	105	4.7	70 - 130	20
Dibromomethane	ND	5.0	104	106	1.9	101	95	6.1	70 - 130	20
Dichlorodifluoromethane	ND	5.0	91	96	5.3	90	86	4.5	40 - 160	20
Diethyl ether	ND	5.0	113	114	0.9	109	102	6.6	70 - 130	20
Di-isopropyl ether	ND	5.0	111	111	0.0	111	106	4.6	70 - 130	20
Ethyl tert-butyl ether	ND	5.0	108	109	0.9	111	106	4.6	70 - 130	20
Ethylbenzene	ND	1.0	105	108	2.8	109	104	4.7	70 - 130	20
Hexachlorobutadiene	ND	5.0	109	109	0.0	86	72	17.7	70 - 130	20
Isopropylbenzene	ND	1.0	106	110	3.7	150	141	6.2	70 - 130	20 m
m&p-Xylene	ND	2.0	104	108	3.8	106	101	4.8	70 - 130	20
Methyl ethyl ketone	ND	5.0	92	103	11.3	80	69	14.8	40 - 160	20
Methyl t-butyl ether (MTBE)	ND	1.0	104	108	3.8	107	102	4.8	70 - 130	20
Methylene chloride	ND	5.0	103	104	1.0	103	101	2.0	70 - 130	20
Naphthalene	ND	5.0	102	108	5.7	49	45	8.5	70 - 130	20 m
n-Butylbenzene	ND	1.0	102	108	5.7	110	98	11.5	70 - 130	20
n-Propylbenzene	ND	1.0	104	107	2.8	142	127	11.2	70 - 130	20 m
o-Xylene	ND	2.0	106	110	3.7	107	100	6.8	70 - 130	20
p-Isopropyltoluene	ND	1.0	104	108	3.8	125	113	10.1	70 - 130	20
sec-Butylbenzene	ND	1.0	104	108	3.8	128	117	9.0	70 - 130	20
Styrene	ND	5.0	100	103	3.0	90	84	6.9	70 - 130	20
tert-amyl methyl ether	ND	5.0	105	107	1.9	108	103	4.7	70 - 130	20
tert-Butylbenzene	ND	1.0	106	109	2.8	141	129	8.9	70 - 130	20 m
Tetrachloroethene	ND	5.0	106	111	4.6	106	96	9.9	70 - 130	20

QA/QC Data

SDG I.D.: GCO80138

Parameter	Blank	Blk RL	LCS %	LCSD %	LCS RPD	MS %	MSD %	MS RPD	% Rec Limits	% RPD Limits
Tetrahydrofuran (THF)	ND	5.0	102	112	9.3	95	95	0.0	70 - 130	20
Toluene	ND	1.0	103	107	3.8	100	96	4.1	70 - 130	20
trans-1,2-Dichloroethene	ND	5.0	109	111	1.8	108	104	3.8	70 - 130	20
trans-1,3-Dichloropropene	ND	5.0	112	116	3.5	100	96	4.1	70 - 130	20
trans-1,4-dichloro-2-butene	ND	5.0	117	125	6.6	133	121	9.4	70 - 130	20
Trichloroethene	ND	5.0	108	113	4.5	107	101	5.8	70 - 130	20
Trichlorofluoromethane	ND	5.0	107	115	7.2	109	104	4.7	70 - 130	20
Trichlorotrifluoroethane	ND	5.0	122	124	1.6	124	116	6.7	70 - 130	20
Vinyl chloride	ND	5.0	105	107	1.9	103	97	6.0	70 - 130	20
% 1,2-dichlorobenzene-d4	98	%	100	100	0.0	99	96	3.1	70 - 130	20
% Bromofluorobenzene	98	%	99	99	0.0	85	85	0.0	70 - 130	20
% Dibromofluoromethane	96	%	100	100	0.0	101	102	1.0	70 - 130	20
% Toluene-d8	98	%	100	100	0.0	98	97	1.0	70 - 130	20

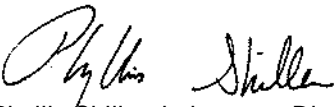
Comment:

Additional 8260 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is 10%.  
 The RPD criteria for the LCS/LCSD is 20%,  
 The MS/MSD RPD criteria is listed above.

- l = This parameter is outside laboratory LCS/LCSD specified recovery limits.
- m = This parameter is outside laboratory MS/MSD specified recovery limits.
- r = This parameter is outside laboratory RPD specified recovery limits.

If there are any questions regarding this data, please call Phoenix Client Services at extension 200.

- RPD - Relative Percent Difference
- LCS - Laboratory Control Sample
- LCSD - Laboratory Control Sample Duplicate
- MS - Matrix Spike
- MS Dup - Matrix Spike Duplicate
- NC - No Criteria
- Intf - Interference

  
 Phyllis/Shiller, Laboratory Director  
 September 11, 2023

Criteria: MA: CAM, S1, S1G2, S1G3, S2, S3

**GCO80138 - FS-ENG**

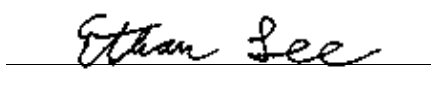
State: MA

mpNo	Acode	Phoenix Analyte	Criteria	Result	RL	Criteria	RL Criteria	Analysis Units
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No Data to Display \*\*\*

Phoenix Laboratories does not assume responsibility for the data contained in this exceedance report. It is provided as an additional tool to identify requested criteria exceedances. All efforts are made to ensure the accuracy of the data (obtained from appropriate agencies). A lack of exceedance information does not necessarily suggest conformance to the criteria. It is ultimately the site professional's responsibility to determine appropriate compliance.



<b>MassDEP Analytical Protocol Certification Form</b>					
<b>Laboratory Name:</b> Phoenix Environmental Laboratories, Inc. <b>Project #:</b>					
<b>Project Location:</b> GALVIN MS			<b>RTN:</b>		
<b>This Form provides certifications for the following data set: [list Laboratory Sample ID Number(s)]</b> CO80138, CO80139, CO80140, CO80141, CO80142					
Matrices: <input type="checkbox"/> Groundwater/Surface Water <input checked="" type="checkbox"/> Soil/Sediment <input type="checkbox"/> Drinking Water <input type="checkbox"/> Air <input type="checkbox"/> Other:					
<b>CAM Protocol (check all that apply below)</b>					
8260 VOC CAM II A <input checked="" type="checkbox"/>	7470/7471 Hg CAM III B <input checked="" type="checkbox"/>	MassDEP VPH CAM IV A <input type="checkbox"/>	8081 Pesticides CAM V B <input checked="" type="checkbox"/>	7196 Hex Cr CAM VI B <input type="checkbox"/>	MassDEP APH CAM IX A <input type="checkbox"/>
8270 SVOC CAM II B <input checked="" type="checkbox"/>	7010 Metals CAM III C <input type="checkbox"/>	MassDEP EPH CAM IV B <input type="checkbox"/>	8151 Herbicides CAM V C <input checked="" type="checkbox"/>	8330 Explosives CAM VIII A <input type="checkbox"/>	TO-15 VOC CAM IX B <input type="checkbox"/>
6010 Metals CAM III A <input checked="" type="checkbox"/>	6020 Metals CAM III D <input type="checkbox"/>	8082 PCB CAM V A <input checked="" type="checkbox"/>	9012 Total Cyanide/PAC CAM V1 A <input type="checkbox"/>	6860 Perchlorate CAM VIII B <input type="checkbox"/>	
<b>Affirmative responses to questions A through F are required for "Presumptive Certainty" status</b>					
A	Were all samples received in a condition consistent with those described on the Chain-of-Custody, properly preserved (including temperature*) in the field or laboratory, and prepared/analyzed with method holding times? (* see narrative)			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
B	Were the analytical method(s) and all associated QC requirements specified in the selected CAM protocol(s) followed?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
C	Were all required corrective actions and analytical response actions specified in the selected CAM protocol(s) implemented for all identified performance standard non-conformances?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
D	Does the laboratory report comply with all the reporting requirements specified in CAM VII A, "Quality Assurance and Quality Control Guidelines for the Acquisition and Reporting of Analytical Data"?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
E	a. VPH, EPH, and APH Methods only: Was each method conducted without significant modification(s)? (refer to the individual method(s) for a list of significant modifications). b. APH and TO-15 methods only: Was the complete analyte list reported for each method?			<input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No	
F	Were all applicable CAM protocol QC and performance standard non-conformances identified and evaluated in a laboratory narrative (including all "No" responses to Questions A through E)?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Responses to questions G, H and I below is required for "Presumptive Certainty" status</b>					
G	Were the reporting limits at or below all CAM reporting limits specified in the selected CAM protocol(s)?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<b>Data User Note: Data that achieve "Presumptive Certainty" status may not necessarily meet the data usability and representativeness requirements described in 310 CMR 40. 1056(2)(k) and WSC-07-350</b>					
H	Were all QC performance standards specified in the CAM protocol(s) achieved? See Sections: Herbicide, PCB, SVOA, VOA Narrations .			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
I	Were results reported for the complete analyte list specified in the selected CAM protocol(s)?			<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
<i>All negative responses must be addressed in an attached laboratory narrative.</i>					
<b>I, the undersigned, attest under the pains and penalties of perjury that, based upon my personal inquiry of those responsible for obtaining the information, the material contained in this analytical report is, to the best of my knowledge and belief, accurate and complete.</b>					
Authorized Signature: 			Date: Monday, September 11, 2023		
			Printed Name: Ethan Lee		
			Position: Project Manager		



**Environmental Laboratories, Inc.**  
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823



# MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

## **SDG Comments**

Phoenix reporting levels may exceed those referenced in the CAM protocol. Please refer to criteria sheet for comparisons to requested MCP standards.

1,1-Biphenyl is evaluated below the lowest calibration standard in order to meet the MA S1 criteria.

## **Cyanide Narration**

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? Yes.

### **Instrument:**

**LACHAT 08/25/23-1** Catherine Lundigan, Greg Danielewski, Chemist 08/25/23  
CO80138 , CO80139 , CO80140 , CO80141 , CO80142

The samples were distilled in accordance with the method.  
The initial calibration met criteria.

The calibration check standards (ICV,CCV) were within 15% of true value and were analyzed at a frequency of one per ten samples.

The continuing calibration blanks (ICB,CCB) had concentrations less than the reporting level.

The method blank, laboratory control sample (LCS), and matrix spike were distilled with the samples.

### **QC (Batch Specific):**

**Batch 693956 (CO79925)**  
CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 80 - 120 with the following exceptions: None.  
Additional soil criteria LCS acceptance range is 80-120% MS acceptance range 75-125%.

**Batch 694212 (CO80138)**

CO80138

All LCS recoveries were within 80 - 120 with the following exceptions: None.  
Additional soil criteria LCS acceptance range is 80-120% MS acceptance range 75-125%.

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

## **ETPH Narration**

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? Yes.

### **Instrument:**

**AU-XL2 08/29/23-1** Keith Aloisa, Chemist 08/29/23  
CO80138 (1X), CO80139 (1X), CO80140 (1X), CO80141 (1X), CO80142 (1X)

The initial calibration (ETPH808I) RSD for the compound list was less than 30% except for the following compounds: None.  
As per section 7.2.3, a discrimination check standard was run (829A004\_1) and contained the following outliers: None.  
The continuing calibration %D for the compound list was less than 30% except for the following compounds:None.



**Environmental Laboratories, Inc.**  
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Tel. (860) 645-1102 Fax (860) 645-0823



# MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

## ***ETPH Narration***

### **QC (Batch Specific):**

#### **Batch 694478 (CO80138)**

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 50 - 150 with the following exceptions: None.  
All LCSD recoveries were within 50 - 150 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 30% with the following exceptions: None.  
The ETPH/DRO LCS has been normalized based on the alkane calibration.

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

## ***Herbicide Narration***

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? No.

**QC Batch 694538 (Samples: CO80138, CO80139, CO80140, CO80141, CO80142): ----**

**One or more analytes is below the method criteria. A low bias for these analytes is possible. (2,4-DB)**

**The LCS and/or the LCSD recovery is above the upper range for one or more analytes that were not reported in the sample(s), therefore no significant bias is suspected. (Dinoseb)**

### **Instrument:**

#### **AU-ECD2 08/29/23-1**

Keith Aloisa, Chemist 08/29/23

CO80138 (2X), CO80139 (2X), CO80140 (2X), CO80141 (2X), CO80142 (2X)

The initial calibration (HRB822AI) RSD for the compound list was less than 20% except for the following compounds: None.  
The initial calibration (HRB822BI) RSD for the compound list was less than 20% except for the following compounds: None.  
The continuing calibration %D for the compound list was less than 15% except for the following compounds:

Samples: CO80138

Preceding CC 829A015 - Dinoseb 26%H (15%)

Succeeding CC 829A027 - None.

### **QC (Batch Specific):**

#### **Batch 694538 (CO79290)**

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 40 - 140 with the following exceptions: 2,4-DB(34%), Dinoseb(128%)  
All LCSD recoveries were within 40 - 140 with the following exceptions: 2,4-DB(37%)  
All LCS/LCSD RPDs were less than 30% with the following exceptions: None.  
MCP 8151 additional criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is at least 10%.

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

## ***Mercury Narration***



**Environmental Laboratories, Inc.**  
587 East Middle Turnpike, P.O.Box 370, Manchester, CT 06045  
Tel. (860) 645-1102 Fax (860) 645-0823



# Certification Report

September 11, 2023

SDG I.D.: GCO80138

## Mercury Narration

Were all QA/QC performance criteria specified in the analytical method achieved? Yes.

### Instrument:

**MERLIN 09/01/23 11:25** Paul Marshall, Chemist 09/01/23  
CO80138

The method preparation blank, ICB, and CCBs contain all of the acids and reagents as the samples.  
The initial calibration met all criteria including a standard run at or below the reporting level.  
All calibration verification standards (ICV, CCV) met criteria.  
All calibration blank verification standards (ICB, CCB) met criteria.  
The matrix spike sample is used to identify spectral interference for each batch of samples, if within 85-115%, no interference is observed and no further action is taken.  
The following Initial Calibration Verification (ICV) compounds did not meet criteria: None.  
The following Continuing Calibration Verification (CCV) compounds did not meet criteria: None.

**MERLIN 09/06/23 09:40** Alexander Latka, Chemist 09/06/23  
CO80139, CO80140, CO80141, CO80142

The method preparation blank, ICB, and CCBs contain all of the acids and reagents as the samples.  
The initial calibration met all criteria including a standard run at or below the reporting level.  
All calibration verification standards (ICV, CCV) met criteria.  
All calibration blank verification standards (ICB, CCB) met criteria.  
The matrix spike sample is used to identify spectral interference for each batch of samples, if within 85-115%, no interference is observed and no further action is taken.  
The following Initial Calibration Verification (ICV) compounds did not meet criteria: None.  
The following Continuing Calibration Verification (CCV) compounds did not meet criteria: None.

### QC (Batch Specific):

#### **Batch 695021 (CO73853)**

CO80138  
All LCS recoveries were within 75 - 125 with the following exceptions: None.  
All LCSD recoveries were within 75 - 125 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 20% with the following exceptions: None.  
Additional Mercury criteria: LCS acceptance range for waters is 80-120% and for soils is 75-125%

#### **Batch 695690 (CO80340)**

CO80139, CO80140, CO80141, CO80142  
All LCS recoveries were within 75 - 125 with the following exceptions: None.  
All LCSD recoveries were within 75 - 125 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 20% with the following exceptions: None.  
Additional Mercury criteria: LCS acceptance range for waters is 80-120% and for soils is 75-125%

## ICP Metals Narration

Were all QA/QC performance criteria specified in the analytical method achieved? Yes.

### Instrument:

**ARCOS-2 09/03/23 11:49** Cindy Pearce, Chemist 09/03/23  
CO80138, CO80139, CO80140, CO80141, CO80142



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## Certification Report

September 11, 2023

SDG I.D.: GCO80138

---

### ICP Metals Narration

The linear range is defined daily by the calibration range.  
The following Initial Calibration Verification (ICV) compounds did not meet criteria: None.  
The following Continuing Calibration Verification (CCV) compounds did not meet criteria: None.  
The following ICP Interference Check (ICSAB) compounds did not meet criteria: None.

#### QC (Batch Specific):

##### Batch 693733 (CO80138)

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 75 - 125 with the following exceptions: None.  
All LCSD recoveries were within 75 - 125 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 35% with the following exceptions: None.  
Additional: LCS acceptance range is 80-120% MS acceptance range 75-125%.

---

### PCB Narration

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? No.

**QC Batch 694482 (Samples: CO80138, CO80139, CO80140, CO80141, CO80142): ----**

**The LCS/LCSD RPD exceeds the method criteria for one or more analytes, but these analytes were not reported in the sample(s) so no variability is suspected. (PCB-1260)**

#### Instrument:

##### AU-ECD3 08/29/23-1

Saadia Chudary, Chemist 08/29/23

CO80139 (2X)

The initial calibration (PC0721AI) RSD for the compound list was less than 20% except for the following compounds: None.  
The initial calibration (PC0721BI) RSD for the compound list was less than 20% except for the following compounds: None.  
The continuing calibration %D for the compound list was less than 15% except for the following compounds:None.

##### AU-ECD48 08/29/23-1

Saadia Chudary, Chemist 08/29/23

CO80138 (2X), CO80140 (2X), CO80141 (2X), CO80142 (2X)

The initial calibration (PC0609AI) RSD for the compound list was less than 20% except for the following compounds: None.  
The initial calibration (PC0609BI) RSD for the compound list was less than 20% except for the following compounds: None.  
The continuing calibration %D for the compound list was less than 15% except for the following compounds:None.

#### QC (Batch Specific):

##### Batch 694482 (CO83806)

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 40 - 140 with the following exceptions: None.  
All LCSD recoveries were within 40 - 140 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 30% with the following exceptions: PCB-1260(52.3%)

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.



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# MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

## PEST Narration

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? Yes.

### Instrument:

**AU-ECD33 08/29/23-1** Adam Werner, Chemist 08/29/23

CO80138 (2X), CO80139 (2X), CO80140 (2X)

The initial calibration (PS0809AI) RSD for the compound list was less than 20% except for the following compounds: None.

The initial calibration (PS0809BI) RSD for the compound list was less than 20% except for the following compounds: None.

The Endrin and DDT breakdown does not exceed 15% except for the following compounds:None.

The Endrin and DDT breakdown does not exceed the maximum of 20% except for the following compounds:None.

The continuing calibration %D for the compound list was less than 20% except for the following compounds:

Samples: CO80139, CO80140

Preceding CC 829B031 - None.

Succeeding CC 829B044 - Endosulfan II -25%L (20%), Endosulfan sulfate -24%L (20%)

A low "1A" standard was run after the samples to demonstrate capability to detect any compounds outside of the CC acceptance criteria. All reported samples were ND for the affected compounds.

**AU-ECD4 08/29/23-1** Adam Werner, Chemist 08/29/23

CO80141 (2X), CO80142 (2X)

The initial calibration (PS0821AI) RSD for the compound list was less than 20% except for the following compounds: None.

The initial calibration (PS0821BI) RSD for the compound list was less than 20% except for the following compounds: None.

The Endrin and DDT breakdown does not exceed 15% except for the following compounds:None.

The Endrin and DDT breakdown does not exceed the maximum of 20% except for the following compounds:None.

The continuing calibration %D for the compound list was less than 20% except for the following compounds:None.

### QC (Batch Specific):

**Batch 694483 (CO83806)**

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 40 - 140 with the following exceptions: None.

All LCSD recoveries were within 40 - 140 with the following exceptions: None.

All LCS/LCSD RPDs were less than 30% with the following exceptions: None.

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

## SVOA Narration



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## MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

---

### SVOA Narration

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? No.

**QC Batch 694477 (Samples: CO80138, CO80139, CO80140, CO80141, CO80142): -----**

**One or more analytes is below the method criteria. A low bias for these analytes is possible. (3-Nitroaniline, 4-Chloroaniline)**

**The LCS and/or the LCSD recovery is below the method criteria. All of the other QC is acceptable, therefore no significant bias is suspected. (Aniline)**

**The LCS/LCSD RPD exceeds the method criteria for one or more analytes, but these analytes were not reported in the sample(s) so no variability is suspected. (Aniline)**

**The QC recoveries for one or more analytes is below the method criteria. A slight low bias is likely. (Benzidine, Pyridine)**  
**Instrument:**

**CHEM22 08/28/23-1**

Matt Richard, Chemist 08/28/23

CO80138 (1X), CO80139 (1X), CO80140 (1X), CO80141 (1X), CO80142 (1X)

Initial Calibration Evaluation (CHEM22/22\_SPLIT\_0807):

100% of target compounds met criteria.

The following compounds had %RSDs >20%: None.

The following compounds did not meet recommended response factors: 2-Nitrophenol 0.064 (0.1), Hexachlorobenzene 0.080 (0.1)

The following compounds did not meet a minimum response factors: None.

Continuing Calibration Verification (CHEM22/0828\_03-22\_SPLIT\_0807) (MCP Compliance):

Internal standard areas were within 50 to 200% of the initial calibration with the following exceptions: None.

96% of target compounds met criteria.

The following compounds did not meet % deviation criteria: 2-Nitroaniline 22%L (20%), 2-Nitrophenol 22%H (20%), Bis(2-chloroisopropyl)ether 23%L (20%), Hexachlorobutadiene 24%H (20%)

The following compounds did not meet maximum % deviations: None.

The following compounds did not meet recommended response factors: 2-Nitrophenol 0.078 (0.1), Hexachlorobenzene 0.078 (0.1)

The following compounds did not meet minimum response factors: None.

### **QC (Batch Specific):**

**Batch 694477 (CO83787)**

CO80138, CO80139, CO80140, CO80141, CO80142

All LCS recoveries were within 40 - 140 with the following exceptions: 3-Nitroaniline(32%), 4-Chloroaniline(22%),

Benzidine(<10%), Pyridine(35%)

All LCSD recoveries were within 40 - 140 with the following exceptions: 3-Nitroaniline(38%), 4-Chloroaniline(26%), Aniline(12%), Benzidine(<10%)

All LCS/LCSD RPDs were less than 30% with the following exceptions: Aniline(134.2%)

Additional 8270 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is at least 10%. (Acid surrogates acceptance range for aqueous samples: 10-110%, for soils 30-130%)

---

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for



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## MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

### SVOA Narration

obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

### VOA Narration

Were all QA/QC performance criteria specified in the MADEP document CAM achieved? No.

**QC Batch 693726 (Samples: CO80138, CO80139, CO80140, CO80141, CO80142): -----**

**The LCS/LCSD recovery is acceptable. One or more analytes in the site specific matrix spike recovery is below the method criteria, therefore a low bias is likely. (1,2,3-Trichlorobenzene, 1,2,4-Trichlorobenzene, Naphthalene)**

**The MS and/or the MSD recovery is above the upper range for one or more analytes that were not reported in the sample(s), therefore no significant bias is suspected. (1,1,2,2-Tetrachloroethane, 1,2,3-Trichloropropane, 1,3,5-Trimethylbenzene, 2-Isopropyltoluene, Isopropylbenzene, n-Propylbenzene, tert-Butylbenzene, trans-1,4-dichloro-2-butene)**

**The MS/MSD RPD exceeds the method criteria for one or more analytes, therefore there may be variability in the reported result. (2-Hexanone)**

**QC Batch 693923H: -----**

**The LCS and/or the LCSD recovery is above the upper range for one or more analytes that were not reported in the sample(s), therefore no significant bias is suspected. (1,2,3-Trichloropropane)**

#### Instrument:

##### CHEM03 08/23/23-1

Jane Li, Chemist 08/23/23

CO80142 (50X)

Initial Calibration Evaluation (CHEM03/VT-L082123):

99% of target compounds met criteria.

The following compounds had %RSDs >20%: None.

The following compounds did not meet Table 4 recommended minimum response factors: None.

The following compounds did not meet the minimum response factor of 0.05: None.

Continuing Calibration Verification (CHEM03/0823\_02-VT-L082123) (MCP Compliance):

Internal standard areas were within 50 to 200% of the initial calibration with the following exceptions: None.

99% of target compounds met criteria.

The following compounds did not meet % deviation criteria: 1,2-Dibromo-3-chloropropane 23%L (20%)

The following compounds did not meet maximum % deviations: None.

The following compounds did not meet Table 4 recommended minimum response factors: None.

The following compounds did not meet the minimum MCP response factor of 0.05: None.

##### CHEM26 08/22/23-3

Jane Li, Chemist 08/22/23

CO80138 (1X), CO80139 (1X), CO80140 (1X, 50X), CO80141 (1X), CO80142 (1X)

Initial Calibration Evaluation (CHEM26/VT-082223):

99% of target compounds met criteria.

The following compounds had %RSDs >20%: trans-1,4-dichloro-2-butene 22% (20%)

The following compounds did not meet Table 4 recommended minimum response factors: None.

The following compounds did not meet the minimum response factor of 0.05: None.

Continuing Calibration Verification (CHEM26/0822\_21-VT-082223) (MCP Compliance):

Internal standard areas were within 50 to 200% of the initial calibration with the following exceptions: None.





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## MCP Certification Report

September 11, 2023

SDG I.D.: GCO80138

---

### VOA Narration

100% of target compounds met criteria.  
The following compounds did not meet % deviation criteria: None.  
The following compounds did not meet maximum % deviations: None.  
The following compounds did not meet Table 4 recommended minimum response factors: None.  
The following compounds did not meet the minimum MCP response factor of 0.05: None.

#### QC (Batch Specific):

**Batch 693726 (CO80140)** CHEM26 8/22/2023-3

CO80138(1X), CO80139(1X), CO80140(1X), CO80141(1X), CO80142(1X)

All LCS recoveries were within 70 - 130 with the following exceptions: None.  
All LCSD recoveries were within 70 - 130 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 20% with the following exceptions: None.  
Additional 8260 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is 10%.  
The RPD criteria for the LCS/LCSD is 20%,  
The MS/MSD RPD criteria is listed above.

**Batch 693923H (CO77530)** CHEM03 8/23/2023-1

CO80142(50X)

All LCS recoveries were within 70 - 130 with the following exceptions: 1,2,3-Trichloropropane(150%)  
All LCSD recoveries were within 70 - 130 with the following exceptions: None.  
All LCS/LCSD RPDs were less than 20% with the following exceptions: None.  
Additional 8260 criteria: 10% of compounds can be outside of acceptance criteria as long as recovery is 10%.  
The RPD criteria for the LCS/LCSD is 20%,  
The MS/MSD RPD criteria is listed above.

I attest under the pains and penalties of perjury that, based upon my inquiry of those individuals immediately responsible for obtaining the information, the material contained in this report is, to the best of my knowledge and belief, accurate and complete.

**CHAIN OF CUSTODY RECORD**



587 East Middle Turnpike, P.O. Box 370, Manchester, CT 06040  
 Email Makrina Nolan: makrina@phoenixlabs.com Fax (860) 645-0823  
 Client Services (860) 645-1102

Customer: FS Engineers, Inc  
 Address: 47 Nessel Park Suite 42-1  
Arlon, MA 01720  
 Project: Galvin MS  
 Report to: FSE  
 Invoice to: FSE  
 QUOTE # School 23  
 Project P.O.: 23-1891

This section **MUST** be completed with **Bottle Quantities**.

Cooler: Yes  No   
 Coobant: IPK  ICE  No   
 Temp: 7 °C Pg. 1 of 1

Data Delivery/Contact Options:  
 Phone: 978-274-2830  
 Email: fs@fs-engineers.com

Sampler's Signature	Client Sample - Information - Identification	Date	Analysis Request
<u>Makrina Nolan</u>	<u>8/21/2013</u>		

Matrix Code:  
 GW=Ground Water SW=Surface Water WW=Waste Water  
 DW=Drinking Water RW=Raw Water SE=Sludge S=Soil SD=Solid W=Wipe Oil=Oil  
 B=Bulk L=Liquid X=(Other)

PHOENIX USE ONLY SAMPLE #	Customer Sample Identification	Sample Matrix	Date Sampled	Time Sampled
80138	B-1	S	8/15	
80139	B-3			
80140	B-4			
80141	B-5			
80142	B-8			

Refrigerated By:	Accepted by:	Date:	Time:	RI	CI	MA	Data Format		
<u>Makrina Nolan</u>	<u>[Signature]</u>	<u>8/21/13</u>	<u>2:15</u>	<input type="checkbox"/> (Residential) Direct Exposure <input type="checkbox"/> (Commer/Industrial) Direct Exposure <input type="checkbox"/> GA teachability <input type="checkbox"/> GB teachability <input type="checkbox"/> GA-GW Objectives <input type="checkbox"/> GB-GW Objectives	<input type="checkbox"/> RCP Cert <input type="checkbox"/> GW Protection <input type="checkbox"/> SW Protection <input type="checkbox"/> GA Mobility <input type="checkbox"/> GB Mobility <input type="checkbox"/> Residential DEC <input type="checkbox"/> I/C DEC <input type="checkbox"/> Other	<input checked="" type="checkbox"/> MCP Certification <input type="checkbox"/> GW-1 <input type="checkbox"/> GW-2 <input type="checkbox"/> GW-3 <input checked="" type="checkbox"/> S-1 GW-1 <input checked="" type="checkbox"/> S-2 GW-1 <input checked="" type="checkbox"/> S-3 GW-1 <input type="checkbox"/> SW Protection	<input checked="" type="checkbox"/> Excel <input checked="" type="checkbox"/> PDF <input type="checkbox"/> GIS/Key <input type="checkbox"/> EQUIS <input type="checkbox"/> Other Data Package <input type="checkbox"/> Tier I Checklist <input type="checkbox"/> Full Data Package* <input type="checkbox"/> Phoenix Std Report <input type="checkbox"/> Other		
Community, Special Requirements or Regulations: <u>Soil Deep Soil Characterization</u> <u>WOC-8260</u> <u>SUOC-8270</u> <u>TPH-8015</u> <u>MCP 14 Metals PH Cond. Frsky- &gt;20X</u>				Turnaround Time: <input type="checkbox"/> 1 Day* <input type="checkbox"/> 2 Days* <input type="checkbox"/> 3 Days* <input checked="" type="checkbox"/> Standard * SURCHARGE APPLIES				State where samples were collected: <u>MA</u> * SURCHARGE APPLIES	

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# **F** Phase I Environmental Site Assessment Report

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**Galvin Middle School**  
55 Pecunit Street  
Canton, Massachusetts 02021

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## **PHASE I ENVIRONMENTAL SITE ASSESSMENT**

**AUGUST 24, 2023**

**PREPARED FOR:**

Traverse Landscape Design  
150 Chestnut Street  
Providence, RI 02903

**PREPARED BY:**

The Vertex Companies, LLC  
400 Libbey Parkway  
Weymouth, MA 02189  
**PHONE 781.952.6000**

**VERTEX PROJECT NO: 89534**



August 24, 2023

Traverse Landscape Design  
150 Chestnut Street  
Providence, RI 02903  
Attn: Ms. Kris M. Bradner

RE: Phase I Environmental Site Assessment  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts 02021  
VERTEX Project No. 89534

Dear Ms. Bradner:

The Vertex Companies, LLC (VERTEX) is pleased to submit this Phase I Environmental Site Assessment (ESA) report for the above referenced property (the subject property). The purpose of this assessment was to identify Recognized Environmental Conditions (RECs) in connection with the subject property. A REC is defined as “(1) the presence of hazardous substances or petroleum products in, on, or at the subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at the subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at the subject property under conditions that pose a material threat of a future release to the environment.” It does not include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies.

Our work was conducted in accordance with the general provisions of the E 1527-21 American Society for Testing and Materials (ASTM) documents entitled "Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process" for commercial real estate as well as the U.S. Environmental Protection Agency's (USEPA) All Appropriate Inquiries (AAI) Final Rule of November 1, 2005, as amended December 15, 2022. To the best of our knowledge, this Phase I ESA report is true and accurate.

---

**THE VERTEX COMPANIES, LLC**  
400 LIBBEY PARKWAY  
WEYMOUTH, MA 02189

781.952.6000 | VERTEXENG.COM

## Galvin Middle School

Please do not hesitate to contact us at your convenience should you have any questions or comments regarding this report or our recommendations. It has been a pleasure working with you on this project.

Sincerely,

**The Vertex Companies, LLC**

DRAFT

Nicollette Bethoney  
Assistant Project Manager

DRAFT

Genevieve Reynolds  
Technical Director - Due Diligence





## Galvin Middle School

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## Galvin Middle School

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### FIGURES

Figure 1: Locus Map

Figure 2: Schematic

### APPENDICES

Appendix A: Photographic Documentation

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Appendix C: City Directories

Appendix D: Aerial Photographs

Appendix E: Topographic Maps

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**PHASE I ENVIRONMENTAL SITE ASSESSMENT**

**Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts 02021  
VERTEX Project No. 89534**

**1.0 SUMMARY**

The Vertex Companies, LLC (VERTEX) was contracted by Traverse Landscape Design to conduct a Phase I Environmental Site Assessment (ESA) of Galvin Middle School, located at 55 Pecunit Street, Canton, Massachusetts (subject property). According to the Canton Assessor, the subject property consists of one 14.7-acre parcel of land identified as Map 64 Lot 9. The subject property is improved with an approximately 130,156 square-foot, three-story building constructed in 1973 and currently is occupied by Galvin Middle School. In the early 2000s, a small structure, currently occupied by a daycare, was constructed adjacent to the northeast of the subject property building. According to the subject property contact, the daycare is privately owned and VERTEX was not provided access within the structure. According to the Norfolk Registry of Deeds, the subject property currently is owned by the Town of Canton.

The purpose of this assessment was to identify Recognized Environmental Conditions (RECs) including controlled RECs (CRECs) and historical RECs (HRECs) in connection with the subject property. The following provides a summary of VERTEX's findings and conclusions. This executive summary does not contain all of the information that is included within the full report. As such, it is recommended that this report be read in its entirety in order to obtain an adequate understanding of the subject property and the information provided, and to ensure that any decisions or actions resulting from the use of this report are taken based upon a complete understanding of conditions at the subject property and at surrounding properties. Data gaps and limitations are documented in Section 8.0 of this report, and the scope of work is included in Section 11.0 of this report.



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### 1.1 ASTM Findings and Opinions

- Based on review of available historical information, it appears that the subject property was undeveloped wooded land prior to 1952. During the late 1950s, clearing occurred at the subject property associated with the southeastern adjoining sand/gravel pit operations. Records pertaining to on-site filing were not identified. Based on topographic maps reviewed, it appears that soil was excavated from the property. The subject property was developed with the current school building in 1973. In the early 2000s, a small structure, currently occupied by a daycare, was constructed adjacent to the northeast of the subject property building. No RECs were identified in connection with the historical use of the subject property.
- VERTEX reviewed records pertaining to the subject property provided by the Town of Canton Fire Department. According to the Fire Department files, 10,000-gallon and 15,000-gallon fuel oil underground storage tanks (USTs) were removed in 1995 and a 15,000-gallon #2 heating oil UST was removed in 1997. An application for the removal of the 15,000-gallon fuel oil UST from August 1995 was on-file. Applications were not on-file for the remaining USTs. Closure documentation was not provided for any of the former USTs. Additionally, a 10,000-gallon heating oil aboveground storage tank (AST) was removed from the subject property approximately 5 years ago according to the subject property contact. The removal was completed by Cyn Environmental and permitted through the Fire Department. However, the Fire Department did not have any records regarding the AST. The Canton Town Clerk did not have any flammable storage records for the property. The Building Department did not have any records regarding the tanks or any plans of the property indicating where they were located. Based on the lack of closure documentation, the former USTs and potential for impacts to soil and groundwater are considered a REC.



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- The subject property address (55 Pecunit Street) is listed in the ASBESTOS database for abatement activities completed in 2003 and 2014. According to the subject property contact, an extensive asbestos survey is being conducted at the subject property. VERTEX was not provided with a copy of the report as the subject property contact had not received the report at the time of VERTEX's assessment.
- The subject property is located in a mixed-use area with residential, recreational, and institutional properties. It appears that Pecunit Street was constructed southwest of the subject property prior to 1894. Blue Hills Country Club was developed to the west, southwest, and northwest of the subject property in 1925. A sand/gravel pit operated to the southeast of the subject property during the 1950s. Residences were developed to the east of the subject property during the 1960s. The southeastern adjacent property was developed with the current structure in 1970, formerly occupied by the Canton School Department, currently occupied as Lieutenant Peter Hansen Elementary School. Residences were developed to the northwest of the subject property during the 1980s. The Town of Canton Department of Public Works (DPW) storage yard to the south-southwest began operation by the 1990s. The area to the northeast of the subject property has remained undeveloped wooded land since the late 1800s. No environmental concerns were identified with respect to current or historical use of adjoining properties.
- VERTEX conducted a regulatory review that included a search of state and federal regulatory databases to identify environmental concerns for the subject property and surrounding properties. Several facilities were identified within the ASTM search distances of the subject property. Based on distance, apparent gradient relationship, regulatory status, and/or other facility-specific characteristics, no RECs in connection with the subject property were identified with respect to these facilities.



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### 1.2 Conclusions and Environmental Professional Opinions

VERTEX has performed a Phase I ESA in conformance with the scope and limitations of ASTM E 1527-21, Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, of Galvin Middle School, located at 55 Pecunit Street, Canton, Massachusetts. Any exceptions to, or deletions from, this practice are described in Section 8.0 of this report. This assessment has revealed no recognized environmental conditions, controlled recognized environmental conditions, or significant data gaps in connection with the subject property, except for the following:

- Based on the lack of closure documentation, the former USTs and potential for impacts to soil and groundwater are considered a REC.

VERTEX recommends a Phase II Limited Subsurface Investigation (LSI) including a Ground Penetrating Radar (GPR) survey be completed to investigate the former USTs.



## **2.0 SUBJECT PROPERTY AND VICINITY CHARACTERISTICS**

### **2.1 Subject Property Description**

The subject property is located at 55 Pecunit Street, Canton, Norfolk County, Massachusetts. According to the Canton Assessor, the subject property consists of approximately 14.7 acres of land identified as Map 64 Lot 9. According to the Norfolk Registry of Deeds, the subject property is currently owned by the Town of Canton. The subject property is located along the northeast side of Pecunit Street. The subject property location is shown on Figure 1 - Locus Map.

### **2.2 Subject Property Improvements**

The subject property is improved with a 130,156 square-foot, three-story school constructed in 1973. The building is situated atop a concrete slab at grade level and includes classrooms, a cafeteria/auditorium, a kitchen, gymnasium, library, storage space, locker rooms, restrooms, employee breakrooms, and offices.

Exterior areas on-site consist of asphalt-paved parking lot and driveways, athletic fields, a ball hockey court, baseball fields, basketball courts, and landscaped areas.

For a layout of the subject property, please refer to Figure 2 - Schematic. Photographic documentation of the subject property and surrounding areas is presented in Appendix A.

### **2.3 Tenant Operations**

The subject property currently is occupied by Galvin Middle School. Chemicals are limited to typical small quantity storage of maintenance and cleaning supplies, which were observed to be well stored, with no signs of staining or a release. Significant quantities of petroleum products and hazardous material usage or storage were not observed on-site. A grease trap is located



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within the kitchen area, and is serviced annually by an outside contractor. The subject property also generates small quantities of biohazardous waste associated with the nurse's office. Biohazardous waste is collected in designated receptacles, which are serviced on a routine basis. No RECs or environmental concerns were identified with respect to current operations.

### 2.4 Current Uses of Adjoining Properties

The subject property was observed to be in a mixed recreational, institutional, and residential area. Adjoining properties were observed (from the subject property or from public access areas) for signs of RECs and their potential to pose an environmental concern to the subject property. The uses and features of adjoining properties are described in the following table. Per ASTM 1527-21, adjoining properties are identified as those for which the "border [...] is contiguous or partially contiguous with that of the subject property, or that would be contiguous or partially contiguous with that of the subject property but for a street, road, or other public thoroughfare separating them." The locations of these properties relative to the subject property are depicted on Figure 2 – Schematic.

NEARBY/ADJOINING PROPERTY SUMMARY		
DIRECTION	PROPERTY USE	CONCERNS
Northwest	Residential properties	None
Northwest/ West/ Southwest	Pecunit Street, beyond which is Blue Hills Country Club (23 Pecunit Street)	None
South-Southwest	Pecunit Street, beyond which is a DPW storage yard	None
Southeast	Lieutenant Hansen Elementary School (25 Pecunit Street)	None
East	Residential properties	None
Northeast	Undeveloped wooded land	None





## **2.5 Physical Setting Source(s)**

Physical setting sources specified below were reviewed to provide information about the geology and hydrogeology of the subject property.

### 2.5.1 Topography

A review of the 2018 United States Geological Survey (USGS) Topographic Quadrangle Map of Canton, Massachusetts indicates that the surface elevation of the subject property is approximately 60 to 100 feet above mean sea level. The topography of the subject property and in the surrounding area slopes gently to the north-northeast.

### 2.5.2 Surface Water

No naturally-occurring surface water bodies were observed on the subject property. The closest surface water to the subject property is Ponlapoag Brook, located approximately 900 feet northeast of the subject property. Pecunit Brook is located approximately 1,100 feet southwest of the subject property.

### 2.5.3 Geologic Conditions

According to the United States Department of Agriculture (USDA) Web Soil Survey, soils at the subject property consist primarily of Urban Land, Udorthents, Hinckley sandy loams, and Freetown mucks. Urban Land soils are those which have been so altered by human activities that the soil has lost its original characteristics and is thus unidentifiable. Udorthents soils are described as variable soils with moderate infiltration rates. Hinckley soils are described as excessively drained with high infiltration rates. Freetown soils are described as very poorly drained with very slow infiltration rates. Bedrock outcrops were not observed during the subject property reconnaissance.



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### 2.5.4 Groundwater

Based on surface topography and nearby surface water, groundwater flow direction is estimated to be to the north-northeast. Groundwater depth is anticipated to be less than 25 feet below ground surface (bgs). Actual local groundwater flow direction can be influenced by factors such as local surface topography, underground structures, seasonal fluctuations, soil and bedrock geology, and production wells, none of which were considered during this study.



### 3.0 USER-PROVIDED INFORMATION

VERTEX requested the following information concerning the subject property from Traverse Landscape Design (User). A User Questionnaire was forwarded to the designated Client contact. The information requested in the User Questionnaire is intended to assist in gathering information that may be material to identifying RECs in connection with the subject property. Information requested included:

- An evaluation of the presence of environmental cleanup liens for the subject property;
- Activity and use limitations (AULs) such as engineering controls (e.g., slurry walls, caps) and land use restrictions or institutional controls (e.g., deed restrictions, covenants) that may be in place for the subject property;
- Specialized knowledge that includes personal knowledge or experience related to the subject property or nearby properties based on professional experience or knowledge of the subject property;
- Fair market value (FMV) to evaluate whether the purchase price of any parcel was significantly below FMV;
- Obvious indicators that involve past or present spills, stains, releases, cleanups on or near the subject property;
- Common knowledge about use of specific chemicals, possible contamination, or past use of the subject property and surrounding area; and
- Reason for performing the ESA.

Ms. Kris M. Bradner, a representative of Traverse Landscape Design, stated that the work was being conducted as part of due diligence activities in connection with the planned construction activities at the subject property, and arranged for subject property access. VERTEX was not provided with a completed User questionnaire. VERTEX did not receive land title records from the User. The User did not provide information relative to AULs or environmental liens at the



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subject property. No other responsive information regarding the subject property was provided by the User.



**4.0 INTERVIEWS**

VERTEX conducted interviews regarding the subject property history and the current operations with the following individuals:

INTERVIEWS	
NAME/TITLE/COMPANY	INFORMATION PROVIDED
Mr. Brian Lynch, Facilities Director with Canton Public Schools	Provided information regarding the subject property history and operations. Escorted VERTEX during the subject property visit and answered questions regarding subject property operations.
Municipal Officials	Provided municipal information.

Information obtained from these interviews is discussed in relevant sections of this report. Please refer to Section 6.3 for a summary of information obtained from municipal inquiries.



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### 5.0 HISTORICAL RECORDS REVIEW

Past land uses for the subject property and adjoining properties were assessed to identify historical practices or conditions that may have impacted the subject property. This was accomplished by reviewing historical information from several sources including but not limited to an interview with subject property representative(s) if available, review of available previous environmental reports and ownership records, and review of historical information obtained from regulatory sources, aerial photographs, city directories, and historical maps.

#### 5.1 Historical Subject Property Use Summary

Based on review of available historical information, it appears that the subject property was undeveloped wooded land prior to 1952. During the late 1950s, clearing occurred at the subject property associated with the southeastern adjoining sand/gravel pit operations. Records pertaining to on-site filing were not identified. Based on topographic maps reviewed, it appears that soil was excavated from the property. The subject property was developed with the current school building in 1973. In the early 2000s, a small structure, currently occupied by a daycare, was constructed adjacent to the northeast of the subject property building. No RECs were identified in connection with the historical use of the subject property.

#### 5.2 Historical Adjoining Properties Use Summary

The subject property is located in a mixed-use area with residential, recreational, and institutional properties. It appears that Pecunit Street was constructed southwest of the subject property prior to 1894. Blue Hills Country Club was developed to the west, southwest, and northwest of the subject property in 1925. A sand/gravel pit operated to the southeast of the subject property during the 1950s. Residences were developed to the east of the subject property during the 1960s. The southeastern adjacent property was developed with the current structure in 1970, formerly occupied by the Canton School Department, currently occupied as Lieutenant



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Peter Hansen Elementary School. Residences were developed to the northwest of the subject property during the 1980s. The Town of Canton DPW storage yard to the south-southwest began operation by the 1990s. The area to the northeast of the subject property has remained undeveloped wooded land since the late 1800s. No environmental concerns were identified with respect to current or historical use of adjoining properties.

### 5.3 Previous Environmental Reports

VERTEX was not provided with previous environmental reports for review.

### 5.4 Prior Ownership

VERTEX obtained subject property ownership information from the Norfolk Registry of Deeds. The subject property currently is owned by the Town of Canton. Available ownership information for this property is summarized below.

DEED RECORDS REVIEW				
GRANTOR	GRANTEE	DOCUMENT TYPE	BOOK/PAGE	DATE
Thomas Columbo, Ruth Draper, Dickerman Construction Corp.	Town of Canton	Taking by Eminent Domain for School Purposes	4475/557	11/20/1967

No environmental liens or AULs were noted through review of ownership records. Prior owners of the subject property were not available to be interviewed.

### 5.5 City Directories

VERTEX reviewed historical city directory information for the subject property and adjoining properties as provided by Environmental Data Resources, Inc. (EDR). Excerpts from the city directory report are included in Appendix C. A summary of listings is presented below.



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CITY DIRECTORY REVIEW			
YEAR	SUMMARY (ON-SITE)	SUMMARY (OFF-SITE ADJOINING)	CONCERNS
1968	Not Listed	13-15 Pecunit: Individual Persons No # Pecunit: Blue Hills Country Club	None
1971	Not Listed	13-15 Pecunit: Individual Persons 25 Pecunit: City School Dept. No # Pecunit: Blue Hills Country Club	None
1975	Canton Middle School	13-15 Pecunit: Individual Persons 25 Pecunit: Canton Hanson School No # Pecunit: Blue Hills Country Club	None
1984	Canton Town Middle School, Canton Town Dsl CF	3-15 Pecunit: Individual Persons 25 Pecunit: Canton Town School No # Pecunit: Blue Hills Country Club	None
1989	Town School Chapter 1, Luce School Café, Canton Town Middle School, Charmss Cllbrtv, Cole Harrington Center, WH Galvin School	3 Pecunit: Depalma Greenhouse, individual person 15 Pecunit: Individual Person 25 Pecunit: Town Lieutenant Hansen School No # Pecunit: Blue Hills Country Club	None
1992	Town of Canton School Dept., Charmss Collaborative, Cole Harrington Children's Place and Aged Enrichment Program, Galvin Middle School	3 Pecunit: Individual Person 15 Pecunit: Sports Medicine Solution, Individual Person 23 Pecunit: Blue Hill Country Club Golf Cart Garage	None
1995	Charmss Collaborative, Cole Harrington School Aged Enrichment Program	15 Pecunit: Sports Medicine Solution, Individual Person 23 Pecunit: Blue Hill Country Club	None
2000	Charmss Collaborative, Cole Harrington School Aged Enrichment Program	15 Pecunit: Mellen Medical Products Inc., Individual Person 23 Pecunit: Blue Hill Country Club	None
2005	Charmss Collaborative, Cole Harrington School Aged Enrichment Program	3 Pecunit: Individual Person 15 Pecunit: Chelsea Distributors Inc. 23 Pecunit: Blue Hill Associates Inc., Blue Hills Country Club, Shore Oaks Golf Club 25 Pecunit: Town of Canton	None
2010	Charmss Collaborative, Cole Harrington School, Galvin Middle School	3 Pecunit: Individual Person 15 Pecunit: Mellen Medical Products Inc., Sports Medicine Solution 23 Pecunit: Blue Hills Country Club 25 Pecunit: Lieutenant Peter M Hansen School	None
2014	Cole Harrington School	1 Pecunit: Lifeworks 3-15 Pecunit: Individual Person 23 Pecunit: Blue Hills Country Club	None
2017	Cole Harrington School	1 Pecunit: Lifeworks 23 Pecunit: Blue Hills Country Club	None
2020	Galvin Middle School, individual persons	1 Pecunit: Lifeworks Inc., individual person 3-15 Pecunit: Individual Person	None

The review of city directories did not identify RECs in connection with the subject property.





**5.6 Aerial Photography**

VERTEX reviewed aerial photographs including the subject property and adjoining properties. Copies of the aerial photographs are included in Appendix D. A summary of information obtained from the review is provided in the table below.

<b>AERIAL PHOTOGRAPHY REVIEW</b>			
<b>YEAR</b>	<b>SUMMARY (ON-SITE)</b>	<b>SUMMARY (OFF-SITE ADJOINING)</b>	<b>CONCERNS</b>
1952	The subject property is undeveloped wooded land.	A golf course is developed to the northwest, west, and southwest of the subject property, beyond the adjoining roadway. Other surrounding properties consist of undeveloped wooded and vacant land.	None
1957	Some clearing has occurred on the southeastern portion of the subject property.	Areas to the southeast and north have been cleared. Other surrounding properties appear similar to the previous aerial photograph.	None
1969 1970	Significant clearing has occurred on the eastern portion of the subject property.	Residences have been constructed to the east of the subject property. The current school building is developed to the southeast of the subject property. Other surrounding properties appear similar to the previous aerial photograph.	None
1978 1980	The subject property has been developed with the current building, associated drives and parking areas, and athletic fields/courts.	A golf course is developed to the northwest, west, and southwest of the subject property, beyond the adjoining roadway. Residences are developed to the east of the subject property. The current school building is developed to the southeast of the subject property. Other surrounding areas remain undeveloped wooded land.	None
1986 1995/ 1996	The subject property has been developed with the current building, associated drives and parking areas, and athletic fields/courts.	Residences have been developed to the northwest of the subject property. Other surrounding properties appear similar to the previous aerial photograph.	None
2006 2010 2018	The subject property appears to be developed with current improvements.	The adjoining properties appear to be developed with their current improvements.	None

The review of historical aerial photographs did not identify environmental concerns in connection with the subject property.



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### 5.7 Topographic Maps

VERTEX reviewed historical topographic maps including the subject property and surrounding areas. Copies of the topographic maps are included in Appendix E. A summary of information obtained from the review is provided in the table below.

TOPOGRAPHIC MAP REVIEW			
YEAR	SUMMARY (ON-SITE)	SUMMARY (OFF-SITE ADJOINING)	CONCERNS
1894 1915 1919	The subject property is depicted as undeveloped.	Surrounding areas are depicted as undeveloped.	None
1936	The subject property is depicted as undeveloped.	Blue Hills Country Club is depicted to the northwest, west, and southwest of the subject property. Other surrounding areas are depicted as undeveloped.	None
1943	Due to the scale of the map, details of the subject property cannot be discerned.	Due to the scale of the map, details of surrounding properties cannot be discerned.	None
1946 1947	The subject property is depicted as undeveloped. Wetlands are depicted on the northeastern corner of the subject property.	Blue Hills Country Club is depicted to the northwest, west, and southwest of the subject property. Other surrounding areas are depicted as undeveloped.	None
1958	The subject property is depicted as undeveloped. Wetlands are depicted on the northeastern corner of the subject property.	Gravel pits are depicted to the southeast of the subject property. Blue Hills Country Club is depicted to the northwest, west, and southwest of the subject property. Other surrounding areas are depicted as undeveloped.	None
1970	The subject property is depicted as undeveloped. Wetlands are depicted on the northern portion of the subject property.	Hansen School is depicted to the southeast of the subject property. Residence-like structures are depicted to the east of the subject property. Blue Hills Country Club is depicted to the northwest, west, and southwest of the subject property. Other surrounding areas are depicted as undeveloped.	None
1979 1985	The current subject property building is depicted on-site. Wetlands are depicted on the northern portion of the subject property.	Hansen School is depicted to the southeast of the subject property. Residence-like structures are depicted to the east of the subject property. Blue Hills Country Club is depicted to the northwest, west, and southwest of the subject property. Other surrounding areas are depicted as undeveloped.	None
2012 2015 2018	The current school is depicted on-site. No other specific features are depicted on the map other than the roadways and water bodies surrounding the subject property.	A school is depicted to the southeast of the subject property. No other specific features depicted on the map other than the roadways and water bodies surrounding the subject property.	None



The review of historical topographic maps did not identify environmental concerns in connection with the subject property.

#### **5.8 Sanborn Fire Insurance Maps**

A search for Sanborn Fire Insurance maps was requested by VERTEX. According to EDR Sanborn, Inc., maps depicting the subject property were not available (Appendix F).



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**6.0 REGULATORY RECORDS REVIEW**

VERTEX obtained a regulatory database report as specified in Section 12.0. Review of databases and files from federal, state, and local environmental regulatory agencies was used to identify use, generation, storage, treatment, or disposal of hazardous substances and petroleum products, or release incidents of such materials that might have impacted the subject property. The databases discussed in the following sections address ASTM requirements. Additional federal and state databases may have also been reviewed, and if so, are included in the discussion below. A copy of the database report is included in Appendix G.

VERTEX's review of these listings assessed the potential for soil, groundwater, and/or soil vapor impacts to the subject property from on-site listings or listings at surrounding facilities, considering such factors as the assumed groundwater depth and flow direction, regulatory status, distance from the subject property, and other information reported by the regulatory database(s) and/or other sources of information.

In addition to the regulatory databases, EDR maintains proprietary databases of historical auto stations, dry cleaners, and manufactured gas plants. These databases are based on aggregation of historical resource data and are not produced by local, state or federal agencies. As such, VERTEX reviews these databases as a part of the historical resource review and includes information from these listings where appropriate.

The database report includes an orphan summary. This summary identifies facilities that are listed on one of the above-referenced databases or lists but do not include complete or accurate geographic data. Consequently, EDR was unable to map the facilities in relation to the subject property. VERTEX reviewed the orphan summary prior to visiting the subject property and surrounding properties. Orphan properties located within ASTM search distances of the subject property (if any) were incorporated into VERTEX's review.



**6.1 On-Site Listings**

The subject property address (55 Pecunit Street) is listed in the ASBESTOS database for abatement activities completed in 2003 and 2014. According to the subject property contact, an extensive asbestos survey is being conducted at the subject property. VERTEX was not provided with a copy of the report as the subject property contact had not received the report at the time of VERTEX’s assessment.

**6.2 Off-Site Listings**

A review of state and federal regulatory records revealed several facilities within ASTM-specified search radii of the subject property. Of these facilities, those located within 500 feet of the subject property are discussed in the table below. The remaining database listings are not considered an environmental concern to the subject property based on distance, regulatory status, and/or apparent groundwater gradient and are not further discussed.

OFF-SITE STATE AND FEDERAL LISTINGS			
FACILITY	DISTANCE/ DIRECTION/ GRADIENT	REGULATORY STATUS	CONCERNS
<b>Blue Hill Country Club</b> 23 Pecunit St	Adjacent west/ northwest/ southwest/ crossgradient (Based on locations of releases and measured GW flow at the property)	<p><b>AST:</b> Listed for Stage I Vapor Recovery testing.</p> <p><b>UST:</b> Listed for a 1,000-gallon gasoline UST installed in 1966 and removed in 1986 and a 2,000-gallon gasoline UST installed in 1986 and removed in 2016.</p> <p><b>State Hazardous Waste Site (SHWS) &amp; Leaking UST (LUST):</b> Groundwater was measured flowing to the northeast at the facility and encountered between 5 and 10 feet bgs. Releases were identified by the clubhouse (1,300 feet northwest) and the maintenance facility (1,400 feet west-southwest). The facility is listed with the following Release Tracking Numbers (RTNs):</p> <ul style="list-style-type: none"> <li>- <b>4-3000749:</b> Associated with groundwater contamination identified related to the former 1,000-gallon gasoline UST at the facility. A Class A2 Response Action Outcome (RAO) was submitted to the Massachusetts Department of Environmental Protection (MassDEP) in March 1997.</li> </ul>	None



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OFF-SITE STATE AND FEDERAL LISTINGS			
FACILITY	DISTANCE/ DIRECTION/ GRADIENT	REGULATORY STATUS	CONCERNS
		<ul style="list-style-type: none"> <li>- <b>4-3013666:</b> Release of approximately 50-gallons of diesel fuel from a truck unloading loam at the facility. A Class A2 RAO was submitted to the MassDEP in July 1996.</li> <li>- <b>4-3015551:</b> Associated with elevated concentrations of total petroleum hydrocarbon (TPH) in soil in the area of the former pool. A Class B1 RAO was submitted to the MassDEP in April 2001.</li> <li>- <b>4-3024166:</b> Associated with benzene concentrations in groundwater exceeding the Massachusetts Contingency Plan (MCP) RCGW-1 Reportable Concentrations. Attributed to former 1,000-gallon gasoline UST. A Permanent Solution with Conditions (PSC) was submitted to the MassDEP in November 2019. An Activity Use Limitation (AUL) was recorded at the Norfolk County Registry of Deeds in Book 37319 Page 456 for the facility. The AUL boundary includes the maintenance facility area, not the entire Blue Hills Country Club Parcel. The area of the AUL is located approximately 1,400 feet west-southwest of the subject property.</li> <li>- <b>4-3024878:</b> Associated with light non-aqueous phase liquid (LNAPL) identified in a monitoring well at the facility in May 2005. The release was linked to RTN 4-3024166.</li> <li>- <b>4-0026076:</b> Associated with elevated concentrations of chlorobenzene in soil at the facility identified during test pit excavations associated with RTN 4-3024166. The release was linked to RTN 4-3024166.</li> <li>- <b>4-0026086:</b> Associated with an abandoned 1,000-gallon gasoline UST identified in April 2016 during the demolition of a former structure at the facility and test pit excavations associated with RTN 4-3024166. The release was linked to RTN 4-3024166.</li> </ul> <p><b>Institutional Control (INST CONTROL):</b> Associated with RTN 4-3024166, discussed above.</p> <p><b>Resource Conservation and Recovery Act (RCRA) Very Small Quantity Generator (VSQG):</b> Listed for the generation of ignitable waste and spent halogenated solvents. No violations were reported.</p> <p><b>Massachusetts Hazardous Waste Generator (HW GEN):</b> Listed as a VSQG of MA and RCRA-regulated wastes.</p> <p><b>Manifest:</b> Listed for the transportation of hazardous waste.</p> <p><b>Underground Injection Control (UIC):</b> Associated with RTN 4-3024166, discussed above.</p>	



OFF-SITE STATE AND FEDERAL LISTINGS			
FACILITY	DISTANCE/ DIRECTION/ GRADIENT	REGULATORY STATUS	CONCERNS
Canton DPW Storage Yard Pecunit Street	~215 feet west-southwest/ Upgradient	<b>SHWS:</b> Listed with RTN 4-23752 for a release of approximately 3-5 gallons of herbicide to surface soils and stormwater at the DPW storage yard. Immediate Response Action (IRA) activities included soil excavation, screening, sampling, and laboratory analysis. A Class A2 RAO was submitted to the MassDEP in March 2012.	None
11 Country Ln	~470 feet east-southeast/ Cross to downgradient	<b>EDR Historic Auto Stations:</b> Listed as Vincent Van Neste gasoline service station. However, this location is within a residential community and appears to be a misplot.	None

The listed facilities within 500 feet of the subject property are not considered to represent an environmental concern to the subject property based on distance, apparent gradient relationship, regulatory status, and/or other facility-specific characteristics.

**6.3 Additional Environmental Record Sources**

VERTEX contacted local agencies to request information relevant to the subject property and vicinity. A summary of the agencies contacted and the information obtained is included in the following table.

LOCAL RESEARCH SUMMARY			
OFFICE	REQUEST METHOD	INFORMATION OBTAINED	CONCERNS
Canton Assessor	Online review via Assessor website at <a href="https://cantonma.maps.arcgis.com/">https://cantonma.maps.arcgis.com/</a> on July 11, 2023	VERTEX obtained the assessor card and detailed property information for the subject property.	None
Canton Building Department	In-person file review on July 12, 2023	VERTEX reviewed available records from the department including various building permits. No environmental concerns were identified in the documents reviewed.	None
Canton Conservation Commission	Public records request submitted July 11, 2023	VERTEX requested records related to wetlands at the subject property. No records were identified.	None



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LOCAL RESEARCH SUMMARY			
OFFICE	REQUEST METHOD	INFORMATION OBTAINED	CONCERNS
Canton Fire Department	Public records request submitted July 11, 2023	VERTEX requested information regarding hazardous materials at the subject property as well as records pertaining to storage tanks and incident reports, if any. See below the table for further discussion.	See below
Canton Health Department	Public records request submitted July 11, 2023	VERTEX requested any records regarding septic or well systems at the subject property. No records were identified.	None
Canton Town Clerk	Public records request submitted July 11, 2023	No flammable storage records were on-file for the subject property.	None
Canton Water & Sewer Department	Public records request submitted July 11, 2023	Confirmed the subject property has been connected to the municipal water and sewer systems since construction.	None
Norfolk Registry of Deeds	Online review via Registry website at <a href="https://masslandrecords.com/Norfolk/">https://masslandrecords.com/Norfolk/</a> on July 19, 2023	Deed information for the subject property. Refer to Section 5.4.	None
Massachusetts Department of Environmental Protection	Online review via MassDEP website at <a href="https://eeaonline.eea.state.ma.us/portals/search/wastesite">https://eeaonline.eea.state.ma.us/portals/search/wastesite</a> on July 19, 2023	VERTEX reviewed regulatory records for nearby off-site release facilities, as discussed in Section 6.2.	Refer to Section 6.2

VERTEX reviewed records pertaining to the subject property provided by the Town of Canton Fire Department. According to the Fire Department files, 10,000-gallon and 15,000-gallon fuel oil underground storage tanks (USTs) were removed in 1995 and a 15,000-gallon #2 heating oil UST was removed in 1997. An application for the removal of the 15,000-gallon fuel oil UST from August 1995 was on-file. Applications were not on-file for the remaining USTs. Closure documentation was not provided for any of the former USTs. Additionally, a 10,000-gallon heating oil aboveground storage tank (AST) was removed from the property approximately 5 years ago according to the subject property contact. The removal was completed by Cyn Environmental and permitted through the Fire Department. However, the Fire Department did not have any records regarding the AST. The Canton Town Clerk did not have any flammable storage records for the property. The Building Department did not have any records regarding the tanks or any plans of the property indicating where they were located. Based on the lack of





## Galvin Middle School

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closure documentation, the former USTs and potential for impacts to soil and groundwater are considered a REC.



## Galvin Middle School

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### 7.0 SUBJECT PROPERTY RECONNAISSANCE

A subject property reconnaissance was conducted by VERTEX representative Nicollette Bethoney, Assistant Project Manager, on July 12, 2023, between 10:00 a.m. and 10:45 a.m. Mr. Brian Lynch, Facilities Director with Canton Public Schools, escorted VERTEX during the subject property visit and answered questions regarding subject property operations.

During the subject property visit, the weather was overcast with a temperature of approximately 59° Fahrenheit. The subject property visit consisted of a walk-through of the subject property and visual reconnaissance of neighboring properties from curbside. Photographic documentation of the subject property visit is included in Appendix A.

#### 7.1 Access Restrictions

VERTEX visually and physically observed accessible areas of the subject property. The interior and exterior of the subject property building were observed. The building roof was not accessed during the subject property visit. No additional limitations imposed by physical obstructions or other limiting conditions were observed.

#### 7.2 Subject Property Observations

Observations of subject property conditions were made during the subject property reconnaissance and are summarized in the table below. Issues of potential concern are discussed in greater detail following the table.



SUBJECT PROPERTY OBSERVATIONS		
DESCRIPTION	REPORTED/ OBSERVED ON-SITE Y/N	COMMENTS
Hazardous Substances and Petroleum Products	Y	The subject property currently utilizes small quantities of janitorial cleaning chemicals, which appeared appropriately stored and reportedly utilized in accordance with their labeling. No concerns were identified.
UST(s)	N	VERTEX did not observe fill pipes, vent pipes or other evidence of UST(s). VERTEX did not observe operations and/or equipment that are typically associated with significant fuel or chemical storage that typically utilizes USTs.
AST(s)	N	VERTEX did not observe evidence of AST(s). VERTEX did not observe operations and/or equipment that are typically associated with significant fuel or chemical storage that typically utilizes ASTs.
Strong, Pungent, or Noxious Odors	N	Not identified during the subject property visit.
Pools of Liquid	N	Not identified during the subject property visit.
Drums	N	Not identified during the subject property visit.
Unidentified Substance Containers	N	Not identified during the subject property visit.
Polychlorinated Biphenyls (PCB)-containing Equipment	N	One pad-mounted transformer was observed along the northeastern corner of the subject property building. VERTEX did not observe evidence of leaks or staining on or around the inferred utility-owned transformer. No labeling regarding PCB content was observed. No concerns noted.
Utilities (Electricity/ Natural Gas)	Y	The subject property is supplied with electric and natural gas service.
Hydraulic Equipment	Y	A hydraulic passenger elevator was observed within the building. No staining or evidence of a release was observed within the elevator machine room. The elevator is serviced on a routine basis. VERTEX was not provided access to the elevator pit.
Water Supply	Y	Water has been supplied to the subject property by the Town of Canton since construction.
Wells	N	On-site water extraction or groundwater monitoring wells were not identified or reported.
Wastewater	Y	Wastewater discharges from the subject property are limited to domestic and commercial discharges with no indicated process/industrial type discharges. Sewer service has been provided to the subject property by the Town of Canton since construction.
Septic	N	Not identified during the subject property visit or historical and municipal research conducted.
Stormwater	Y	Stormwater at the subject property discharges into adjacent streets or discharges directly to the ground surface.
Pits, Ponds, Lagoons	N	Not identified during the subject property visit.



## Galvin Middle School

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SUBJECT PROPERTY OBSERVATIONS		
DESCRIPTION	REPORTED/ OBSERVED ON-SITE Y/N	COMMENTS
Stained Soil, Stained Pavement, Corrosion to Pavement	N	Not identified during the subject property visit.
Stressed Vegetation	N	Not identified during the subject property visit.
Solid Waste	Y	The subject property currently maintains one solid waste dumpster serviced by Republic Services. The dumpster is located adjacent to the northeast of the subject property building and was observed to be staged on concrete pavement in good condition. No evidence of a release of hazardous substances or petroleum products was observed in the area of the dumpster.
Hazardous Waste Management	N	Not identified during the subject property visit.
Heating/Cooling	Y	The subject property building is heated and cooled by electrically-controlled and natural gas-fired HVAC equipment.
Drains, Sumps, Oil/Water Separators/Sand Traps	Y	Floor drains were observed in the bathrooms, janitorial mop sinks, and kitchen area of the subject property. Additionally, floor drains were observed in the mechanical rooms. No evidence of staining or a release was observed around the observed drains. As such, no concerns were identified.
Vapor Intrusion	Y	As part of this assessment, VERTEX assessed the potential for impacts to the subject property from potential on- and off-site sources of vapor intrusion. The potential for impacts from off-site properties included a review of current off-site operations (see Section 2.4), a review of historical operations (see Section 5.2), and a review of regulatory database records (see Section 6.2). Potential sources of off-site vapor intrusion were not identified. The former on-site USTs are considered a potential on-site source of vapor intrusion.



**8.0 DATA GAPS**

The following data gaps and/or data failures were identified during this review:

DATA GAP	SIGNIFICANCE
Gaps of more than 5 years between historical sources	Gaps of greater than 5 years were identified between historical sources. Based on the historical research conducted, this data gap is not significant in terms of our ability to identify RECs.
Interview with previous subject property owner	Prior owners of the subject property were not available to be interviewed. Based on the historical research conducted, this data gap is not significant in terms of our ability to identify RECs.

Significant data gaps that would affect VERTEX’s ability to identify RECs at the subject property were not encountered during this assessment. Deviations or deletions from the scope of work defined by ASTM E 1527-21 were not intentionally made.

Our conclusions regarding the potential environmental impact of nearby, off-site facilities on the subject property are based on readily available information from the environmental databases and the assumed groundwater flow direction as inferred from the topography of the subject property and surrounding area. VERTEX reviewed selected regulatory files for the off-site regulatory database listings, as discussed in Section 6.2 of this report.



**Galvin Middle School**

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**9.0 EP CERTIFICATION AND VIABILITY DATES**

I declare that, to the best of my professional knowledge and belief, I meet the definition of environmental professional as defined in §312.10 of 40 C.F.R. 312. I have the specific qualifications based on education, training, and experience to assess a property of the nature, history and setting of the subject property. I have developed and performed the all appropriate inquiries in conformance with the standards and practices set forth in 40 C.F.R. Part 312.

**The Vertex Companies, LLC**

\_\_\_\_\_  
Genevieve Reynolds  
Technical Director - Due Diligence

This Phase I ESA is assumed to be viable within 180 days of the components noted below:

COMPONENT	DATE
Interview with owner, operator, and/or occupant	07/12/2023
Search for environmental liens and AULs	<i>VERTEX notes that the search for environmental liens and AULs is a User responsibility.</i>
Date of regulatory database report	07/11/2023
Subject property reconnaissance	07/12/2023
EP Declaration	07/21/2023



## 10.0 SCOPE AND LIMITATIONS

### 10.1 Purpose

The primary purpose of this assessment is to identify, to the extent feasible pursuant to the processes prescribed in ASTM E 1527-21, RECs in connection with the subject property. As defined in ASTM E 1527-21, a REC is “(1) the presence of hazardous substances or petroleum products in, on, or at the subject property due to a release to the environment; (2) the likely presence of hazardous substances or petroleum products in, on, or at the subject property due to a release or likely release to the environment; or (3) the presence of hazardous substances or petroleum products in, on, or at the subject property under conditions that pose a material threat of a future release to the environment.” It does not include *de minimis* conditions that generally do not present a threat to human health or the environment and that generally would not be the subject of an enforcement action if brought to the attention of appropriate governmental agencies. A “historical REC” is defined in ASTM E 1527-21 as “ A previous release of hazardous substances or petroleum products affecting the subject property that has been addressed to the satisfaction of the applicable regulatory authority or authorities and meeting unrestricted use criteria established by the applicable regulatory authority or authorities without subjecting the subject property to any controls (for example, activity and use limitations or other property use limitations).” ASTM E 1527-21 defines the term “controlled REC” as “ recognized environmental condition affecting the subject property that has been addressed to the satisfaction of the applicable regulatory authority or authorities with hazardous substances or petroleum products allowed to remain in place subject to implementation of required controls (for example, activity and use limitations or other property use limitations).”

In conducting this assessment, VERTEX followed ASTM E 1527-21, as well as the U.S. Environmental Protection Agency’s All Appropriate Inquiries (AAI) Final Rule of November 1, 2005, as amended December 30, 2013. There were no exceptions to or deletions from this practice, as described in Section 8.0 of the report. ASTM defines good commercial and customary



## Galvin Middle School

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practice for conducting an ESA of a parcel of commercial real estate with respect to the range of contaminants within the scope of the Comprehensive Environmental Response, Compensation and Liability Act (CERCLA) (42 U.S.C. 9601) and petroleum products. This practice is intended to permit a user to satisfy one of the requirements to qualify for the innocent landowner, contiguous property owner, or bona fide prospective purchaser limitations on CERCLA liability. The practice constitutes “all appropriate inquiries into the previous ownership and uses of the property consistent with good commercial and customary standards and practices” as defined at 42 U.S.C. 9601(35)(B).

As part of ASTM E 1527-21, Phase I ESAs must be conducted by or under the supervision of a qualified Environmental Professional. The AAI Final Rule defines an Environmental Professional as someone who possesses sufficient specific education, training, and experience necessary to exercise professional judgment to develop opinions and conclusions regarding conditions indicative of releases or threatened releases on, at, in, or to a property, sufficient to meet the objectives and performance factors of the rule.

### 10.2 Detailed Scope-of-Services

As part of this Phase I ESA, and in accordance with the provisions of ASTM E 1527-21, VERTEX performed a visual reconnaissance of the subject property, noted use of adjoining properties, and conducted historical and regulatory records research. The following provides a more detailed description of the scope of services:

- Visual assessment of the subject property building(s), if present, and grounds to identify potential for on-site petroleum or hazardous material release(s).
- Visual assessment and categorization of the use of abutting and adjoining properties as potential off-site sources of petroleum or hazardous substance contamination to the subject property.





## Galvin Middle School

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- Review of reasonably ascertainable state and federal regulatory records related to on-site activities and to evident off-site activities to identify potential sources of petroleum or hazardous substance contamination to the subject property.
- Review of reasonably ascertainable historical information to assess for potential on-site and off-site sources of petroleum or hazardous substance contamination to the subject property.
- Review of reasonably ascertainable local records related to historical subject property ownership, usage, and development. This includes obtaining information from local environmental authorities to identify complaints, violations, citations, inspections, environmental liens, AULs, or institutional and engineering controls related to the subject property.
- Review of reasonably ascertainable documents and other resources for the subject property and vicinity to evaluate current and historical development and renovation activities.
- Visual assessment for suspect Polychlorinated Biphenyl (PCB) containing equipment, e.g., transformers, elevators. Please note, this scope of work does not include an evaluation for or testing of suspect PCBs in building materials such as caulking, mastic/adhesives, oil-based paints, coatings, and sealants. Currently, there are no regulatory requirements to test in-place building materials for the presence of PCBs. Although testing is not required for in place materials, owners are required to know the content of the waste streams that they generate and potentially sign waste profiles prior to disposal facility acceptance. Therefore, if renovation or demolition activities are to be conducted at the subject property that will result in the generation of demolition debris, a contractor or waste disposal facility may request certification of knowledge of the waste stream or testing to determine if the material(s) contain PCBs for proper handling and disposal purposes.



## Galvin Middle School

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- Visual assessment of the accessible areas of the subject property and review of readily available public records to assess the presence or absence of the following non-scope considerations: none.
  
- Preparation of a Phase I ESA report.

### 10.3 Significant Assumptions

Information obtained from the Client, the Client's representative, subject property representatives, individuals interviewed, and prior environmental reports is considered accurate unless VERTEX's reasonable inquiries clearly revealed otherwise.

Conditions observed were considered representative of areas that were not observed unless otherwise indicated.

The primary direction of groundwater flow is assumed to follow topography, unless otherwise indicated by measurement of the potentiometric surface or other quantifiable data.

VERTEX reviewed reasonably ascertainable public records with respect to past operations and ownership of the subject property to identify past usage. VERTEX is not a professional title insurance firm and makes no guarantee, express or implied, that the listing reviewed represented a comprehensive delineation of past subject property ownership or tenancy for legal purposes. The accuracy and completeness of information maintained in public records by public agencies or other entities is assumed to be sufficient for the purposes of this Phase I ESA, and independent verification of its validity is beyond the scope of this investigation.



#### 10.4 Limitations and Exceptions

Our professional services have been performed, our findings obtained, and our recommendations prepared in accordance with customary principles and practices in the fields of environmental science and engineering. The findings within this ESA utilized information that was practically reviewable per ASTM Practice E 1527-21, meaning that only relevant data relating to the subject property has been incorporated into the findings, disregarding extraordinary analysis of irrelevant data. The investigation conducted for this ESA was limited to data that were reasonably ascertainable, meaning that the information was publicly available, obtainable within the cost and time constraints under the scope of services for this project, and practically reviewable. VERTEX is not responsible for the independent conclusions, opinions, or recommendations made by others based on the records review, subject property visit, field exploration, and laboratory test data presented in this report.

It should be noted that all surficial environmental assessments are inherently limited in the sense that conclusions are drawn and recommendations developed from information obtained from limited research and subject property evaluation. Subsurface conditions were not field-investigated as part of this study and may differ from the conditions implied by the surficial observations. Additionally, the passage of time may result in a change in the environmental characteristics at the subject property and surrounding properties. VERTEX does not warrant against future operations or conditions, or against operations or conditions present of a type or at a location not investigated. VERTEX does not assume responsibility for other environmental issues that may be associated with the subject property.

This study is not intended to assess or otherwise determine if soil contamination, waste emplacement, or groundwater contamination exists. These data are accessible only by sampling of subsurface material and groundwater through the completion of soil borings and the installation of monitoring wells and the chemical analyses of soil and groundwater samples. The scope of work, determined by the client, did not include these activities.



## Galvin Middle School

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In view of the rapidly changing status of environmental laws, regulations and guidelines, VERTEX cannot be responsible for changes in laws, regulations, or guidelines that occur after the study has been completed and that may affect the subject property.

It must be noted that no investigation can absolutely rule out the existence of hazardous substances at a given property. This assessment has been based upon prior subject property history and observable conditions. Existing hazardous substances and contaminants can escape detection using these methods.

Unless indicated to the contrary in Section 8.0, there were no significant data gaps or accessibility limitations that would affect VERTEX's ability to identify RECs at the subject property.

While VERTEX may comment on environmental compliance matters that fall under the scope of this assessment, this study does not constitute a regulatory compliance audit, and does not document compliance with applicable state, federal, or local regulations.

### **10.5 Special Terms and Conditions**

No special Terms and Conditions were agreed upon between the User and the Environmental Professional.

### **10.6 User Reliance**

This report is for the exclusive use of Traverse Landscape Design. No other party shall have the right to rely on any service provided by VERTEX without prior written consent. Use of this report by any other party shall be at such party's sole risk.



## **11.0 REFERENCES**

### **Agencies Contacted/Records Reviewed:**

Canton Assessor  
Canton Building Department  
Canton Conservation Commission  
Canton Fire Department  
Canton Health Department  
Canton Town Clerk  
Canton Water & Sewer Department  
Norfolk Registry of Deeds  
Massachusetts Department of Environmental Protection

### **Other Documents Reviewed:**

Aerial photographs obtained from EDR, dated 1952, 1957, 1969, 1970, 1978, 1980, 1986, 1995, 1996, 2006, 2010, and 2018.  
City directories obtained from EDR, dated 1968, 1971, 1975, 1984, 1989, 1992, 1995, 2000, 2005, 2010, 2014, 2017, and 2020.  
EDR Database Report, July 11, 2023.  
Sanborn Fire Insurance Map No Coverage Report, July 11, 2023.  
Topographic maps obtained from EDR, dated 1894, 1915, 1919, 1936, 1946, 1947, 1958, 1970, 1979, 1985, 2012, 2015, and 2018.

### **Interviews:**

Mr. Brian Lynch, Facilities Director with Canton Public Schools  
Various Municipal Staff





## FIGURES

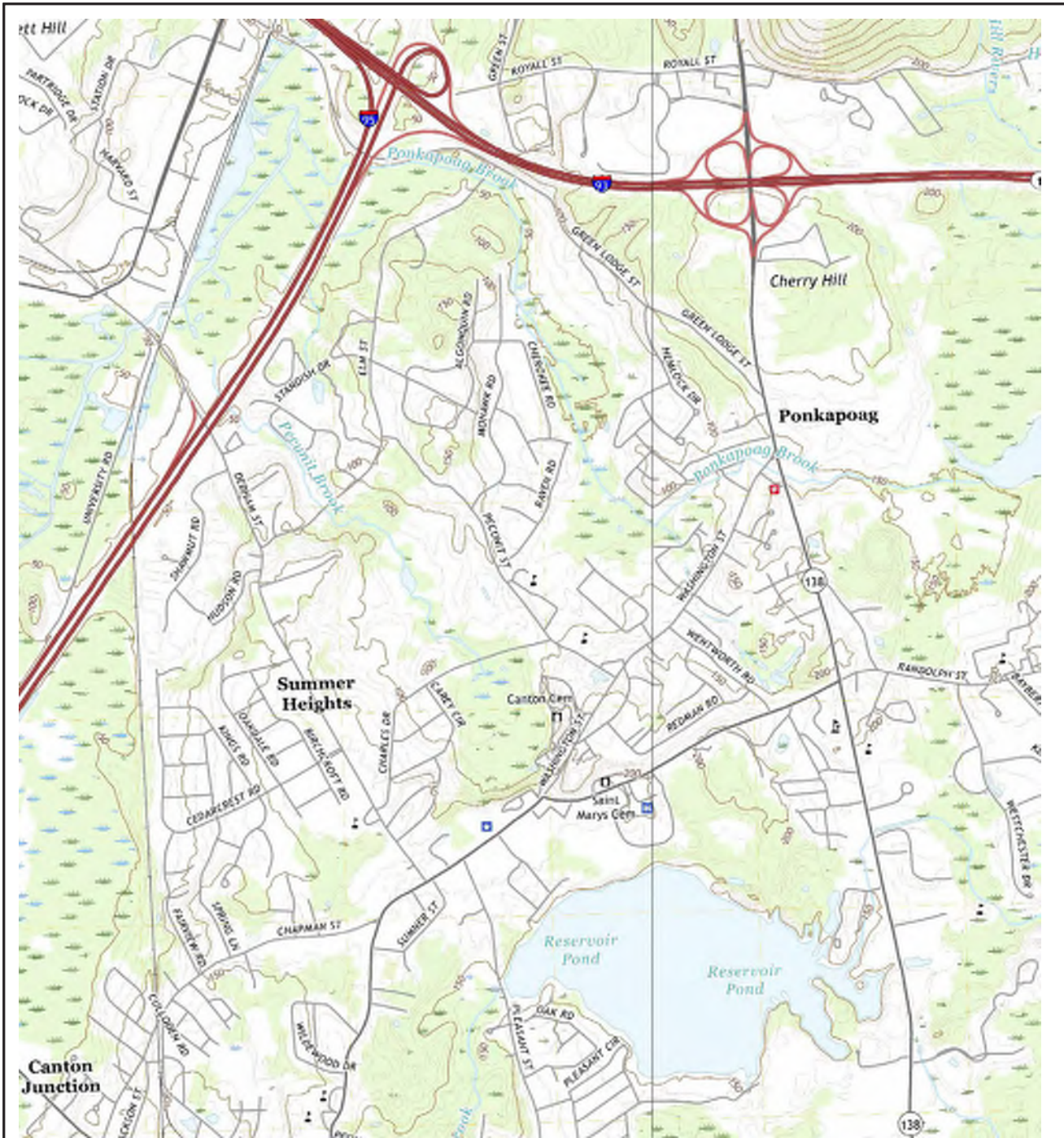


FIGURE 1 - SITE LOCUS MAP

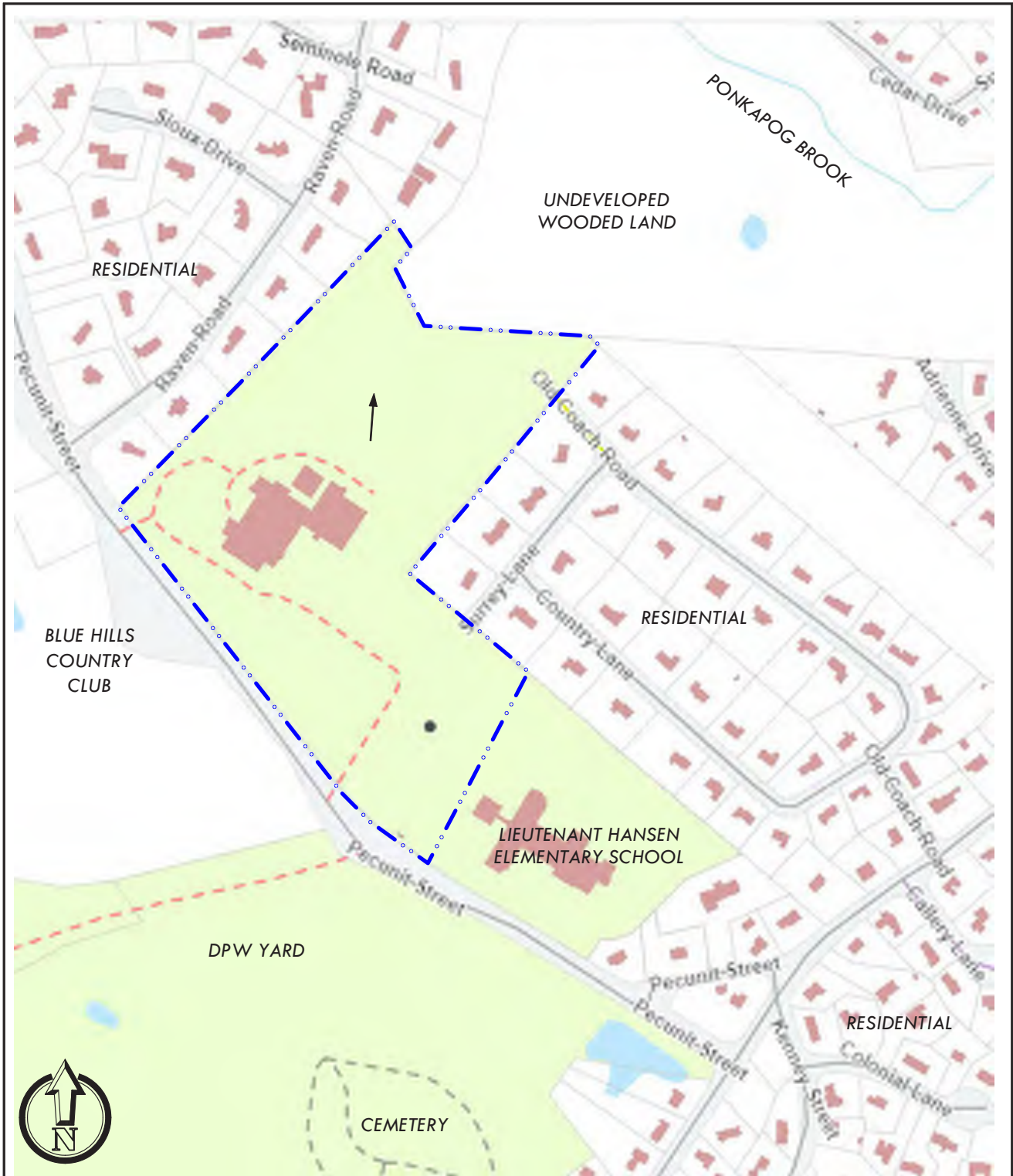
GALVIN MIDDLE SCHOOL  
 55 PECUNIT STREET  
 CANTON, MASSACHUSETTS

NOT TO SCALE  
 Date: AUGUST 2023  
 Drawn: NAB  
 Checked: GJR  
 Job No.: 89534

FIGURE  
**1**

**VERTEX**<sup>®</sup>  
 400 LIBBEY PARKWAY  
 WEYMOUTH, MA 02189  
 (T): 781.952.6000

VERTXENGG.COM



→ GROUNDWATER FLOW DIRECTION

FIGURE 2 - SITE SCHEMATIC

GALVIN MIDDLE SCHOOL  
55 PECUNIT STREET  
CANTON, MASSACHUSETTS

NOT TO SCALE	
Date:	AUGUST 2023
Drawn:	NAB
Checked:	GJR
Job No.:	89534

FIGURE  
**2**

**VERTEX**<sup>®</sup>  
400 LIBBEY PARKWAY  
WEYMOUTH, MA 02189  
(T): 781.952.6000

VERTXENX.COM





**APPENDIX A**  
**PHOTOGRAPHIC DOCUMENTATION**

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #1:** Southeastern exterior.



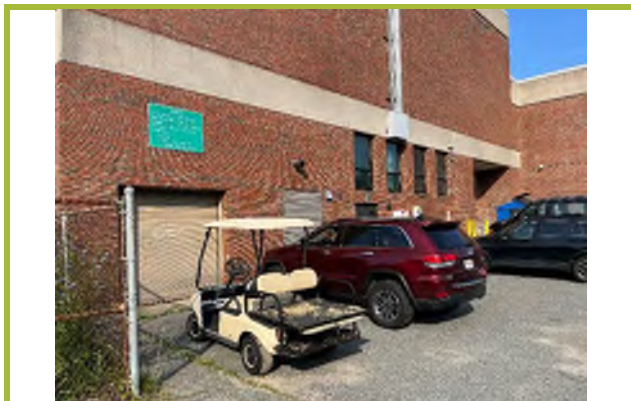
**Photograph #2:** Southwestern exterior.



**Photograph #3:** Northeastern exterior.



**Photograph #4:** Pad-mounted transformer.



**Photograph #5:** Northeastern exterior.



**Photograph #6:** Dumpster.

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #7:** Daycare to the adjacent northeast of the subject property building.



**Photograph #8:** Athletic fields to the northeast of the subject property building.



**Photograph #9:** Playground to the north of the subject property building.



**Photograph #10:** Basketball courts to the north of the subject property building.



**Photograph #11:** Northwestern exterior.



**Photograph #12:** Northwestern exterior.

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #13:** Ball hockey court on the southern portion of the subject property.



**Photograph #14:** Baseball field on the southern portion of the subject property.



**Photograph #15:** Kitchen.



**Photograph #16:** Kitchen.



**Photograph #17:** Grease trap.



**Photograph #18:** Kitchen.

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #19:** Cafeteria/Auditorium.



**Photograph #20:** Cafeteria/Auditorium.



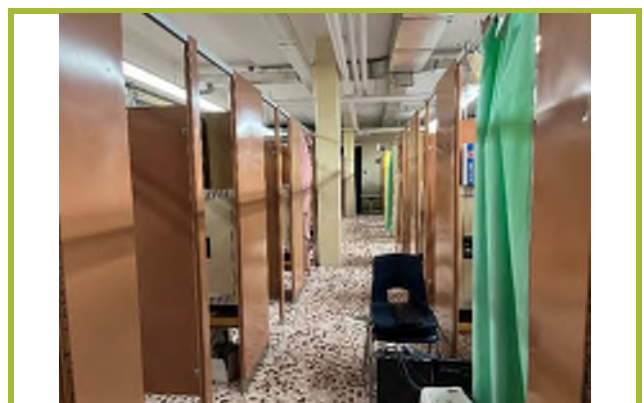
**Photograph #21:** Elevator.



**Photograph #22:** Elevator machine room.



**Photograph #23:** Girl's locker room.



**Photograph #24:** Girl's locker room.

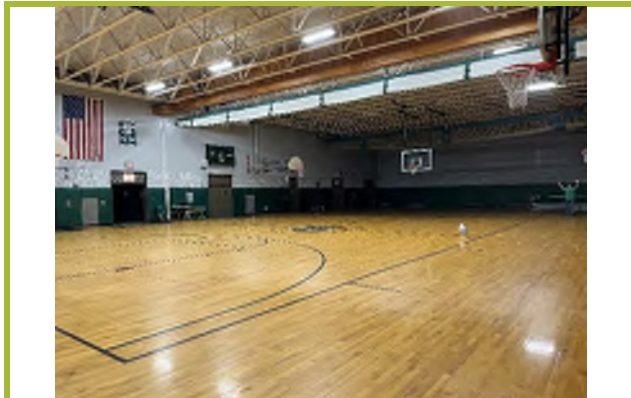
**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #25:** Emergency generator.



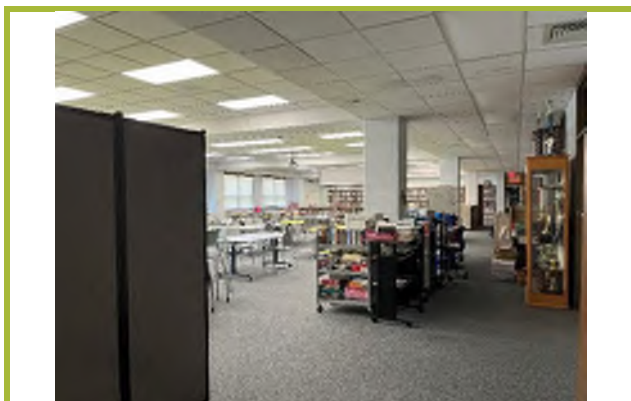
**Photograph #26:** Hallway.



**Photograph #27:** Gymnasium.



**Photograph #28:** Janitor's closet.



**Photograph #29:** Library.



**Photograph #30:** Library.

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #31:** Employee breakroom.



**Photograph #32:** Hallway.



**Photograph #33:** Science laboratory classroom.



**Photograph #34:** Science laboratory classroom.



**Photograph #35:** Art room.



**Photograph #36:** Kiln in art room.

**Photographic Documentation  
Galvin Middle School  
55 Pecunit Street  
Canton, Massachusetts  
VERTEX Project Number 89534**



**Photograph #37:** Residences to the northwest along Raven Road.



**Photograph #38:** Residences to the northwest along Raven Road.



**Photograph #39:** Blue Hills Country Club to the west.



**Photograph #40:** Town of Canton property to the south.



**Photograph #41:** Lieutenant Peter Hansen School to the southeast.



**Photograph #42:** Residences to the southeast along Old Pecunit Street.





**APPENDIX B**  
**RELEVANT DOCUMENTATION**

map 00 - fire dept. on main morning  
99 Revere St. Canton

FORM F.P. 292  
(rev. 9/90)



The Commonwealth of Massachusetts  
Department of Public Safety  
Division of Fire Prevention and Regulation

APPLICATION FOR PERMIT, AND PERMIT, FOR REMOVAL AND TRANSPORTATION TO APPROVED TANK YARD

FDID# 21050

Permit # 96-178

Date 8/21 1995

CANTON

City, Town or District

C.82 S.40 M.G.L.

Fee Paid: \$       

DIG SAFE NUMBER

953302222

start date 8/18/95

In accordance with the provisions of Chapter 148, Sec. 38A, M.G.L.,  
527 CMR 9.00 application is hereby made by: FRANKLIN ENVIRONMENTAL SER.

Street Address & City or Town: 185 Industrial Rd., Wrentham, MA

Signature of applicant: D. Franklin

Applicants name printed: DEREK FRANKLIN

For permission to remove and transport one underground storage tank from.

Owner: Galvin Middle School Street Address: 55 REUNIT ST.

Firm transporting waste: FRANKLIN ENVIRON. State Lic. # MA 71

Hazardous waste manifest # MA H37493 E.P.A. # MA 094814136

Approved tank yard: State line <sup>GRANTS</sup> Scrap # 008

Tank yard Address: South Middleboro, MA R 28 WALCOTT ST  
BOSTON, MA.

Type of inert gas: Dry Ice UL tank #:       

Tank capacity: 15,000 Substance last stored: fuel oil

Date of issue: 8-31 1995 Date of expiration: 9-1 1995

Signature/Title of Officer granting permit: Thomas J. Rourke III  
DEPUTY FIRE CHIEF

KEEP ORIGINAL AS APPLICATION AND ISSUE DUPLICATE AS PERMIT

CANTON FIRE DEPARTMENT  
STORAGE TANKS REMOVED BY STREET

		□			
Oakdale Road	48	#2 Fuel Oil	1	275	1993
Oakdale Road	50	#2 Fuel Oil	1	275	1994
Oakdale Road	52	#2 Heating Oil	1	275	1997
Oakdale Road	52	#2 Heating Oil	1	275	1997
Oakdale Road	53	Heating Oil	1	275	1990
Oakdale Road	64	#2 Heating Oil	1	275	1997
Old Coach Road	19				1993
Old Meadow Lane	7	#2 Fuel Oil	1	1,000	1994
Old Rnadolph Street	3	#2 Fuel Oil	1	1,000	2003
Old Ridge Road	2	#2 Fuel Oil	1	1,000	2000
Overlook Road	4	#2 Fuel Oil	1	1,000	1992
Pamela Lane	8	#2 Fuel Oil	1	500	1993
Pecunit	23	Heating Oil	1	275	2003
Pecunit	23	Waste Oil	1	110	2003
Pecunit	23	#2 Heating Oil	1	10,000	1997
Pecunit	23	Gasoline	1	1,000	1986
Pecunti	25	Fuel Oil	1	10,000	1995
Pecunit	25	Fuel OIL	1	10,000	1995
Pequit	35		2	2,000	1986
Pequit	35		1	2,000	1988
Pecunit	55	Fuel OIL	1	10,000	1995
Pecunit	55	Fuel OIL	1	15,000	1995
Pecunit	55	#2 Heating Oil	1	15,000	1997
Pequit	60		1	1,000	1989
Pequot Industrial Park	10		1	3,000	1989
Pequot Way	9	Gasoline	1	10,000	1991
Pequot Way	9	#2 Fuel Oil	1	1,000	1991
Pequot Way	10	#2 Fuel Oil	1	6,000	1994
Pequot Way	10	#2 Fuel Oil	1	4,000	1994
Pequot Way	10	#2 Fuel Oil	1	4,000	1994
Pequot Way	10	#2 Fuel Oil	1	6,000	1994
Pine	57		1	100,000	1986
Pine	57		2	25,000	1986
Pine	57		1	3,000	1986
Pine	57		3	2,000	1986
Pine	57		1	1,500	1986
Pine	330	Hydrocarbons	1	8,460	1995
Pine	330	Hydrocarbons	1	3,380	1995
Pine	330	Hydrocarbons	1	3,380	1995
Pine	330	Hydrocarbons	1	3,380	1995
Pine	330	Hydrocarbons	1	3,380	1995
Pine	330	Ammonia	1	2,000	1995
Pinecone Road	4	#2 Fuel Oil	1	275	1992

Key: 5488 Town of Canton - Fiscal Year 2023 12/29/2022 10:37 am SEQ # 5,049

CURRENT OWNER		PARCEL ID		LOCATION		CLASS		CLASS%		DESCRIPTION		BN ID	CARD
CANTON TOWN OF WILLIAM H GALVIN SCHOOL PECUNIT STREET CANTON, MA 02021		64-9		55 PECUNIT ST		9340		100		IMP EDUCATION		1	1 of 2
CD	T	AC/IF/UN	Ngh	Inf-1	Inf-2	ADJ BASE	SAF	Topo	Lpi	VC	CREDIT AMT	ADJ VALUE	
103	S	640,332	CIM	1.00	1.00	349,140	1.00	1.00	C6	1.10		5,132,360	
TOTAL		14.700 Acres		ZONING 9		FRNT 0							

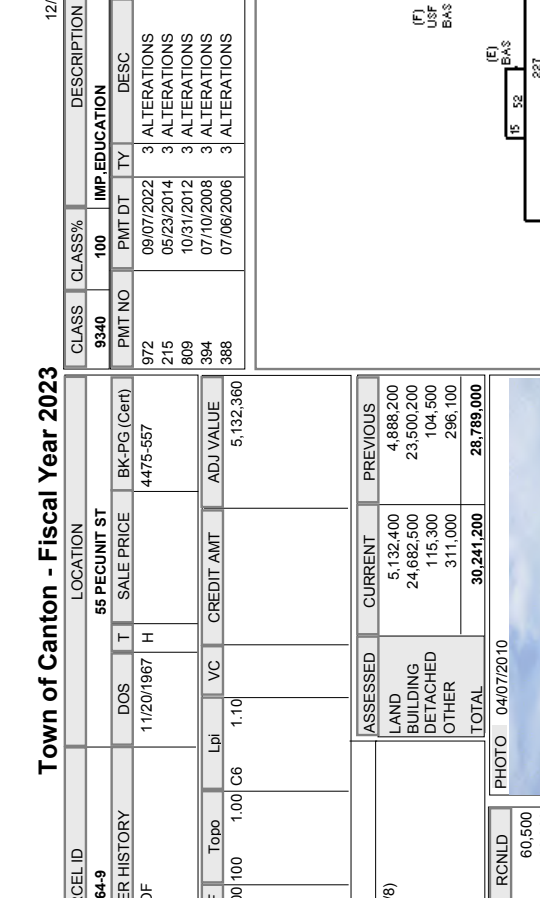
ASSESSED		CURRENT		PREVIOUS	
LAND	4,888,200	5,132,400	4,888,200		
BUILDING	23,500,200	24,682,500	23,500,200		
DETACHED	104,500	115,300	104,500		
OTHER	296,100	311,000	296,100		
<b>TOTAL</b>	<b>28,789,000</b>	<b>30,241,200</b>	<b>28,789,000</b>		

TY	QUAL	COND	DIM/NOTE	YB	UNITS	RCNLD	ADJ PRICE	RCNLD	ADJ PRICE	RCNLD
PAV	G	1.20	70	0.30	80,000	60,500	2.52	60,500	2.52	60,500
LH1	G	1.20	50	0.50	20	19,300	1,929.72	19,300	1,929.72	19,300
LH2	G	1.20	50	0.50	4	6,100	3,081.44	6,100	3,081.44	6,100
C04	A	1.00	50	0.50	750	5,400	14.50	5,400	14.50	5,400
C06	A	1.00	50	0.50	800	7,100	17.80	7,100	17.80	7,100
SHF	G	1.20	30	0.70	64	700	15.68	700	15.68	700
LH4	G	1.20	50	0.50	4	10,500	5,237.52	10,500	5,237.52	10,500
LH6	G	1.20	50	0.50	1	5,700	11,361.60	5,700	11,361.60	5,700

BUILDING		MEASURE		DF	
MODEL	5	4/7/2010	4/7/2010	4/7/2010	DF
STYLE	96	LIST	LIST	REVIEW	DF
QUALITY	A	REVIEW	REVIEW		DF
FRAME	2				

YEAR BLT		SIZE ADJ		DESC	
1985	1.000	2.105	1.050		
NET AREA	130,356	DETAIL ADJ			
\$NLA(RCN)	\$256	OVERALL			

CAPACITY		UNITS		ADJ	
STORIES	3	100	1.00		
% HEATED	100	100	1.00		
% AIR COND	100	1.03	1.00		
% SPRINKLER	0	1.00			



BLDG COMMENTS  
GALVIN MIDDLE SCHOOL

BLDG COMMENTS		UNITS		RCN		ADJ PRICE		RCN		CONDITION ELEM		TOTAL RCN	
+	BAS	L	44,356	1985	11,325,254	255.33	1985	11,325,254	CD	CD	33,354,712		
+	USF	L	74,912	1985	19,127,005	255.33	1985	19,127,005	A	A			
+	OPA	N	420	1985	27,200	27.20	1985	27,200	A	A			
G	BAS	L	11,088	1985	2,831,058	255.33	1985	2,831,058	A	A			
ELV	O		1		59,972.90	59,972.90							

EFF YR/AGE		COND		FUNC		ECON		DEPR		RCNLD	
1990	31	26	26 %	0	0	0	0	26	% GD	74	\$24,682,500

Town of Canton - Fiscal Year 2023

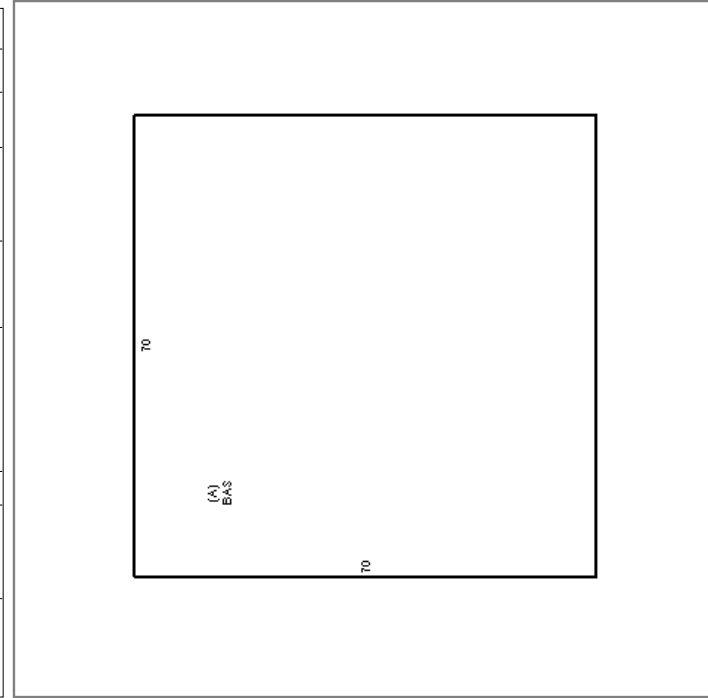
12/29/2022 10:37 am SEQ #: 5,050

Key: 5488

CLASS	CLASS%	DESCRIPTION	BN ID	BN	CARD
9340	100	IMP EDUCATION	2	2	2 of 2
PMT NO	PMT DT	TY	DESC	AMOUNT	BY

CD	T	AC/SF/UN	Ngh	Infl-1	Infl-2	Topo	Lpi	VC	CREDIT AMT	ADJ VALUE

L E G A L L A N D



ASSESSED	CURRENT	PREVIOUS
LAND BUILDING DETACHED OTHER TOTAL	311,000	



TY	QUAL	COND	DIM/NOTE	YB	UNITS	ADJ PRICE	RCNLD

BLDG CD	ADJ	DESC
5		CIM-5
97	0.80	CLASSROOMS [100%]
L	0.70	LOW COST [100%]
1	1.00	WOOD FRAME [100%]

YEAR BLT	NET AREA	\$NLA/RCN	SIZE ADJ	DETAIL ADJ	OVERALL
1990	4,900	\$84	1.000	0.782	1.050

B U I L D I N G

YEAR BLT	NET AREA	\$NLA/RCN	SIZE ADJ	DETAIL ADJ	OVERALL	UNITS	ADJ
1990	4,900	\$84	1.000	0.782	1.050	4,900	1990
CAPACITY		UNITS		ADJ		RCN	
STORIES		1		1.00		409,172	
% HEATED		100		1.00		CD	
% AIR COND		100		1.03		A	
% SPRINKLER		0		1.00		A	
ELEMENT		CD		DESCRIPTION		ADJ	
FOUNDATION		1		PIER		1.00	
EXT. COVER		2		CLAPBOARD		1.00	
ROOF SHAPE		4		FLAT/SHED		0.98	
ROOF COVER		10		METAL		1.00	
FLOOR COVER		3		W/W CARPET		1.00	
INT. FINISH		2		DRYWALL		1.00	
HEATING/COOL		9		WARM/COOL AIR		1.00	
FUEL SOURCE		2		GAS		1.00	
TOTAL RCN		CONDITION ELEM		EFF. YR/AGE		COND	
409,172		EXTERIOR		1994 / 27		24 24 %	
		INTERIOR				0	
		CDN/APP				0	
		RCNLD				76	
						\$311,000	

D E T A I L I N G

Town of Canton  
Massachusetts  
Map 47

- Parcels
- Parcels on Adjacent Map
- Easement
- Combined Ownership
- Building
- Hydrographic Features
- Wetlands (2005)

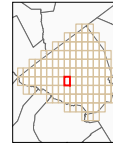
500 FT GRID BASED ON  
NAD 83 DATUM  
MASSACHUSETTS STATE PLANE  
COORDINATE SYSTEM  
MAINLAND ZONE (NAD 83)

Last revised:  
May 2022

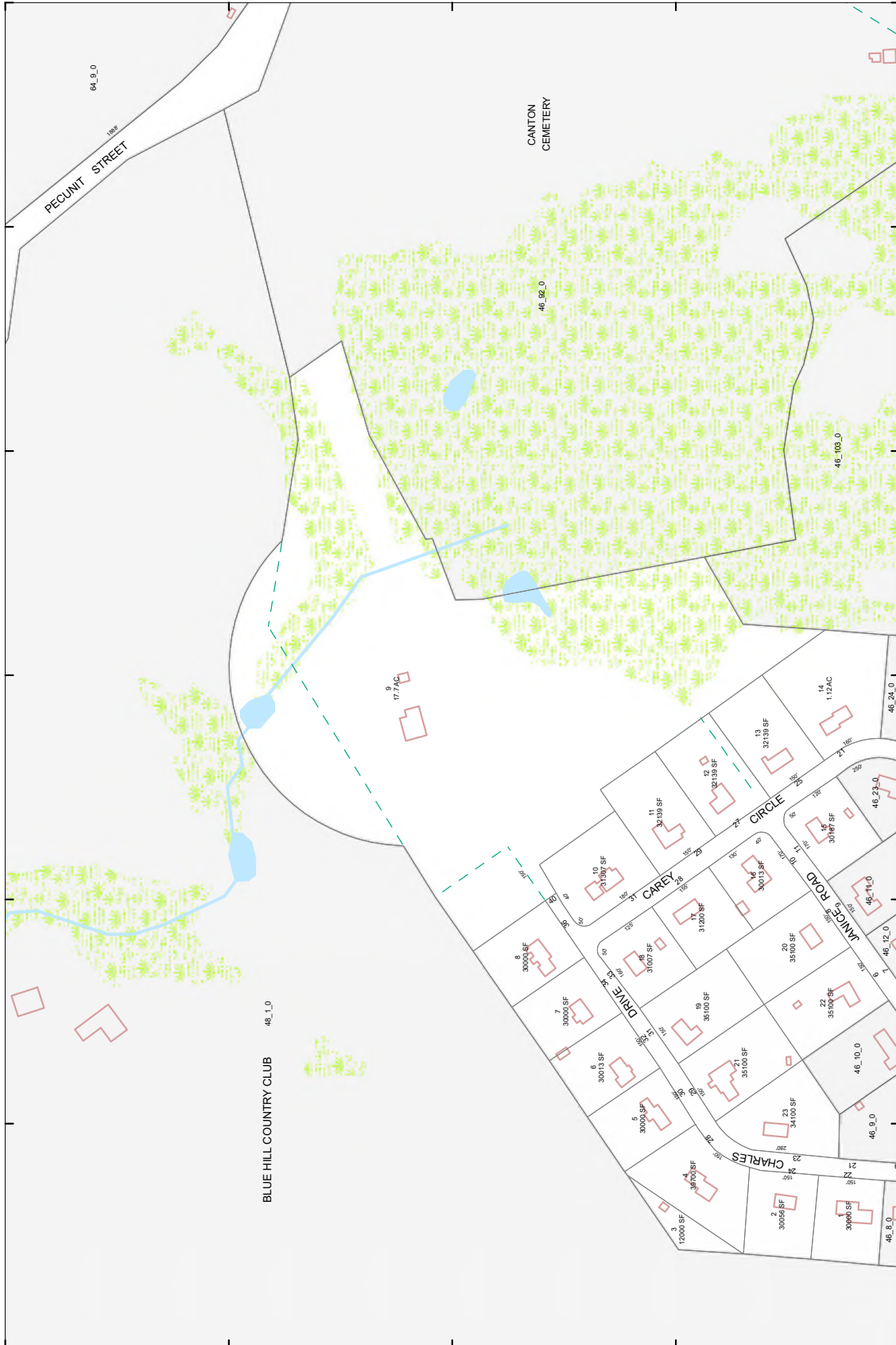


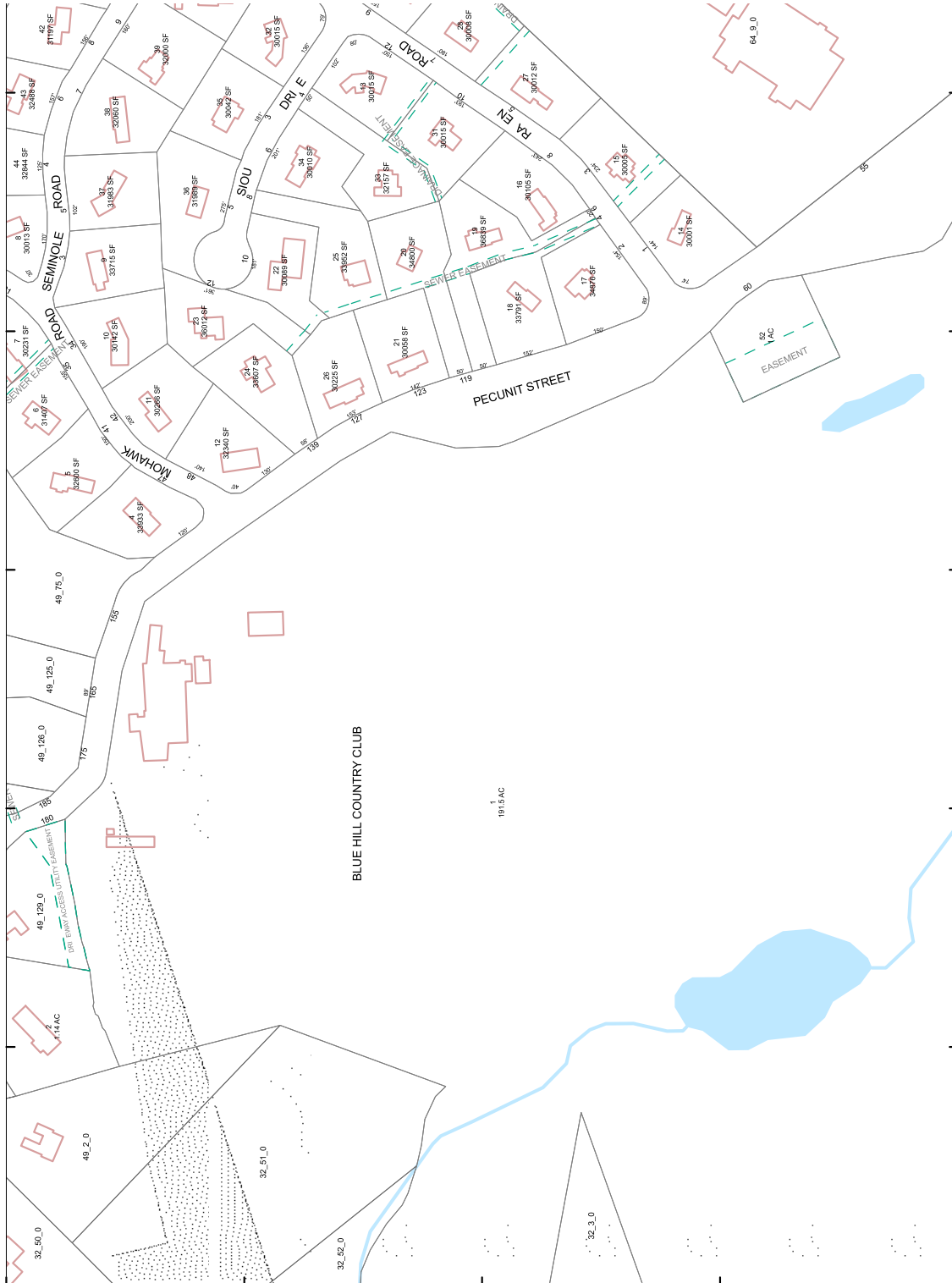
1 inch = 250 feet  
**not to scale**

32	48	65
31	47	64
30	46	63



This information depicted on this map is for planning purposes only. It is not adequate for legal boundary or parcel-level analysis.  
Produced by Town of Canton, Public Works Department  
Canton, MA 02022  
Last revised: May 2022





Town of Canton  
Massachusetts  
Map 64

- Parcels on Adjacent Map
- Easement
- Combined Ownership
- Building
- Hydrographic Features
- Wetlands (2005)

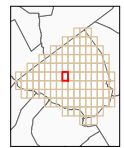
500 FT GRID BASED ON MASSACHUSETTS STATE PLANE COORDINATE SYSTEM (NAD 83) MAINLAND ZONE (NAD 83)

Last revised:  
May 2022

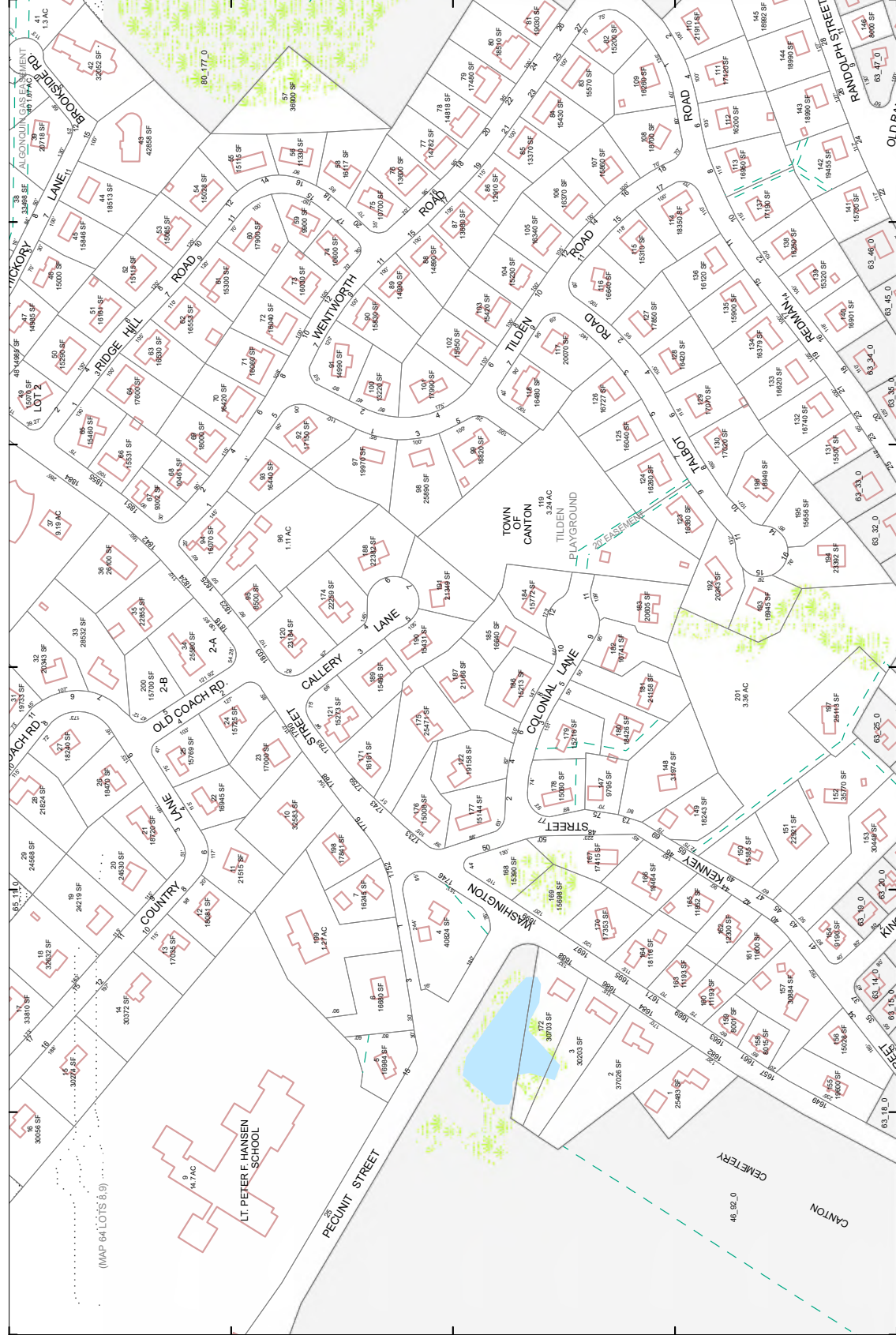


1 inch = 250 feet  
**not to scale**

48	65	81
47	64	80
46	63	79



This information developed on this map is for planning purposes only. It is not adequate for legal boundary or parcel-level analysis.  
Produced by Town of Canton, Public Works Department  
Canton, MA 02022  
Last revised: May 2022





Town of  
Canton  
Massachusetts  
Map 65

- Parcels on Adjacent Map
- Easement
- Combined Ownership
- Building
- Hydrographic Features
- Wetlands (2005)

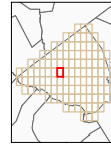
800 FT GRID BASED ON  
MASSACHUSETTS  
COORDINATE SYSTEM, THE  
MANLAND ZONE INDICES

Last revised:  
May 2022



1 inch = 250 feet  
**not to scale**

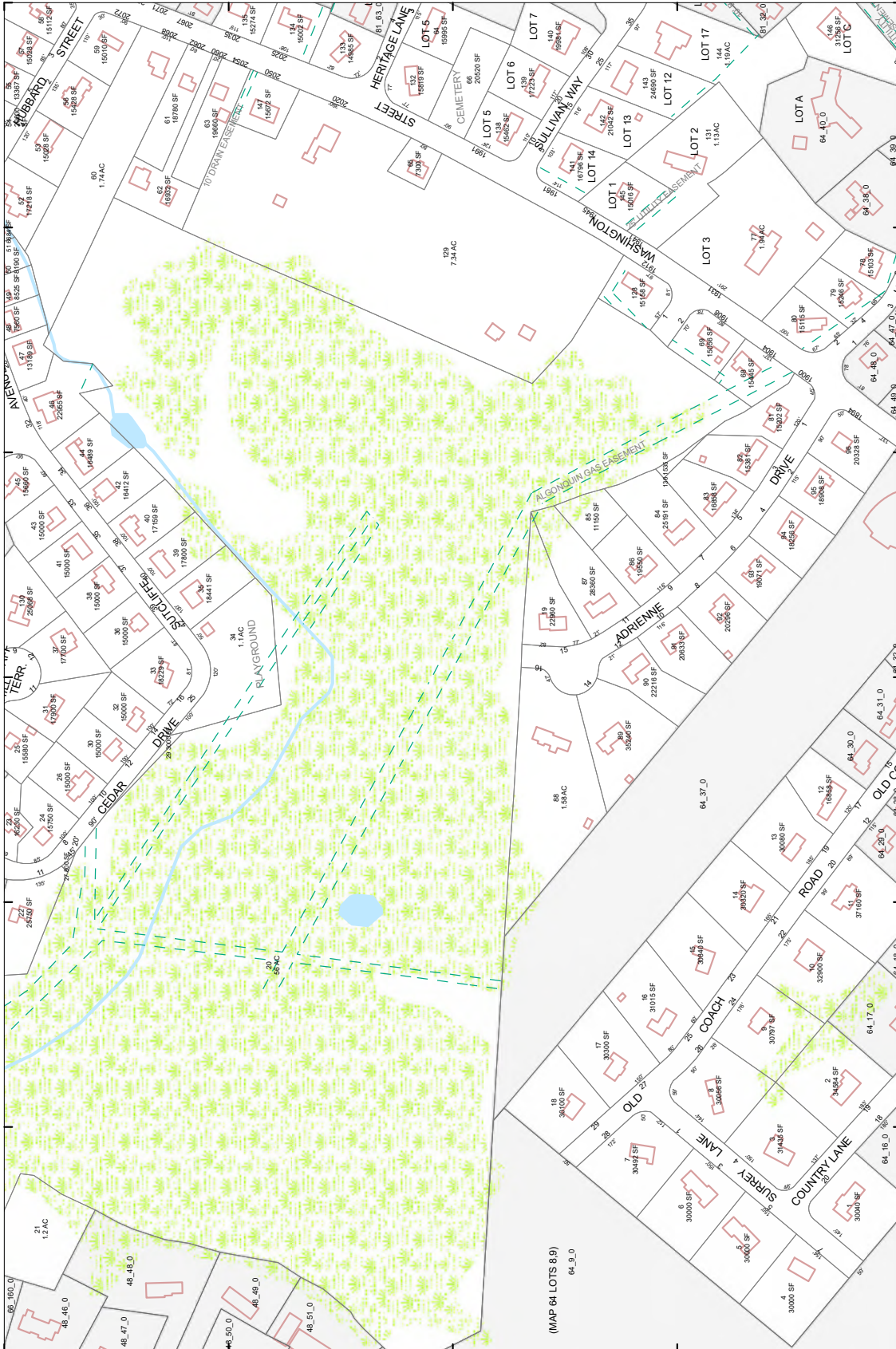
49	66	82
48	65	81
47	64	80



The information depicted on this map is for planning purposes only. It is not intended to constitute any definition, regulatory interpretation, or authoritative analysis.

Produced by Town of Canton,  
Public Works Department  
800 State Street  
Canton, MA 02021

Last revised: May 2022





**APPENDIX C**  
**CITY DIRECTORIES**

**Galvin Middle School**

55 Pecunit Street  
Canton, MA 02021

Inquiry Number: 7387007.5  
July 12, 2023

# The EDR-City Directory Image Report

**Environmental Data Resources Inc**

6 Armstrong Road  
Shelton, CT 06484  
800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

## TABLE OF CONTENTS

### **SECTION**

**Executive Summary**

**Findings**

**City Directory Images**

***Thank you for your business.***  
Please contact EDR at 1-800-352-0050  
with any questions or comments.

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## EXECUTIVE SUMMARY

**DESCRIPTION**

Environmental Data Resources, Inc.'s (EDR) City Directory Report is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's City Directory Report includes a search of available business directory data at approximately five year intervals.

**RECORD SOURCES**

The EDR City Directory Report accesses a variety of business directory sources, including Haines, InfoUSA, Polk, Cole, Bresser, and Stewart. Listings marked as EDR Digital Archive access Cole and InfoUSA records. The various directory sources enhance and complement each other to provide a more thorough and accurate report.

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**RESEARCH SUMMARY**

The following research sources were consulted in the preparation of this report. A check mark indicates where information was identified in the source and provided in this report.

<b><u>Year</u></b>	<b><u>Target Street</u></b>	<b><u>Cross Street</u></b>	<b><u>Source</u></b>
2020	<input checked="" type="checkbox"/>	<input type="checkbox"/>	EDR Digital Archive
2017	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
2014	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
2010	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
2005	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
2000	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
1995	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
1992	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Information
1989	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Criss-Cross Directory
1984	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Criss-Cross Directory
1975	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Criss-Cross Directory
1971	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Criss-Cross Directory
1968	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Cole Criss-Cross Directory

## FINDINGS

### TARGET PROPERTY STREET

55 Pecunit Street  
Canton, MA 02021

<i><u>Year</u></i>	<i><u>CD Image</u></i>	<i><u>Source</u></i>
<b><u>PECUNIT ST</u></b>		
2020	pg A1	EDR Digital Archive
2017	pg A2	Cole Information
2014	pg A3	Cole Information
2010	pg A4	Cole Information
2005	pg A5	Cole Information
2000	pg A6	Cole Information
1995	pg A7	Cole Information
1992	pg A8	Cole Information
1989	pg A9	Cole Criss-Cross Directory
1984	pg A10	Cole Criss-Cross Directory
1975	pg A11	Cole Criss-Cross Directory
1971	pg A12	Cole Criss-Cross Directory
1968	pg A13	Cole Criss-Cross Directory

**FINDINGS**

**CROSS STREETS**

No Cross Streets Identified

## **City Directory Images**



**Target Street**

**Cross Street**

**Source**

✓

-

EDR Digital Archive

**PECUNIT ST 2020**

- 1 LIFEWORCS INC  
Paul Hacker
- 3 Gina Depalma  
Joseph Depalma  
Shirley Depalma
- 15 Anna Hoang  
Anna Truong  
Donald Truong  
Jessica MacPhalan
- 55 GALVIN MIDDLE SCHOOL  
GUIMOND JINA  
HOBBS MARGUERITE  
WILLIAM H GALVIN SCH CAPT INC
- 119 Jean Camille  
Roseline Camille  
Roseline Inozil
- 123 Carla Wahnnon  
R & C INTL COMMERCE  
Ruth Wahnnon
- 127 Ana Virgilio  
J Etheart  
Marcela Olsin  
Teara Pisko
- 139 Canyon Bliss  
Joanne Kilduff  
Shannon Kilduff
- 175 Collette Samsel  
Erven Samsel
- 185 Louis Volpe
- 186 Hieu Vinh  
Nghu Vu  
Thanh Vu
- 191 Al-Tabbaa Al-Rabbat  
Amer Tabba  
Jude Tabba  
Kamel Altabbaa  
Kareem Tabba  
Rania Altabbaa
- 192 Haley McNearney  
Sean McNearney
- 195 Nathan Duong  
Phuc Quoc  
Tuan To  
Uyenly Nguyen
- 201 William Signori
- 203 Audra Kalesinskas  
Gil Kalesinskas  
Gintautas Kalesinskas  
Mikole Kalesinskas

Target Street

Cross Street

Source

✓

-

Cole Information

**PECUNIT ST 2017**

- 1 LIFEWORCS
- 23 BLUE HILL COUNTRY CLUB
- 55 COLEHARRINGTON SCHOOL AGE
- 123 R & C INTERNATIONAL COMMERCE

Target Street

Cross Street

Source

✓

-

Cole Information

**PECUNIT ST 2014**

- 1 LIFEWORCS  
OCCUPANT UNKNOWN,
- 3 DEPALMA, JOE S
- 15 MELLEN, ALAN R
- 23 BLUE HILL COUNTRY CLUB
- 55 COLEHARRINGTON SCHOOL AGE
- 119 ANTONIK, YANIQUE M
- 123 R & C INTERNATIONAL COMMERCE  
WAHNON, RUTH L
- 127 OLSIN, MARCELA
- 139 OCCUPANT UNKNOWN,
- 175 SAMSEL, ERVEN
- 185 VOLPE, LOUIS J
- 186 VU, THANH
- 191 ALRABBAT, RANIA
- 192 MCNEARNEY, HALEY M
- 195 DUONG, QUOC Q
- 201 ROSS, KRISTIN A
- 203 KALESINSKAS, GIL

Target StreetCross StreetSource

✓

-

Cole Information

**PECUNIT ST 2010**

3	DEPALMA, JOE S
15	MELLEN MEDICAL PRODUCTS INC MELLEN, KAREN A SPORTS MEDICINE SOLUTIONS
23	BLUE HILL COUNTRY CLUB
25	LIEUTENANT PETER M HANSEN SCHL
55	CHARMS COLLABORATIVE COLEHARRINGTON SCHOOLAGED GALVIN MIDDLE SCHOOL
115	MACQUARRIE, LAWRENCE W
119	ANTONIK, JASON E
123	WAHNON, RUTH L
127	VIRGILIO, ANA M
139	KILDUFF, JOANNE M
186	SARNO, GREGORY L
191	TABBA, A
195	DUONG, QUOC Q
201	ZULIANI, RITA
203	MASSARO & SONS INC

**Target Street**

**Cross Street**

**Source**

✓

-

Cole Information

**PECUNIT ST 2005**

3	DEPALMA, JOSEPH B
15	CHELSEA DISTRIBUTORS INC MELLEN, KAREN A
23	BLUE HILL ASSOCIATES INC BLUE HILL COUNTRY CLUB SHORE OAKS GOLF CLUB GOLF SHOP
25	TOWNCANTON
55	CHARMSS COLLABORATIVE COLE HARRINGTON SCHOOL AGED ENRICHME COLE HRNGTN SCHOOL L AGED ENRCHM
115	MACQUARRIE, LAWRENCE W
119	ANTONIK, JANEK A
123	WAHNON, RUTH L
127	HU, BIN
139	KILDUFF, ROBERT T
186	SARNO, GREGORY L
191	HO, BLUE H
192	THOMAS, VICTORIA M
195	DUONG, QUOC P
201	ZULIANI, LOUIS A
203	MASSARO & SONS INC MASSARO, PETER J

Target Street

Cross Street

Source

✓

-

Cole Information

**PECUNIT ST 2000**

15	MELLEN MEDICAL PRODUCTS INCORPORATED MELLEN, KAREN
55	CHARMSS COLLABORATIVE COLE HARRINGTON SCHOOL AGED ENRICHMENT PROGRAM
115	HANSON, M A
119	ANTONIK, JANEK
123	DAITCH, RICHARD
139	KILDUFF, ROBERT T
186	SARNO, LOUIS J
201	DENT DR NANNERY W LAWRENCE JR DENT RES DR NANNERY, WILLIAM L
203	MASSARO, PETER

**Target Street**

**Cross Street**

**Source**

✓

-

Cole Information

**PECUNIT ST 1995**

- 15 MELLEN, ALAN  
MELLENGOODS  
SPORTS MEDICINE SOLUTIONS
- 23 BLUE HILL COUNTRY CLUB  
BLUE HILL COUNTRY CLUB-PRO SHOP
- 55 CHARMSS COLLABORATIVE  
COLE-HARRINGTON SCHOOL-AGED ENRICHMENT PROGRAM
- 115 HANSON, M A
- 119 ANTONIK, JANEK & CHERYL
- 123 DAITCH, RICHARD
- 186 SARNO, LOUIS J
- 201 NANNERY, W LAWRENCE, JR, DENT-RES DR
- 203 MASSARO, PETER, JR

Target StreetCross StreetSource

✓

-

Cole Information

**PECUNIT ST 1992**

3	DEPALMA, JOS
15	ROSENSTEIN, JEROME J SPORTS MEDICINE SOLUTIONS
23	BLUE HILL COUNTRY CLUB GOLF CART GARAGE
55	CANTON TOWN OF-SCHOOL DEPT-CHAPTER 1 PROGRAM CANTON TOWN OF-SCHOOL DEPT-MIDDLE SCHOOL CHARMSS COLLABORATIVE COLE-HARRINGTON CHILDREN'S PLACE COLE-HARRINGTON SCHOOL-AGED ENRICHMENT PROGRAM GALVIN WM H MIDDLE SCHOOL
115	REINDOLLAR, RICHARD
119	ANTONIK, JANEK & CHERYL
123	DAITCH, RICHARD
127	MACMURDO, RON
186	SARNO, LOUIS J
201	NANNERY, W LAWRENCE, JR, DENT-RES DR
203	MASSARO, PETER, JR



**Target Street**

**Cross Street**

**Source**

Cole Criss-Cross Directory

**PECUNIT ST 1989**

	17 RESIDENCE	2 BUSINESS
● <b>PEAR TREE DR</b>		<b>02021</b>
New Street-1988.		
14★ Bildmark Cnstrctn . . . . .	-	828-8810
★ Paul Fineburg Aty . . . . .	□	821-4665
★ New World Estates . . . . .	-	821-4663
18 John L Campbell . . . . .	□	821-4269
19 Manuel Biderman . . . . .	-	821-2446
22 Robert Sholk . . . . .	-	821-1391
27 D R Dunbar . . . . .	-	828-3186
K McManus . . . . .	□	828-3186
5 RESIDENCE	3 BUSINESS	
● <b>PECUNIT ST</b>		<b>02021</b>
From 1783 Washington St Stops At Elm St		
	1- 299 CT4153	\$A..F16
3★ Depalma Greenhouse . . . . .	.85	821-0173
Joseph Depalma Jr . . . . .	.68	828-9465
13	NP	
15 J J Rosenstein . . . . .	.67	828-1198
23★ Blue Hill Cntry Cb . . . . .	.87	821-4545
25★ Twm Lt Hansen Schl . . . . .		821-5085
55★ Twm Sch Chpt 1 . . . . .	.86	821-5073
★ Luce Schl Cafe . . . . .	.76	828-5637
★ Canton Twm Mddl Sc . . . . .	.76	828-7250
★ CHARMSS Clbrtv . . . . .	.86	828-7963
★ Cole-Haringtn Cntr . . . . .	.86	828-3453
★ W H Galvin School . . . . .	.87	828-4110
107	NP	
115 Richard Reindollar . . . . .	.87	828-1786
119 Janek Antonik . . . . .	.85	828-7833
123 Richard Daitch . . . . .	.83	828-0533
Richard Daitch . . . . .	.83	828-0534
127 Ron MacMurdo . . . . .	□	821-4158
186 Louis J Sarno . . . . .	.68	828-4159
201 Lora Nannery . . . . .	.84	828-4031
★ Dr W L Nannery Jr . . . . .	.77	828-9072
203 Jeannie Massaro . . . . .	.87	821-0135
Lisa Massaro . . . . .	.87	821-0208
Peter Massaro Jr . . . . .	.87	821-0091
NO #★ Blue Hill Country . . . . .		828-2000
NO #★ Blue Hill Country . . . . .		828-9725
NO #★ Blue Hill Cntry Cib . . . . .	.82	828-6540
14 RESIDENCE	13 BUSINESS	
● <b>PEQUIT ST</b>		<b>02021</b>
From 899 Washington St To 237 Sherman St		
	1- 99 CT4151	\$A..G14
8	NP	
10 Paul Graham . . . . .	.70	828-1998
26 Lawrence Cheever . . . . .	.87	828-0151
28 Charles J Zacchini . . . . .	.56	828-3054
33 Ann Lomartere . . . . .	.65	828-0563
34 A J Ammendolia . . . . .	.68	828-1733
35★ Quality Pet Supply . . . . .	.85	821-0410
36	NP	
40 Diane Keith . . . . .	.85	828-5729
42 Peter M Lovetere . . . . .	-	821-1039
Peter Loyetere . . . . .	.87	821-0019
46 Mary Demayo . . . . .	.56	828-0110
48 60	NP	
61 Edw G Tyrrell . . . . .	□	821-4403
62	NP	
63 Thomas G Manning . . . . .	.87	821-1445

Target StreetCross StreetSource

✓

-

Cole Criss-Cross Directory

**PECUNIT ST 1984**

STREET	PAGE 24
21 .....	.NP
22 R Callahan .....	.78 331-3280
27 Richard Hebert .....	.78 335-5801
28 .....	.NP
31 Pamela C Kane .....	.72 337-4314
33 Michael Lewis .....	.80 331-5883
41 Richard J Glynn .....	.63 335-4145
43 .....	.NP
50 George Zmudzien .....	.68 337-6776
54 Alfred Woelfle .....	.68 337-3867
57 David T Driscoll .....	.78 335-2207
60 J P Kelleher .....	.63 335-5248
62 E M Jensen .....	.82 335-7463
66 Paul C Ruane .....	.63 337-2138
72 Daniel F Smart .....	.63 335-5868
85 Annmarie Soles .....	.80 337-0615
87 Robert E Martell .....	.73 337-5347
99 James J Stratford .....	.73 331-1925
25 Residence	
<b>PECUNIT ST CANTON</b>	
From 1783 Washngtn	
St Stops At Elm	
Street	
..... 02021	
<b>040950</b>	
3 Joseph Depalma Jr .....	.68 828-9465
13 .....	.NP
15 J J Rosenstein .....	.67 828-1198
25★Canton Twn School .....	828-4330
55★Canton Twn Dsl CF .....	828-5637
★Canton Twn Mddl Sc .....	828-7250
107 A P Pearstein .....	.80 828-0694
123 Richard Dailch .....	- 828-0533
Richard Dailch .....	- 828-0534
186 L Hope Sarno .....	.68 828-4159
Louis Sarno .....	.68 828-4159
201 Dr W L Nannery Jr .....	.77 828-9072
No #★Blue Hill Cntry Clb .....	828-2000
No #★Blue Hill Cntry Clb .....	828-9725
9 Residence	5 Business
<b>PEDDOCK RD N WYMTH</b>	
Begins At Sea	
Street Stops	
Blackstone Road	
..... 02191	
1- 199 TZ4228 SC..	
<b>040960</b>	
11 Douglas Thoms .....	.n 331-7552
17★Jolly Day Nursery .....	337-9628
23 C E MacKinnon .....	.63 337-3543
27 J E Longhamps .....	.63 337-0332
33 Edward O'Leary .....	.63 335-3896
39 Leonard J Caruso .....	.63 335-0161
45 Crazio Dimeco .....	.63 335-9015
49 Patricia T Walsh .....	.76 331-0454
53 J F Pratt .....	.80 331-4403
55 59 .....	.NP
61 Donald V Mann .....	.79 337-7084
11 Residence	1 Business
<b>PEGGOTTY BEACH RD SCITUTE</b>	
From 58 Edw Foster	
Rd To Crescent	
Avenue	
..... 02066	
<b>040970</b>	
1 Alice J Callahan .....	.62 545-3503
4 D Mahoney .....	.80 545-6838
8 .....	.NP
9 Philip D Haddock .....	.74 545-6494
10 .....	.NP
14 Austin P Frawley .....	.62 545-1155
18 Anthony D Pallotta .....	.72 545-3322
21 R F Paulson Jr .....	.82 545-6874
28 Leland A Wildes .....	.u 545-6689
29 Allan Kyller .....	.81 545-6693
30 .....	.NP
31 Michael Vassalotti .....	.80 545-1297
34 Marion Keele .....	.79 545-9230

Target Street                      Cross Street                      Source  
 ✓    -    Cole Criss-Cross Directory

**PECUNIT ST                      1975**

PECUNIT ST		CANTON
STARTS 1783 WASHINGTON ST		
		02021
1-	END T 4153	\$A..E 7
13	JOSEPH DEPALMA JR	8289465
15	J J ROSENSTEIN	7 8281198
25*	CANTON HANSON SCHL	8284330
55*	CANTON MIDDLE SCHL	8287250
186	LOUIS SARNO	8 8284159
192		NP
201	DR W L NANNERY JR3	8289072
NO **	BLUE HL CNTRY CLB	8282000
NO **	BLUE HL CNTRY CLB	8289725
.. ENDS ELM ST		..
5	RESIDENCE	4 BUSINESS
PEDDOCK RD		WEYMTH
STARTS SEA ST		
..N WEYMOUTH.....		02191
1-	END T 4228	\$D..M 4
17*	JOLLY DAY NURSERY	3379628
23	CHAS E MACKINNON	3373543
27	JOS E LONGCHAMPS	3370332
33	EDWARD OLEARY	3353896
39	LEONARD J CARUSO	3350161
45	ORAZIO DIMECO	3359015
49	THOMAS CLEARY	1 3310272
*49	THOMAS P CLEARY	3357695
53		NP
55	ANNE E PRATT	2 3357780
59	GARY S PREBENSEN	3351554
61	P A LITTLEWOOD	-3313489
70		NP
.. ENDS BLACKSTONE RD		..
11	RESIDENCE	2 BUSINESS
PEGGOTTY BEACH RD		SCITUTE
STARTS 58 EDWARD FOSTER RD		
		02066
1-	END T 5051	\$B..S 7
1	ALICE J CALLAHAN	5453503
4	GREGORY MCDONALD	5452163
	GEORGE TINKER	1 5451522
6	CARL J APICELLA	0 5455304
8	JOHN J QUINN	9 5452792
	MRS D M TOWLE	6 5459065
9	PHILIP D HADDOCK	-5456494
10	HENRY T POPP	0 5455240
	HUGH A ROMANO	5454217
14	AUSTIN P FRAWLEY	5451155
18	ANTHONY D PALLOTTA	
		2 5453322

Target Street

Cross Street

Source

✓

-

Cole Criss-Cross Directory

**PECUNIT ST 1971**

1			
2			
0	●	PECUNIT ST	CANTON
		.....	
		STARTS 1783 WASHINGTON ST	
		.....	02021
		..... 1- END T 4153	\$C..E 7
		13 JOSEPH DEPALMA JR	8289465
		15 J J ROSENSTEIN	7 8281198
1		25*CITY SCHOOL DEPT	8284330
5		186 LOUIS SARNO	8 8284159
		192	NP
		NO #*BLUE HL CNTRY CLB	8282000
2		NO #*BLUE HL CNTRY CLB	8289725
6		.. ENDS ELM ST	..
2		4 RESIDENCE	3 BUSINESS
5			
7	●	PEDDOCK RD	WEYMTH
0		.....	
9		STARTS SEA ST	
9		..N WEYMOUTH.....	02191
0		..... 1- END T 4228	\$C..M 4
6		17	NP
4		23 CHAS E MACKINNON	3373543
1		27 JOS E LONGCHAMPS	3370332
1		33 EDWARD OLEARY	3353896
0		39 LEONARD J CARUSO	3350161
0		45 ORAZIO DIMECO	3359015
1		49	NP
9		53 STEPHEN E DAVIS	9 3377643
		55 MARY B PRATT	3357780
6		59 MRS EDITH M CHASE	6 3356637
1		61	NP
6		70	NP
		.. ENDS BLACKSTONE RD	..
9		12 RESIDENCE	
4	●	PEGGOTTY BEACH RD	SCITUTE
8		.....	
0		STARTS 58 EDWARD FOSTER RD	
9		.....	02066
1		..... 1- END T 5051	\$B..S 7
8		1 ALICE J CALLAHAN	5453503
8		4 GREGORY MCDONALD	5452163
		REV JOSEPH P SHEA	5451522
8		6 CARL J APICELLA	□5455304
6		8 JOHN J QUINN	9 5452792
		MRS D M TOWLE	6 5459065

Target Street

Cross Street

Source

✓

Cole Criss-Cross Directory

**PECUNIT ST 1968**

15	M E MCCUE	7	3370409
16	JOSEPH F KERN		3370816
17	MELVIN J MEUSE	#	3376454
21	ARTHUR P PETERSON		3352373
22	N.T.I.A.		
26	N.T.I.A.		
27	HERVE H HEBERT		3355801
28	WM E CHRISTIAN		3371050
31	THOMAS J KANE	6	3374314
33	N.T.I.A.		
34	N.T.I.A.		
41	RICHARD J GLYNN		3354145
43	ROBERT W GILL	4	3370254
	W L BATCHELDER		3370254
49	A J SORRENTINO	7	3356749
50	GEORGE ZMUDCIEN	#	3376776
54	ALFRED WOELFLE	#	3373867
57	HENRY J PIGEON		3353011
60	J P KELLEHER		3355248
62	E M JENSEN	#	3357463
66	PAUL C RUANE		3372138
72	DANIEL F SMART		3355868
73	N.T.I.A.		
79	KARL W PETERSON	7	3370286
85	JAMES SULLIVAN		3351883
87	WILLIAM J WILDES	5	3375469
	30 RESIDENCE		
<b>PECUNIT ST CANTON</b>			
	STARTS 1783		
	WASHINGTON ST		
	.....		02021
.....	1- END T 4153	SC..E 7	
13	JOSEPH DEPALMA JR		8289465
15	J J ROSENSTEIN	7	8281198
186	LOUIS SARNO		-8284159
192	WILLIAM J THOMAS	7	8285967
	NO #*BLUE HL CNTRY CLB		8282000
	NO #*BLUE HL CNTRY CLB		8289725
..	ENDS ELM ST	..	
	4 RESIDENCE	2 BUSINESS	
<b>PEDDOCK RD WEYMTH</b>			
	STARTS SEA ST		
	..N WEYMOUTH.....		02191
.....	1- END T 4228	SC..M 4	
17	MARGUERITE M READ	#	3374451
23	CHAS E MACKINNON		3373543
27	JOS E LONGCHAMPS		3370332
33	EDWARD OLEARY		3353896
39	LEONARD J CARUSO		3350161
45	ORAZIO DIMECO		3359015
49	N.T.I.A.		
55	MARY B PRATT		3357780
59	LARRY TILLMAN	#	3356259
61	MILDRED AYDELOTTE		3373131
70	EUGENE A RIDDLE		3354092
..	ENDS BLACKSTONE RD	..	
	11 RESIDENCE		
<b>PEGGOTTY BEACH</b>			

**VERTEX**<sup>®</sup>

**APPENDIX D**  
**AERIAL PHOTOGRAPHS**

**Galvin Middle School**

55 Pecunit Street

Canton, MA 02021

Inquiry Number: 7387007.8

July 13, 2023

## The EDR Aerial Photo Decade Package



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

**EDR Aerial Photo Decade Package**

07/13/23

**Site Name:**

Galvin Middle School  
55 Pecunit Street  
Canton, MA 02021  
EDR Inquiry # 7387007.8

**Client Name:**

The Vertex Companies, Inc.  
400 Libbey Parkway  
Weymouth, MA 02189-0000  
Contact: Nicollette Bethoney



Environmental Data Resources, Inc. (EDR) Aerial Photo Decade Package is a screening tool designed to assist environmental professionals in evaluating potential liability on a target property resulting from past activities. EDR's professional researchers provide digitally reproduced historical aerial photographs, and when available, provide one photo per decade.

**Search Results:**

<u>Year</u>	<u>Scale</u>	<u>Details</u>	<u>Source</u>
2018	1"=500'	Flight Year: 2018	USDA/NAIP
2010	1"=500'	Flight Year: 2010	USDA/NAIP
2006	1"=500'	Flight Year: 2006	USDA/NAIP
1996	1"=500'	Acquisition Date: January 01, 1996	USGS/DOQQ
1995	1"=500'	Acquisition Date: January 01, 1995	USGS/DOQQ
1986	1"=500'	Flight Date: March 30, 1986	USDA
1980	1"=500'	Flight Date: October 10, 1980	USDA
1978	1"=500'	Flight Date: April 23, 1978	USGS
1970	1"=500'	Flight Date: October 29, 1970	USDA
1969	1"=500'	Flight Date: April 13, 1969	USGS
1957	1"=500'	Flight Date: April 22, 1957	USGS
1952	1"=500'	Flight Date: October 20, 1952	USDA

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INQUIRY # 7387007.8

YEAR: 2018

\_\_\_\_\_ = 500'

 **N**





INQUIRY # 7387007.8  
YEAR: 2010  
= 500'







INQUIRY # 7387007.8

YEAR: 2006

\_\_\_\_\_ = 500'

 **N**






INQUIRY #: 7387007.8  
 YEAR: 1996

= 500'





INQUIRY # 7387007.8  
YEAR: 1995  
= 500'



The complex block contains a north arrow pointing upwards, the letters 'N' to its right, and the logo for 'EDR' (Environmental Design Resources) which consists of a stylized 'C' shape followed by the letters 'EDR'.




INQUIRY # 7387007.8  
YEAR: 1986  
= 500'

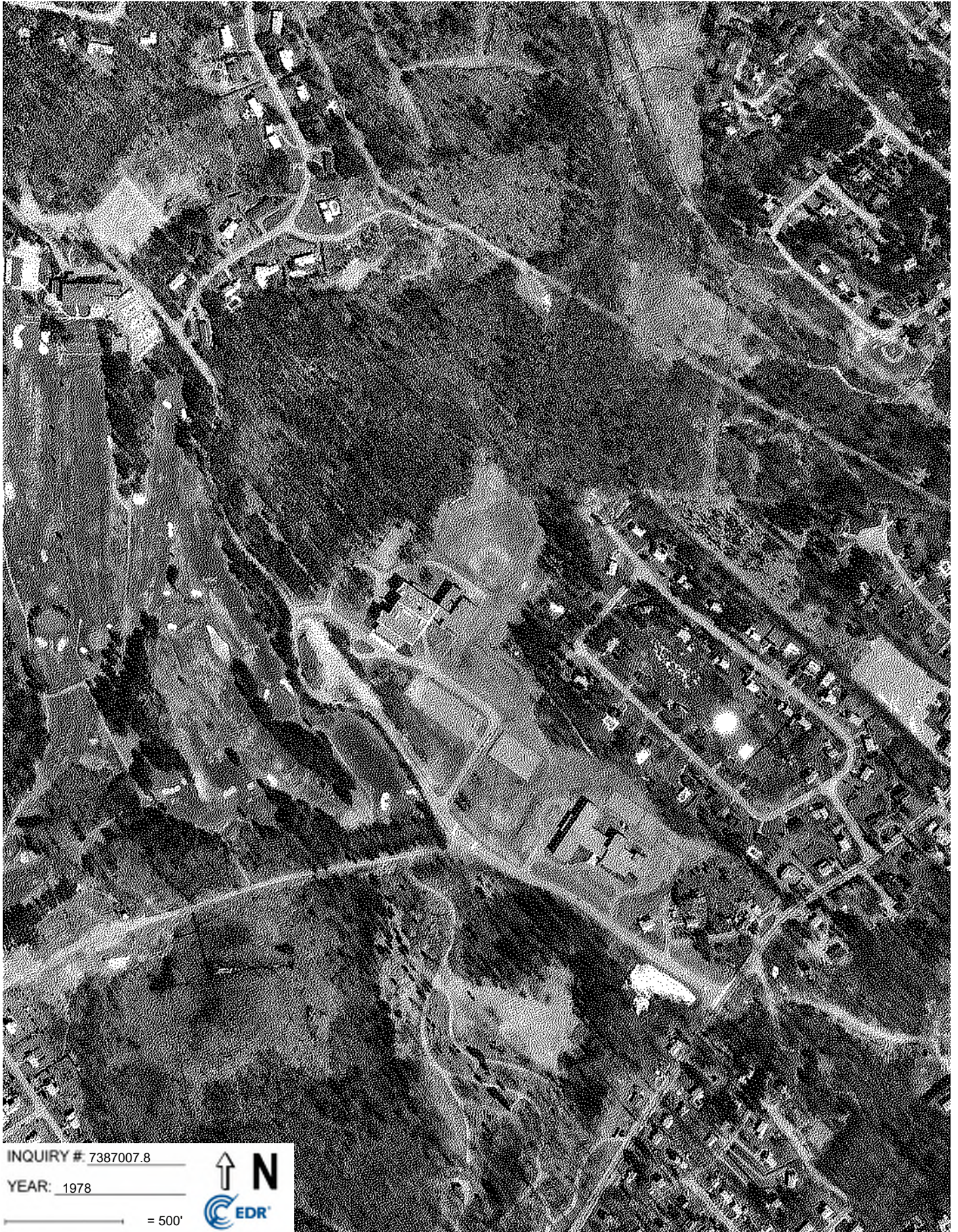




INQUIRY # 7387007.8  
YEAR: 1980  
= 500'



The complex block contains a north arrow pointing upwards, the letters 'N' to its right, and the logo for 'CDR' which consists of a stylized 'C' followed by 'CDR' in a bold, sans-serif font. Below the text and logo is a horizontal line representing a scale bar.



INQUIRY # 7387007.8

YEAR: 1978

= 500'



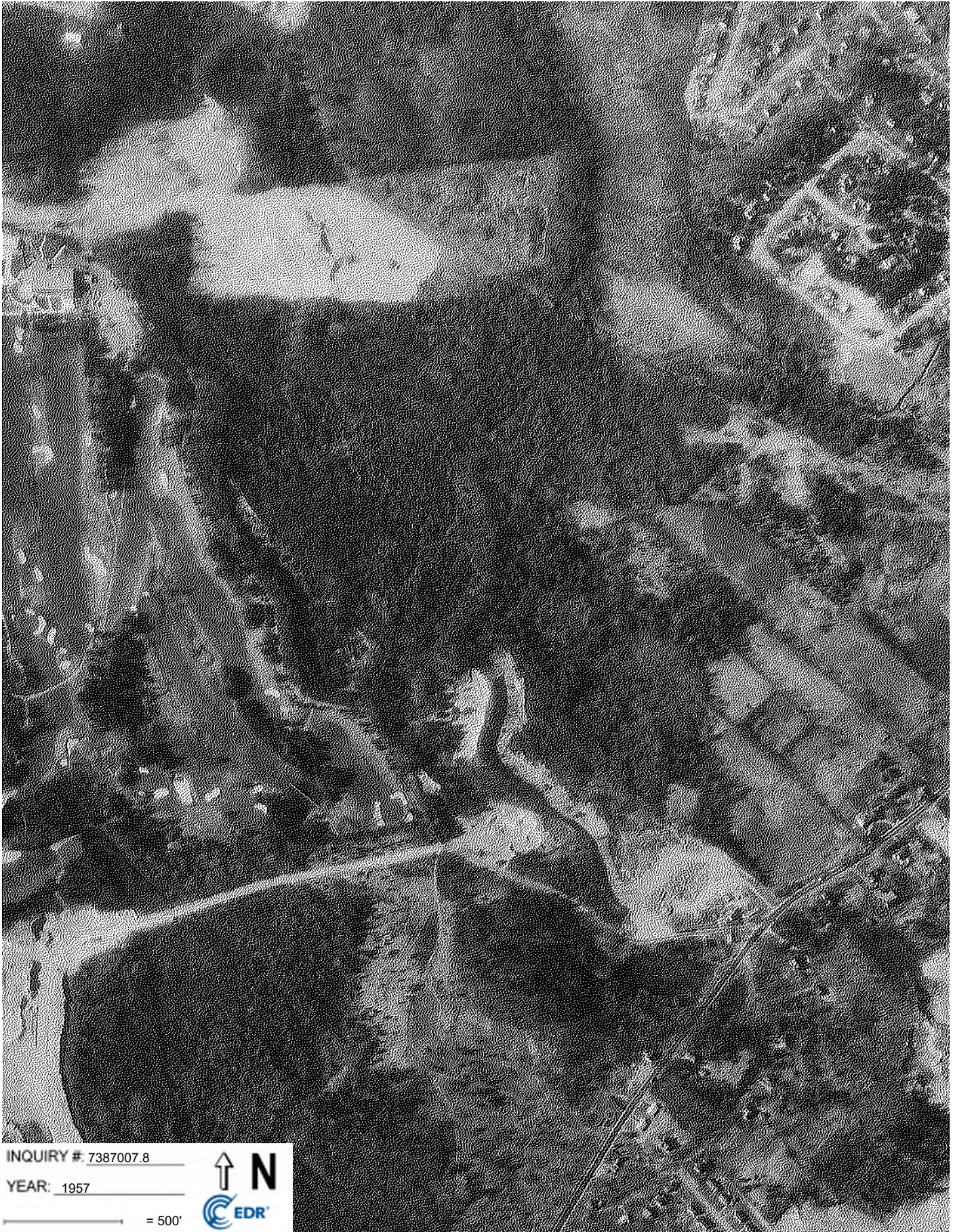






INQUIRY # 7387007.8  
YEAR: 1969  
= 500'







INQUIRY # 7387007.8  
YEAR: 1952  
= 500'





**APPENDIX E**  
**TOPOGRAPHIC MAPS**

Galvin Middle School  
55 Pecunit Street  
Canton, MA 02021

Inquiry Number: 7387007.4  
July 11, 2023

# EDR Historical Topo Map Report

with QuadMatch™



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

<b>EDR Historical Topo Map Report</b>		07/11/23
<b>Site Name:</b> Galvin Middle School 55 Pecunit Street Canton, MA 02021 EDR Inquiry # 7387007.4	<b>Client Name:</b> The Vertex Companies, Inc. 400 Libbey Parkway Weymouth, MA 02189-0000 Contact: Nicollette Bethoney	

EDR Topographic Map Library has been searched by EDR and maps covering the target property location as provided by The Vertex Companies, Inc. were identified for the years listed below. EDR's Historical Topo Map Report is designed to assist professionals in evaluating potential liability on a target property resulting from past activities. EDRs Historical Topo Map Report includes a search of a collection of public and private color historical topographic maps, dating back to the late 1800s.

<b>Search Results:</b>		<b>Coordinates:</b>	
<b>P.O.#</b>	NA	<b>Latitude:</b>	42.185964 42° 11' 9" North
<b>Project:</b>	NA	<b>Longitude:</b>	-71.13216 -71° 7' 56" West
		<b>UTM Zone:</b>	Zone 19 North
		<b>UTM X Meters:</b>	323930.58
		<b>UTM Y Meters:</b>	4672624.47
		<b>Elevation:</b>	73.33' above sea level

**Maps Provided:**

2018	1954	1894
2015	1947	
2012	1946	
1985	1943	
1979	1941	
1977	1936	
1970, 1971	1919	
1958	1915	

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**Topo Sheet Key**

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

**2018 Source Sheets**



Norwood  
2018  
7.5-minute, 24000



Blue Hills  
2018  
7.5-minute, 24000

**2015 Source Sheets**



Norwood  
2015  
7.5-minute, 24000



Blue Hills  
2015  
7.5-minute, 24000

**2012 Source Sheets**



Norwood  
2012  
7.5-minute, 24000



Blue Hills  
2012  
7.5-minute, 24000

**1985 Source Sheets**



Norwood  
1985  
7.5-minute, 25000  
Aerial Photo Revised 1978



**Topo Sheet Key**

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

**1979 Source Sheets**



Blue Hills  
1979  
7.5-minute, 25000  
Aerial Photo Revised 1977

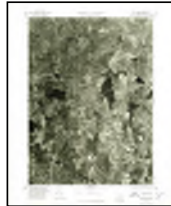


Norwood  
1979  
7.5-minute, 25000  
Aerial Photo Revised 1977

**1977 Source Sheets**



Norwood  
1977  
7.5-minute, 25000  
Aerial Photo Revised 1977



Blue Hills  
1977  
7.5-minute, 25000  
Aerial Photo Revised 1977

**1970, 1971 Source Sheets**



Norwood  
1970  
7.5-minute, 24000  
Aerial Photo Revised 1969



Blue Hills  
1971  
7.5-minute, 24000  
Aerial Photo Revised 1969

**1958 Source Sheets**



Norwood  
1958  
7.5-minute, 24000



Blue Hills  
1958  
7.5-minute, 24000

### Topo Sheet Key

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

#### 1954 Source Sheets



Blue Hills  
1954  
7.5-minute, 25000

#### 1947 Source Sheets



Norwood  
1947  
7.5-minute, 25000  
Aerial Photo Revised 1935

#### 1946 Source Sheets



Norwood  
1946  
7.5-minute, 24000



Blue Hills  
1946  
7.5-minute, 24000

#### 1943 Source Sheets



Boston  
1943  
30-minute, 125000  
Aerial Photo Revised 1939

**Topo Sheet Key**

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

**1941 Source Sheets**



BLUE HILLS  
1941  
7.5-minute, 25000

**1936 Source Sheets**



Blue Hills  
1936  
7.5-minute, 24000



Norwood  
1936  
7.5-minute, 24000

**1919 Source Sheets**



Dedham  
1919  
15-minute, 62500

**1915 Source Sheets**



DEDHAM  
1915  
15-minute, 62500

### ***Topo Sheet Key***

This EDR Topo Map Report is based upon the following USGS topographic map sheets.

#### **1894 Source Sheets**

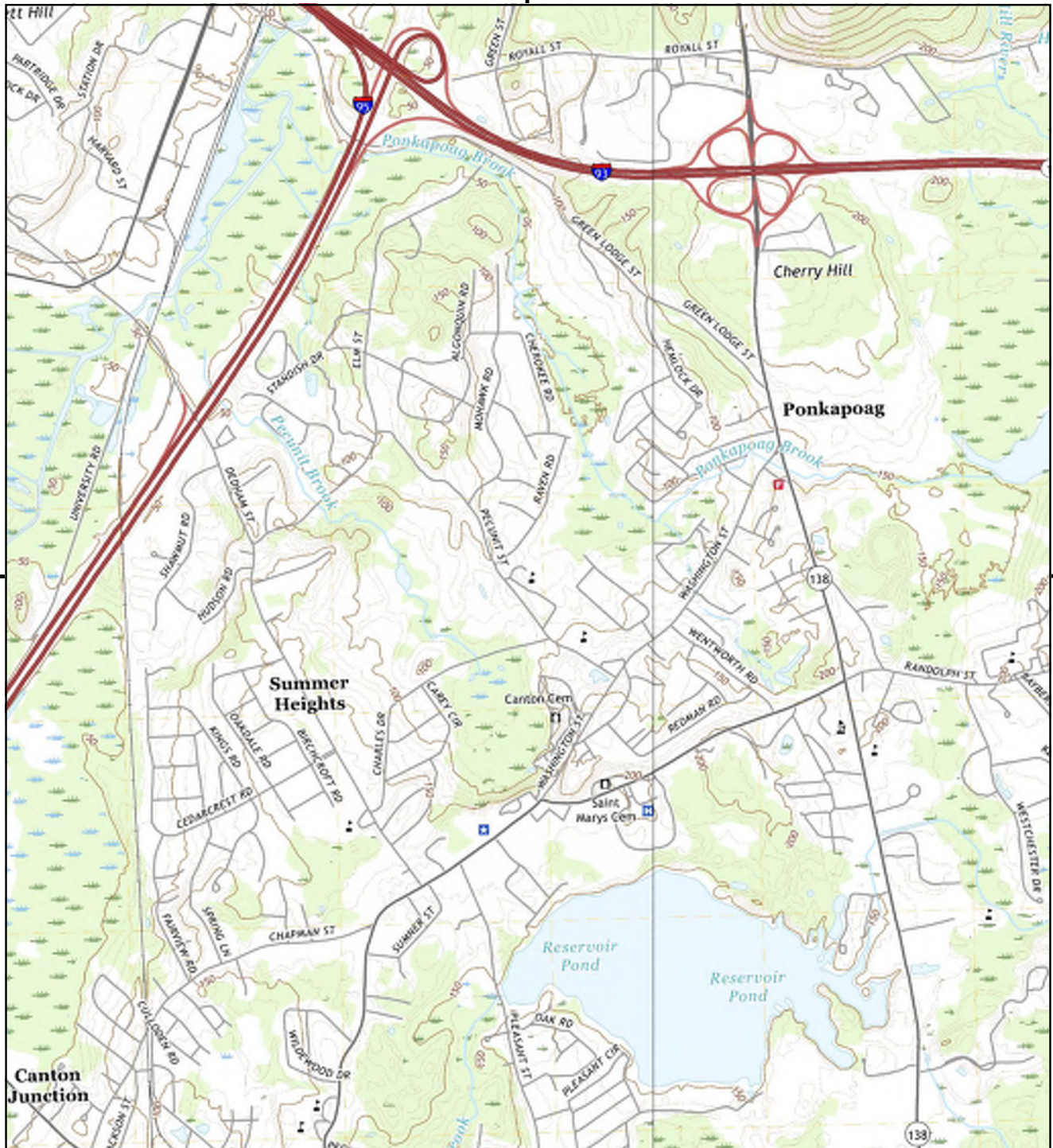


Dedham  
1894  
15-minute, 62500

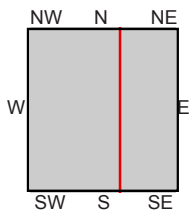
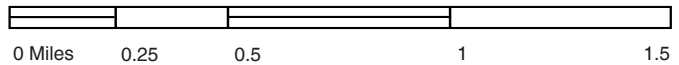


# Historical Topo Map

2018



This report includes information from the following map sheet(s).



TP, Norwood, 2018, 7.5-minute  
E, Blue Hills, 2018, 7.5-minute

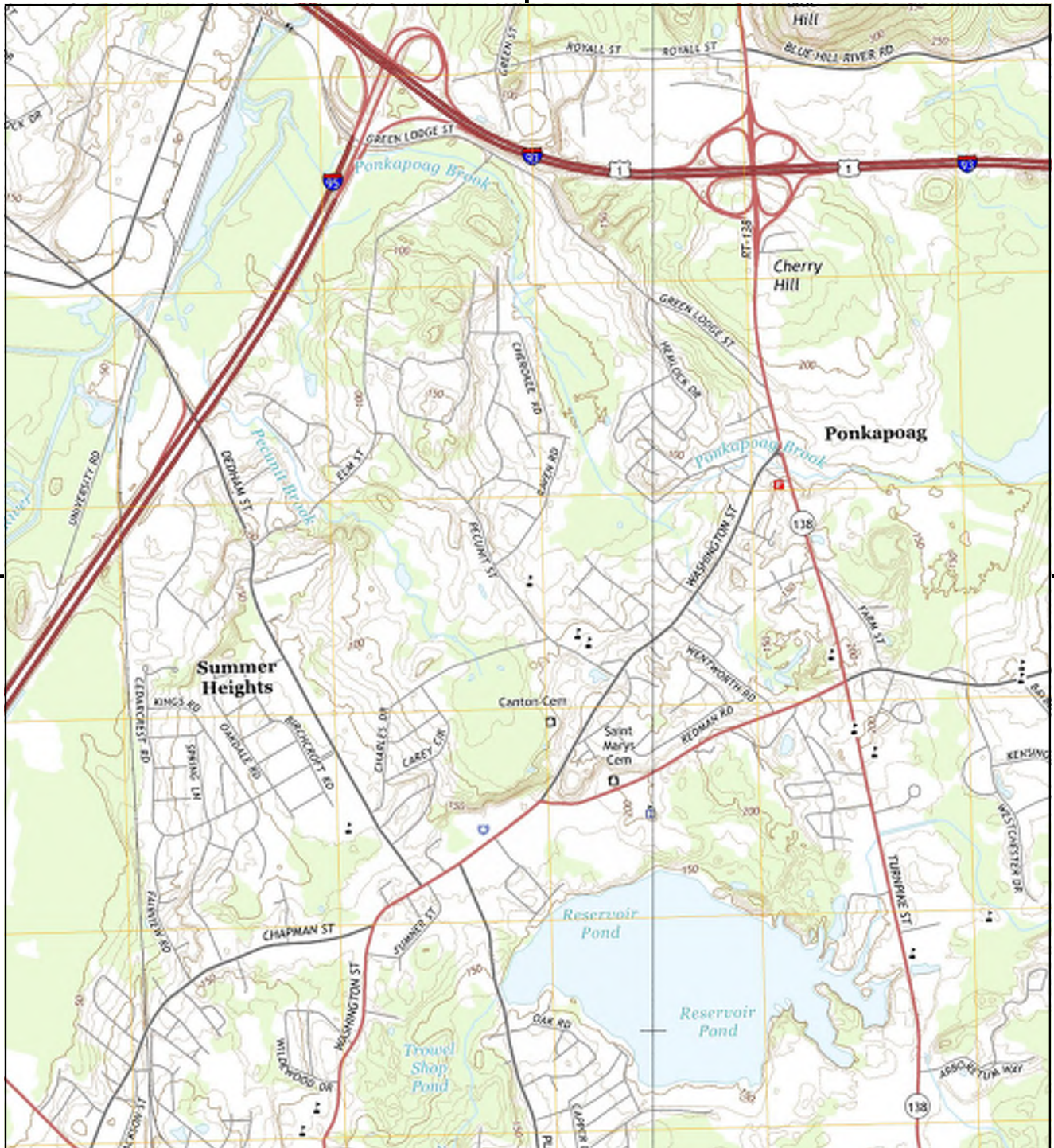
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



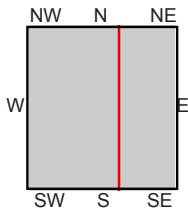
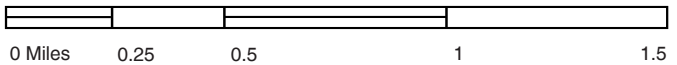


# Historical Topo Map

2015

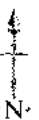


This report includes information from the following map sheet(s).



TP, Norwood, 2015, 7.5-minute  
E, Blue Hills, 2015, 7.5-minute

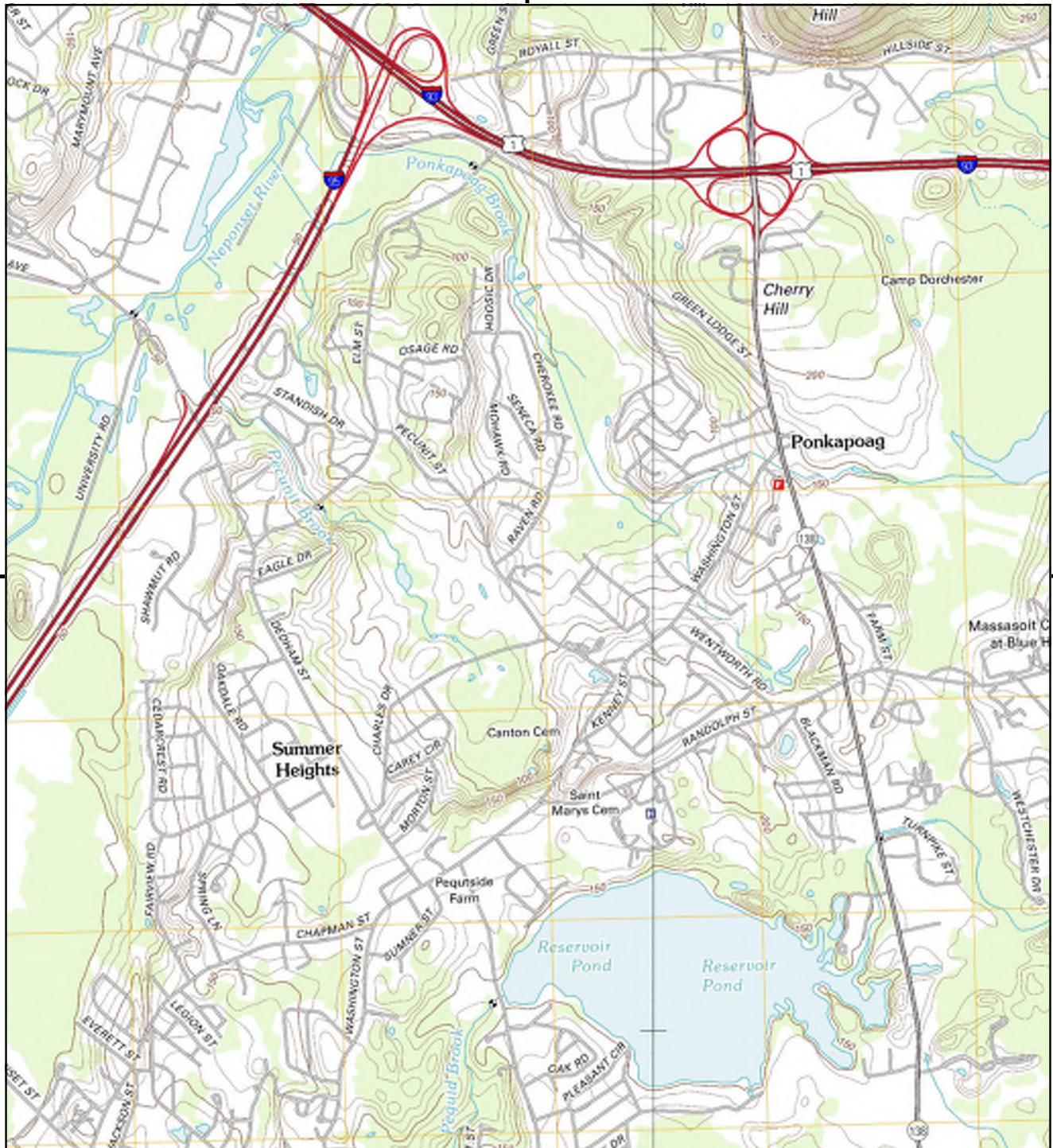
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



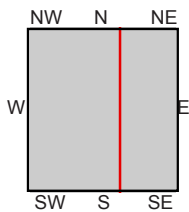
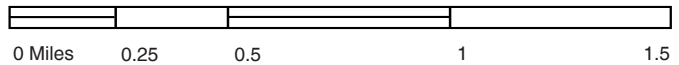


# Historical Topo Map

2012



This report includes information from the following map sheet(s).



TP, Norwood, 2012, 7.5-minute  
E, Blue Hills, 2012, 7.5-minute

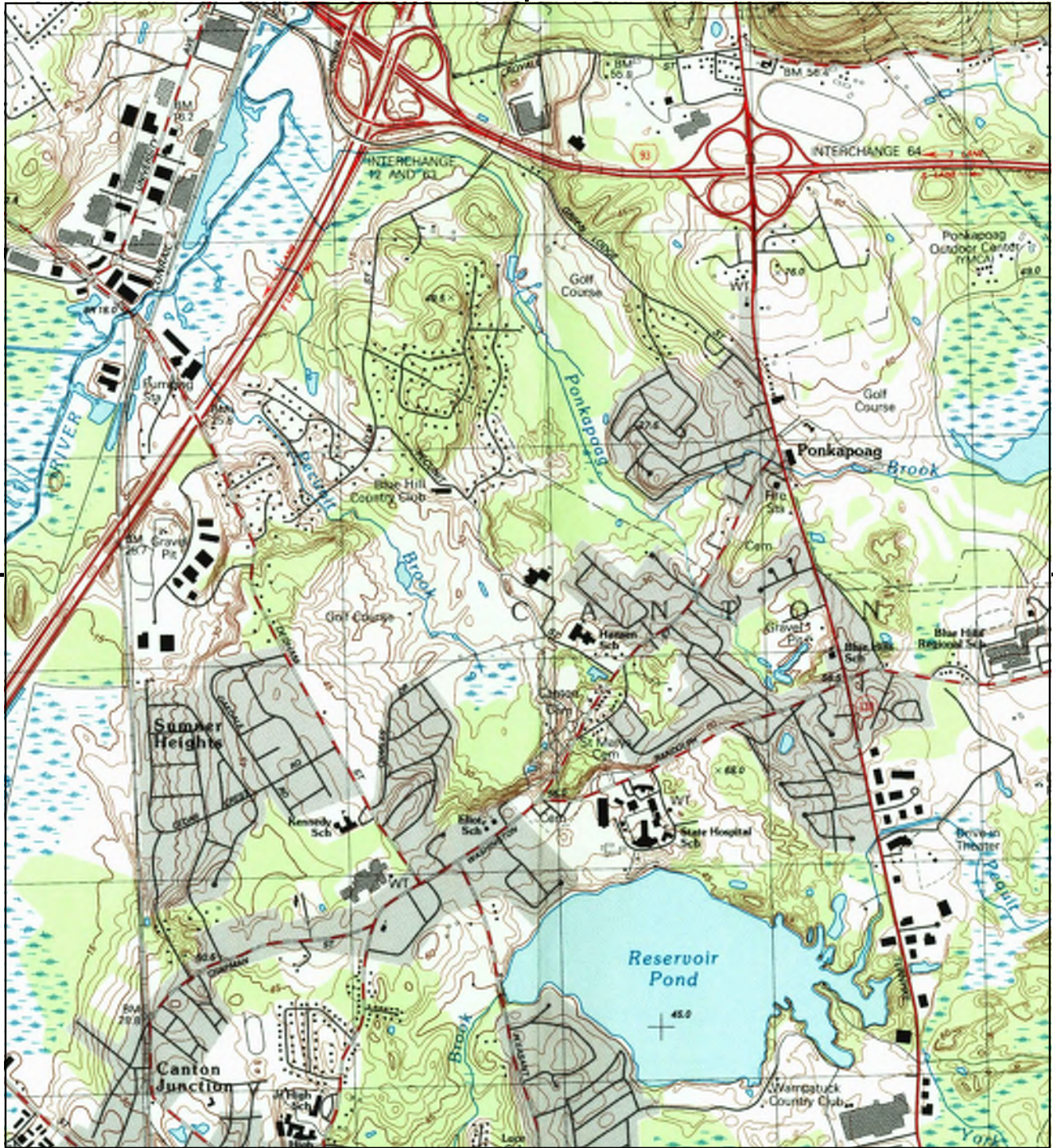
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



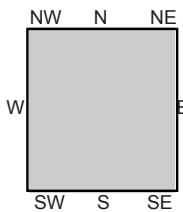
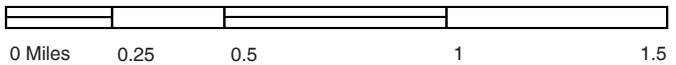


# Historical Topo Map

1985

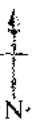


This report includes information from the following map sheet(s).



TP, Norwood, 1985, 7.5-minute

SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.

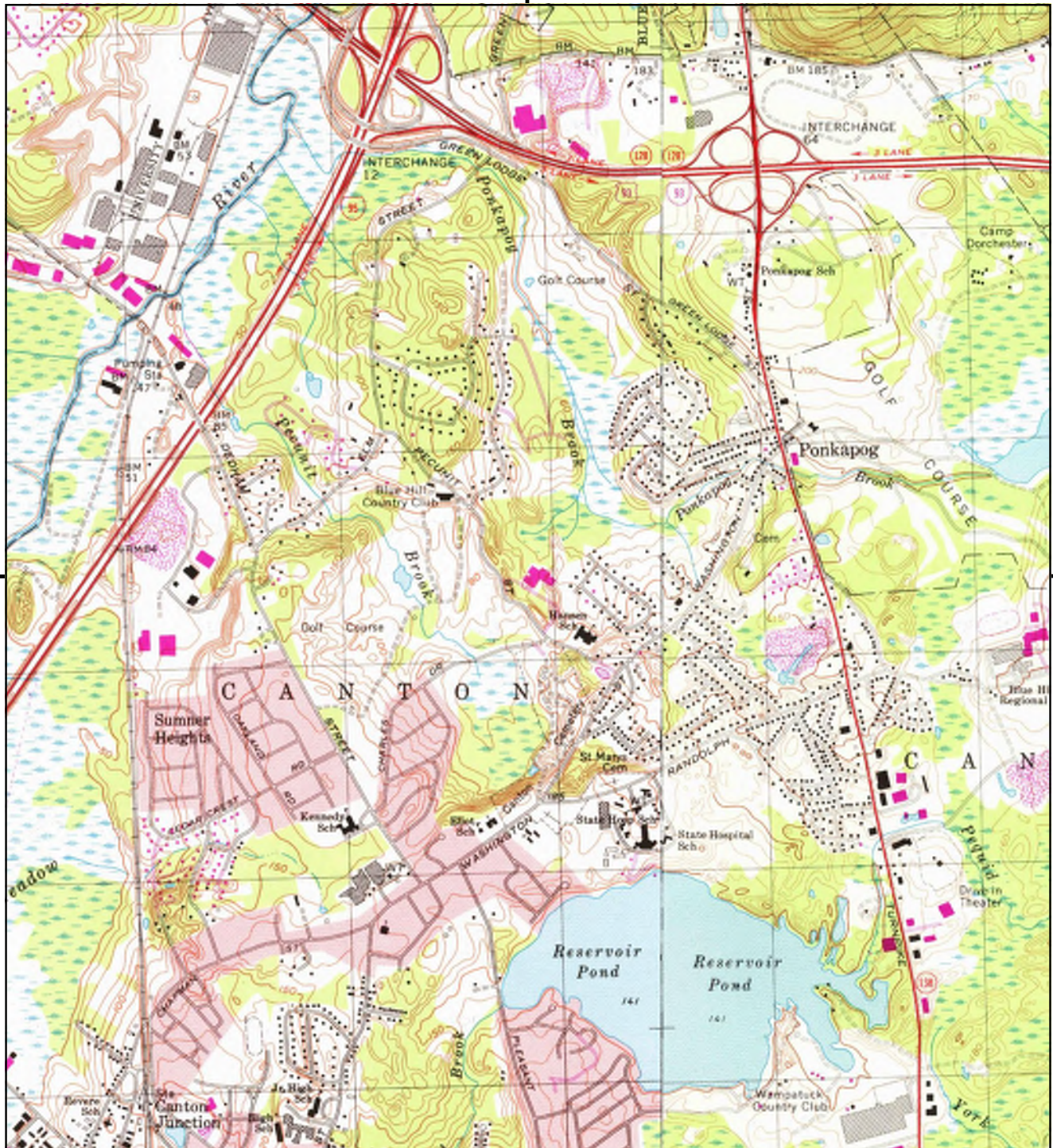




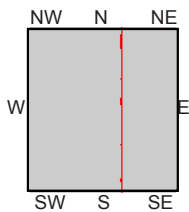
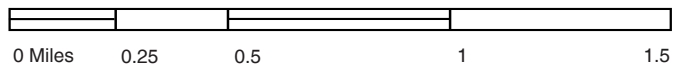


# Historical Topo Map

1979



This report includes information from the following map sheet(s).



TP, Norwood, 1979, 7.5-minute  
E, Blue Hills, 1979, 7.5-minute

SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



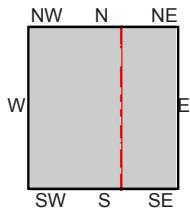
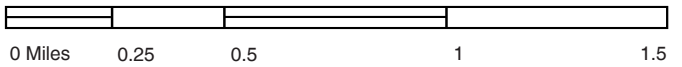


# Historical Topo Map

1977

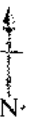


This report includes information from the following map sheet(s).



TP, Norwood, 1977, 7.5-minute  
E, Blue Hills, 1977, 7.5-minute

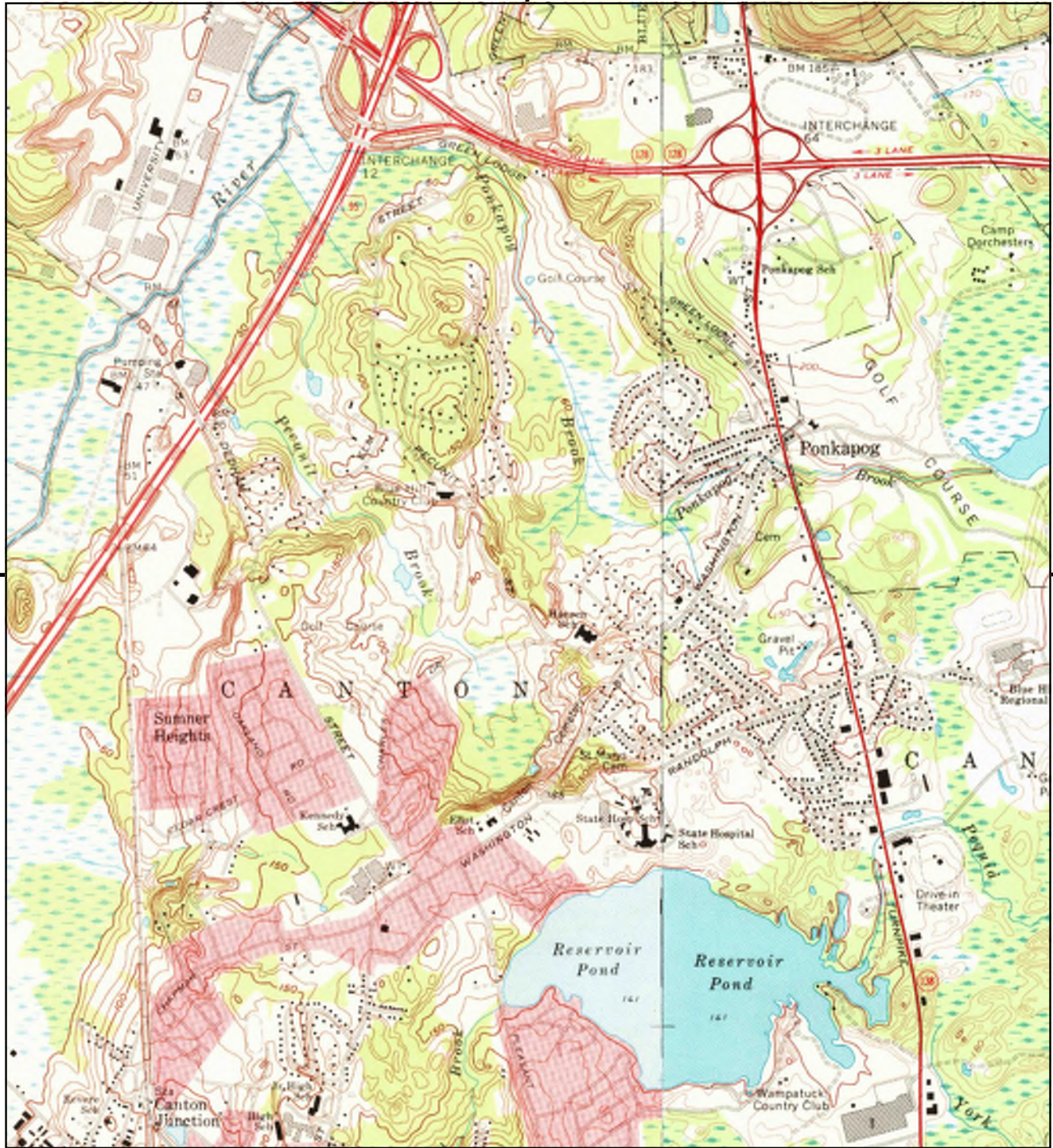
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



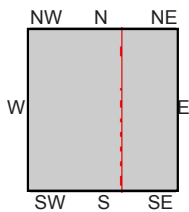
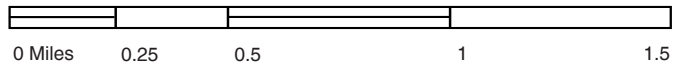


# Historical Topo Map

1970, 1971



This report includes information from the following map sheet(s).



TP, Norwood, 1970, 7.5-minute  
E, Blue Hills, 1971, 7.5-minute

SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



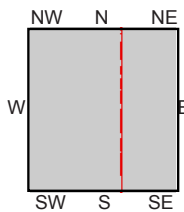
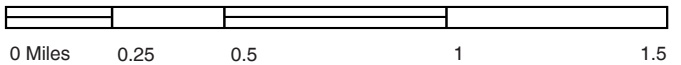


# Historical Topo Map

1958

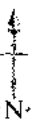


This report includes information from the following map sheet(s).



TP, Norwood, 1958, 7.5-minute  
E, Blue Hills, 1958, 7.5-minute

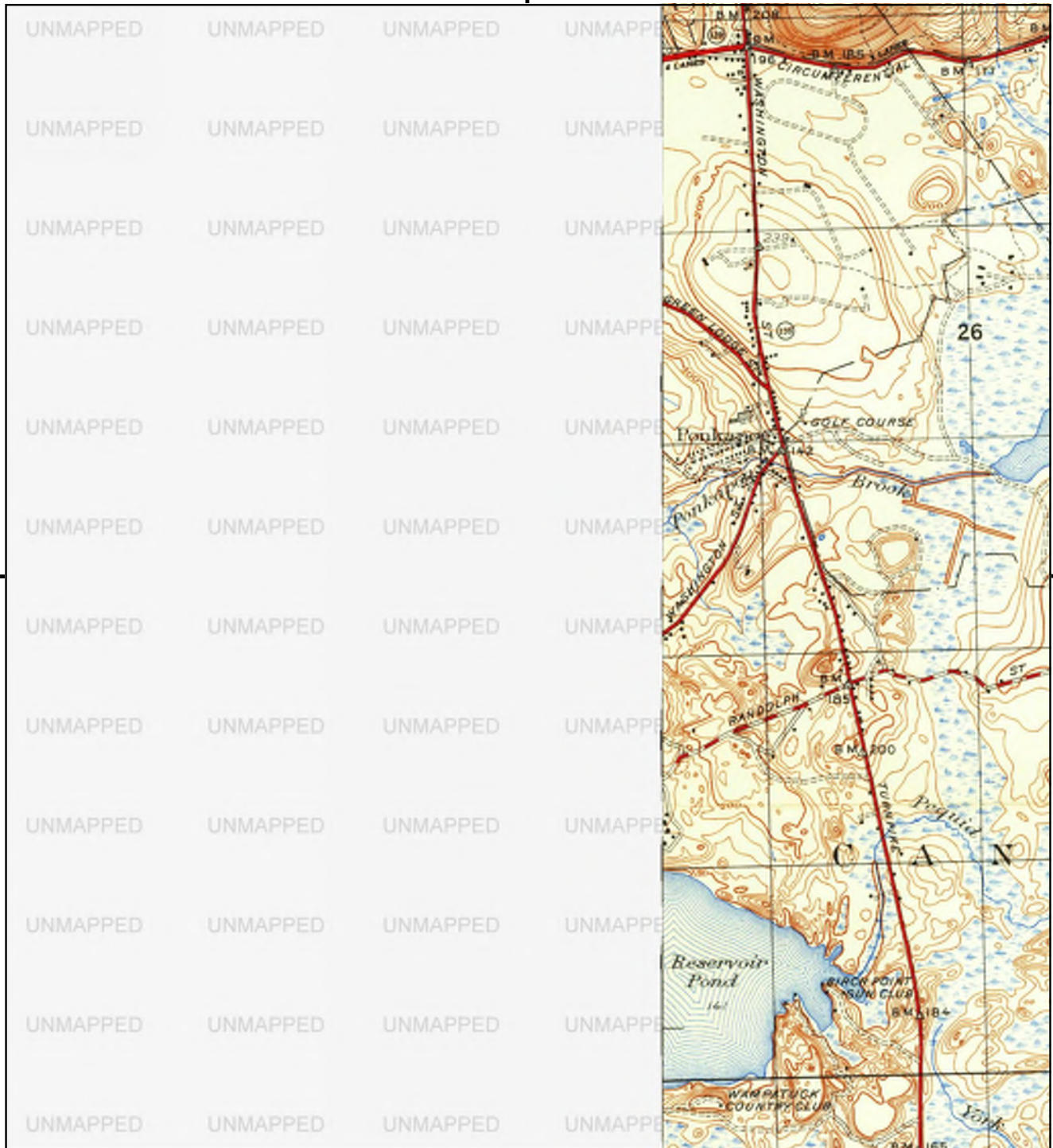
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



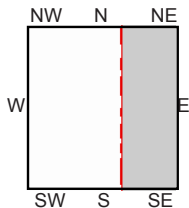
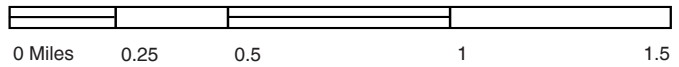


# Historical Topo Map

1954



This report includes information from the following map sheet(s).



E, Blue Hills, 1954, 7.5-minute

SITE NAME: Galvin Middle School  
 ADDRESS: 55 Pecunit Street  
 Canton, MA 02021  
 CLIENT: The Vertex Companies, Inc.





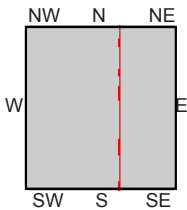
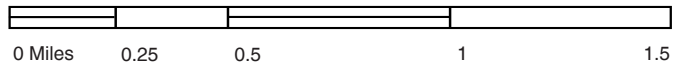


# Historical Topo Map

1946



This report includes information from the following map sheet(s).



TP, Norwood, 1946, 7.5-minute  
E, Blue Hills, 1946, 7.5-minute

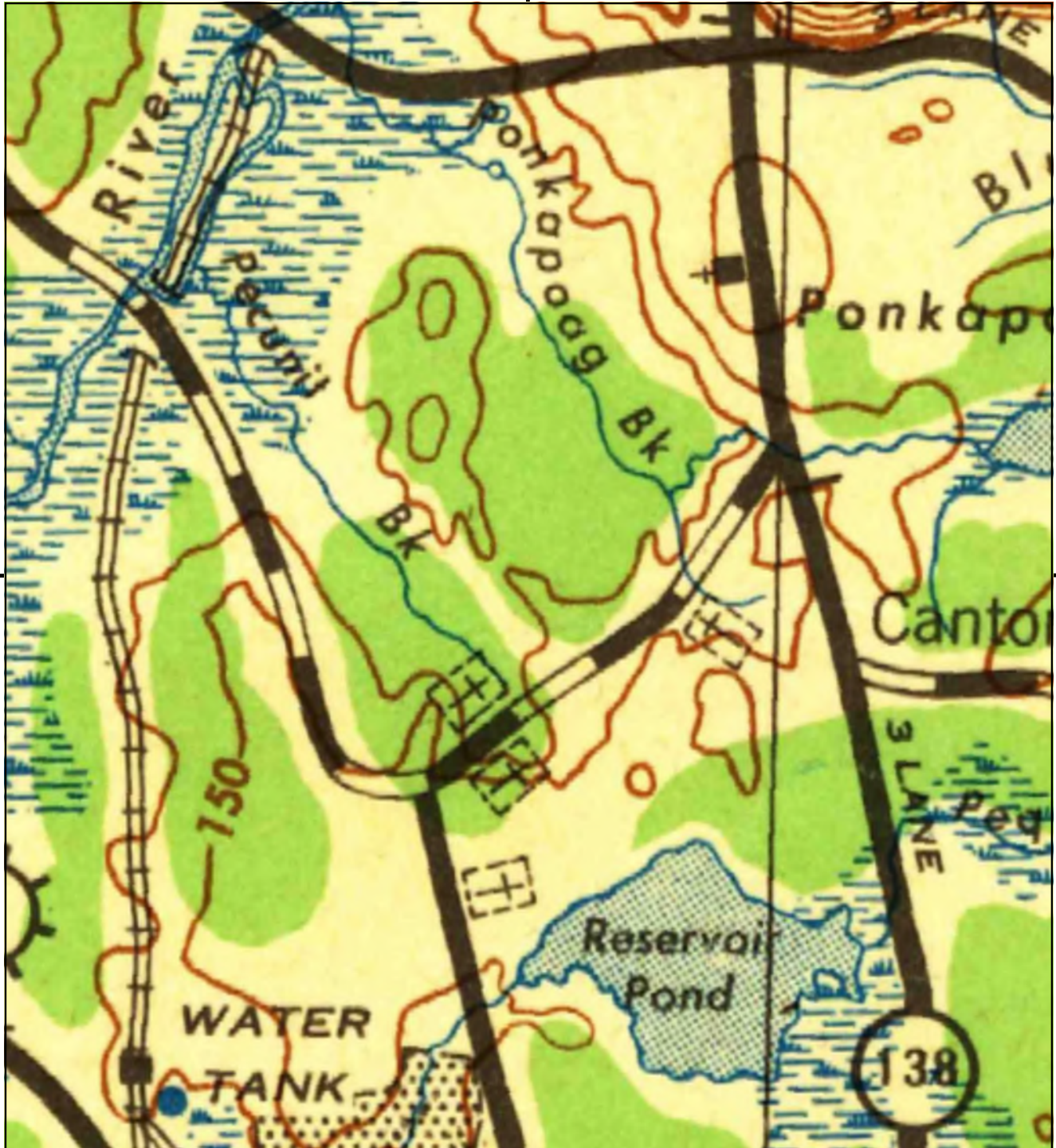
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



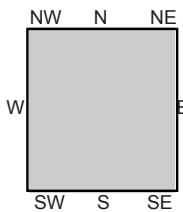
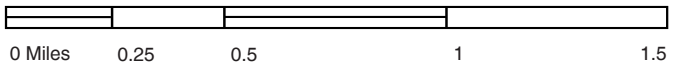


# Historical Topo Map

1943

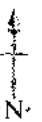


This report includes information from the following map sheet(s).



TP, Boston, 1943, 30-minute

SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.

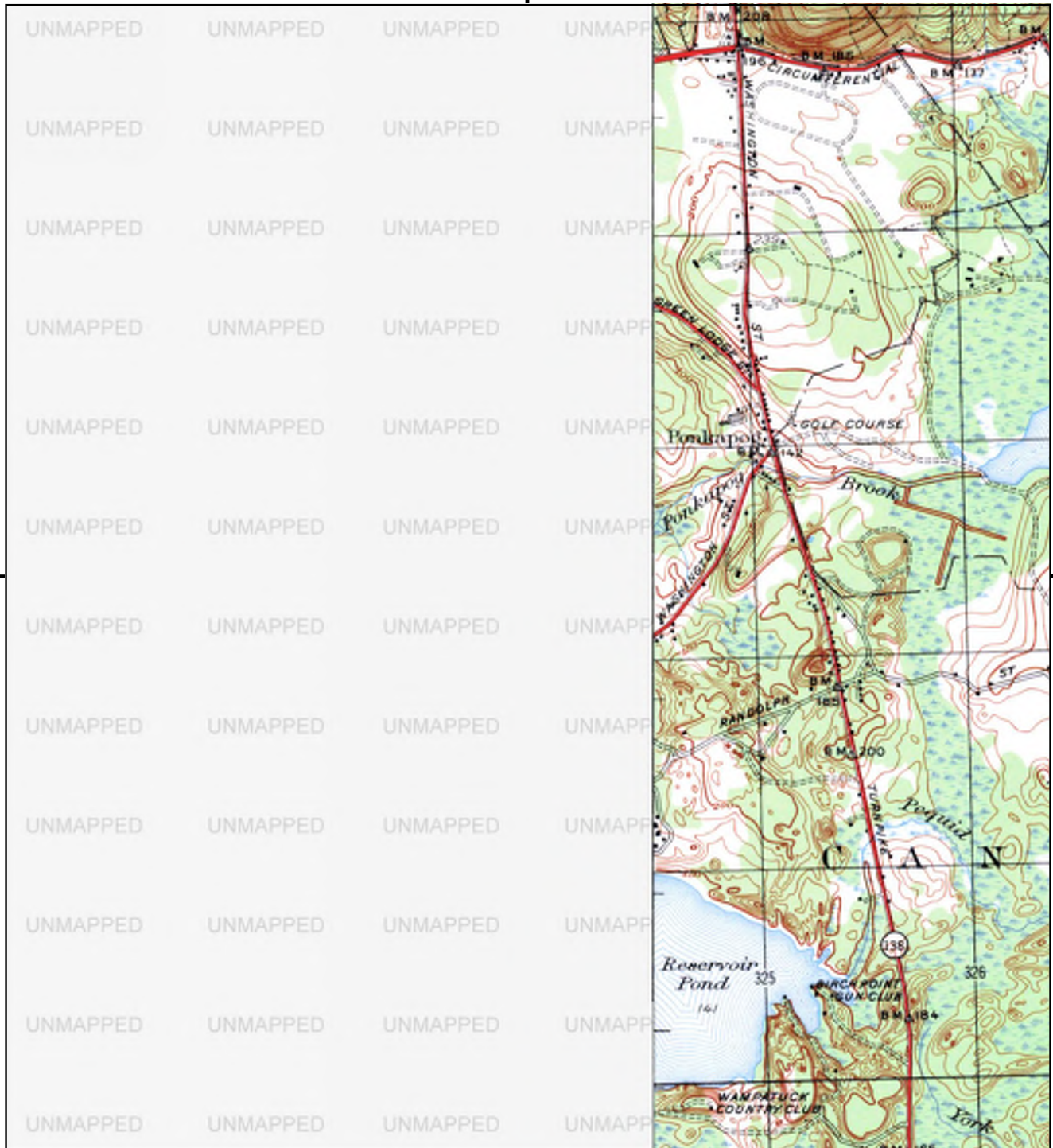




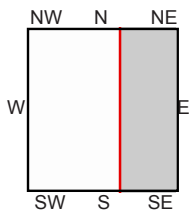
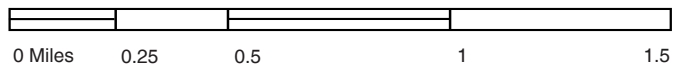


# Historical Topo Map

1941



This report includes information from the following map sheet(s).



E, BLUE HILLS, 1941, 7.5-minute

SITE NAME: Galvin Middle School  
 ADDRESS: 55 Pecunit Street  
 Canton, MA 02021  
 CLIENT: The Vertex Companies, Inc.



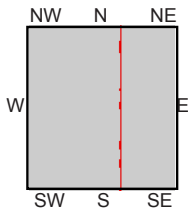
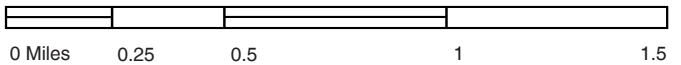


# Historical Topo Map

1936

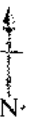


This report includes information from the following map sheet(s).



TP, Norwood, 1936, 7.5-minute  
E, Blue Hills, 1936, 7.5-minute

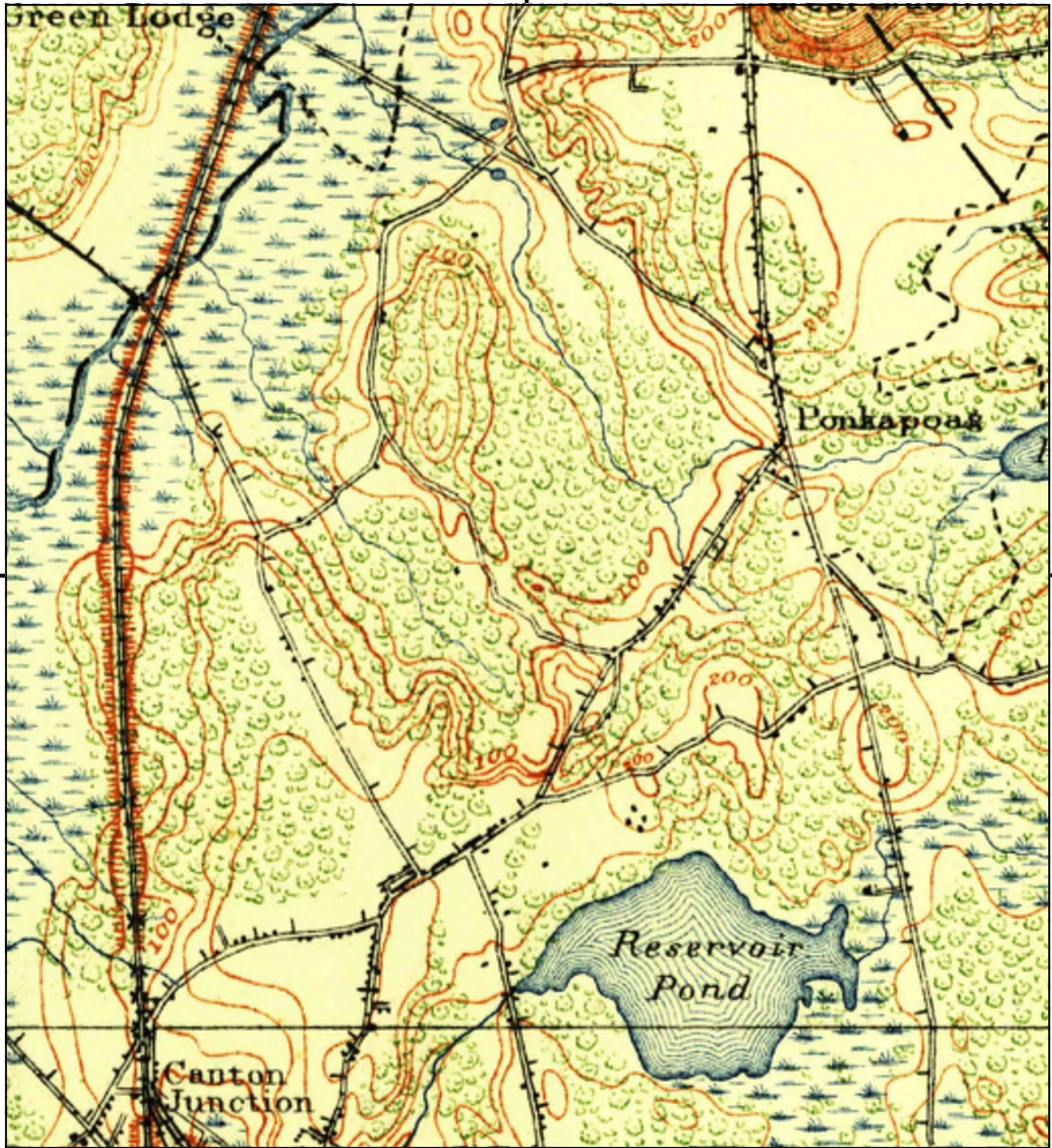
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



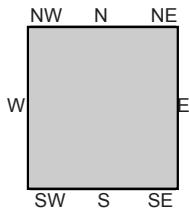
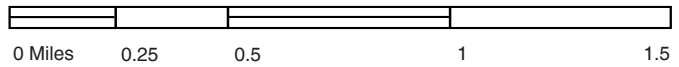


# Historical Topo Map

1919



This report includes information from the following map sheet(s).



TP, Dedham, 1919, 15-minute

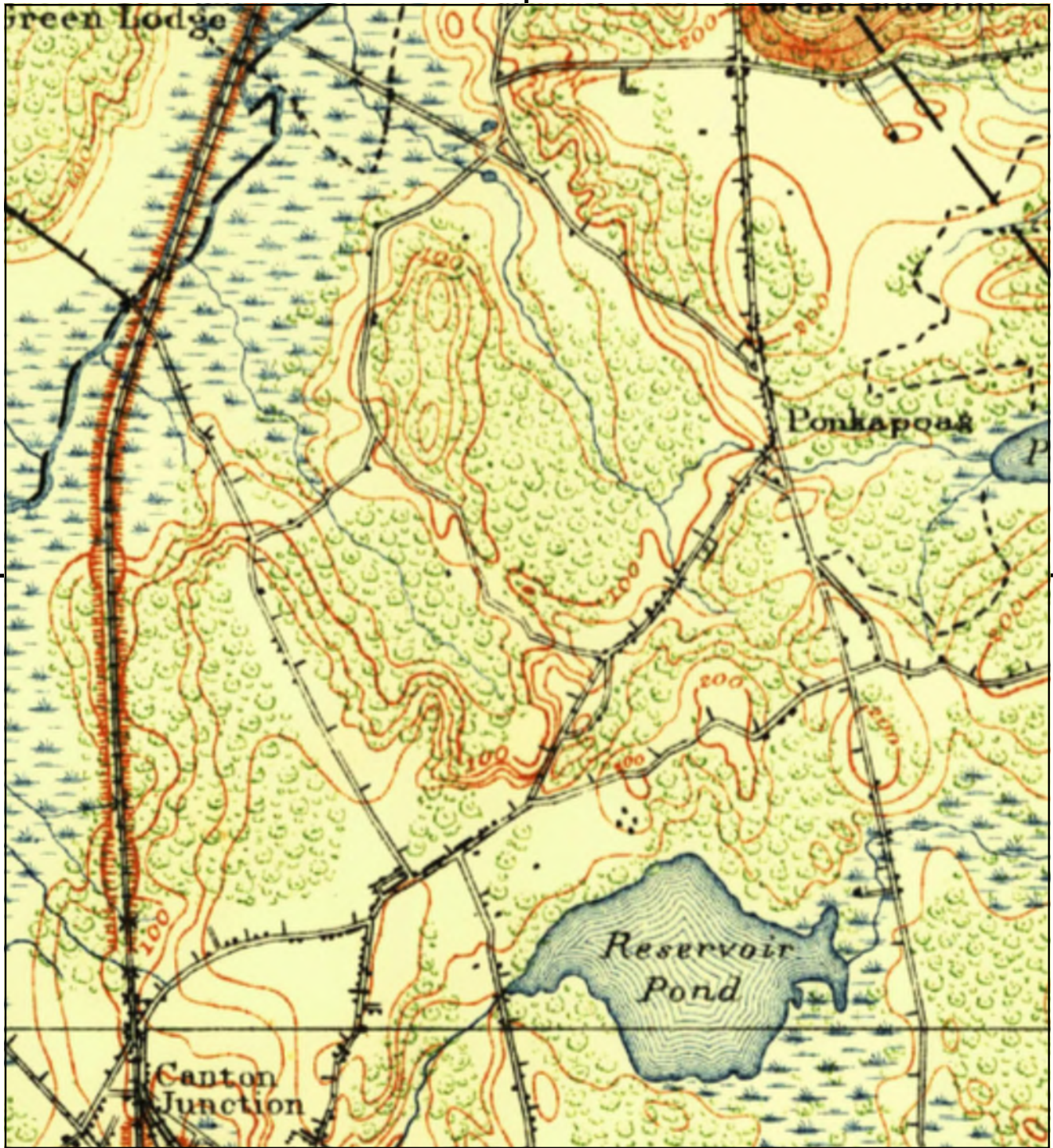
SITE NAME: Galvin Middle School  
 ADDRESS: 55 Pecunit Street  
 Canton, MA 02021  
 CLIENT: The Vertex Companies, Inc.



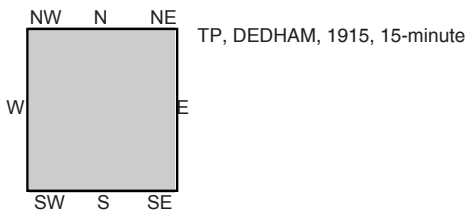
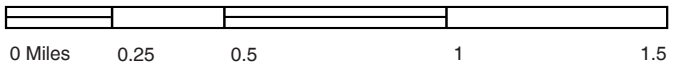


# Historical Topo Map

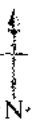
1915



This report includes information from the following map sheet(s).



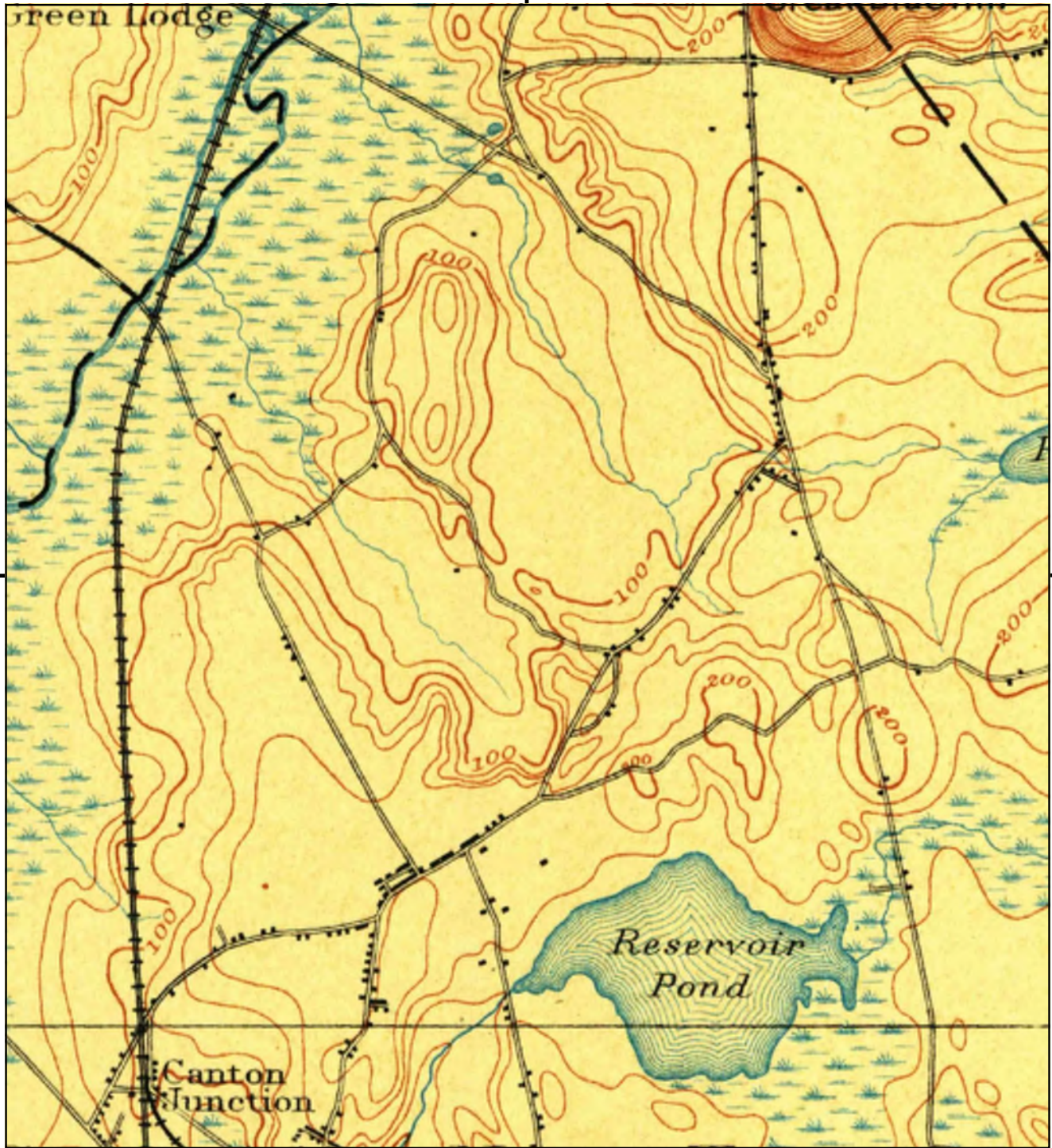
SITE NAME: Galvin Middle School  
ADDRESS: 55 Pecunit Street  
Canton, MA 02021  
CLIENT: The Vertex Companies, Inc.



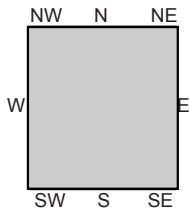
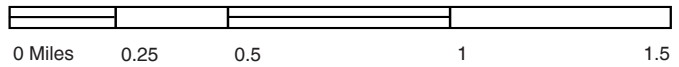


# Historical Topo Map

1894



This report includes information from the following map sheet(s).



TP, Dedham, 1894, 15-minute

SITE NAME: Galvin Middle School  
 ADDRESS: 55 Pecunit Street  
 Canton, MA 02021  
 CLIENT: The Vertex Companies, Inc.





**APPENDIX F**  
**SANBORN FIRE INSURANCE MAPS**

Galvin Middle School  
55 Pecunit Street  
Canton, MA 02021

Inquiry Number: 7387007.3  
July 11, 2023

## Certified Sanborn® Map Report



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

**Certified Sanborn® Map Report**

07/11/23

**Site Name:**

Galvin Middle School  
55 Pecunit Street  
Canton, MA 02021  
EDR Inquiry # 7387007.3

**Client Name:**

The Vertex Companies, Inc.  
400 Libbey Parkway  
Weymouth, MA 02189-0000  
Contact: Nicollette Bethoney



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**Certified Sanborn Results:****Certification #** C16E-4A28-B406**PO #** NA**Project** NA**UNMAPPED PROPERTY**

This report certifies that the complete holdings of the Sanborn Library, LLC collection have been searched based on client supplied target property information, and fire insurance maps covering the target property were not found.



Sanborn® Library search results

Certification #: C16E-4A28-B406

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- Library of Congress
- University Publications of America
- EDR Private Collection

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**APPENDIX G**  
**REGULATORY DATABASE REPORT**

**Galvin Middle School**

55 Pecunit Street  
Canton, MA 02021

Inquiry Number: 7387007.2s  
July 11, 2023

## The EDR Radius Map™ Report with GeoCheck®



6 Armstrong Road, 4th floor  
Shelton, CT 06484  
Toll Free: 800.352.0050  
[www.edrnet.com](http://www.edrnet.com)

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***Thank you for your business.***  
 Please contact EDR at 1-800-352-0050  
 with any questions or comments.

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## **EXECUTIVE SUMMARY**

A search of available environmental records was conducted by Environmental Data Resources, Inc (EDR). The report was designed to assist parties seeking to meet the search requirements of EPA's Standards and Practices for All Appropriate Inquiries (40 CFR Part 312), the ASTM Standard Practice for Environmental Site Assessments (E1527 - 21), the ASTM Standard Practice for Environmental Site Assessments for Forestland or Rural Property (E2247 - 16), the ASTM Standard Practice for Limited Environmental Due Diligence: Transaction Screen Process (E1528 - 22) or custom requirements developed for the evaluation of environmental risk associated with a parcel of real estate.

### **TARGET PROPERTY INFORMATION**

#### **ADDRESS**

55 PECUNIT STREET  
CANTON, MA 02021

#### **COORDINATES**

Latitude (North):	42.1859640 - 42° 11' 9.47"
Longitude (West):	71.1321600 - 71° 7' 55.77"
Universal Transverse Mercator:	Zone 19
UTM X (Meters):	323925.7
UTM Y (Meters):	4672410.5
Elevation:	70 ft. above sea level

### **USGS TOPOGRAPHIC MAP ASSOCIATED WITH TARGET PROPERTY**

Target Property Map:	11762181 NORWOOD, MA
Version Date:	2018
East Map:	11762157 BLUE HILLS, MA
Version Date:	2018

### **AERIAL PHOTOGRAPHY IN THIS REPORT**

Portions of Photo from:	20181016, 20180827
Source:	USDA

MAPPED SITES SUMMARY

Target Property Address:  
 55 PECUNIT STREET  
 CANTON, MA 02021

Click on Map ID to see full detail.

MAP ID	SITE NAME	ADDRESS	DATABASE ACRONYMS	RELATIVE ELEVATION	DIST (ft. & mi.) DIRECTION
<a href="#">A1</a>	GALVIN MIDDLE SCHOOL	55 PECUNIT STREET	MA ASBESTOS		TP
<a href="#">A2</a>	GALVIN MIDDLE SCHOOL	55 PECUNIT STREET	MA ASBESTOS		TP
<a href="#">A3</a>	GALVIN MIDDLE SCHOOL	55 PECUNIT STREET	MA ASBESTOS		TP
<a href="#">A4</a>	GALVIN MIDDLE SCHOOL	55 PECUNIT STREET	MA ASBESTOS		TP
<a href="#">A5</a>	GALVIN MIDDLE SCHOOL	55 PECUNIT STREET	MA ASBESTOS		TP
<a href="#">A6</a>	GALVIN SCHOOL	55 PECUNIT ST	MA ASBESTOS		TP
<a href="#">7</a>	VAN NESTE VINCENT J	11 COUNTRY LN	EDR Hist Auto	Higher	560, 0.106, ESE
<a href="#">B8</a>	BLUE HILL COUNTRY CL	23 PECUNIT ST	MA SHWS, MA LUST, MA UST, MA AST, MA INST CONTROL,	Higher	623, 0.118, SE
<a href="#">B9</a>	BLUE HILL COUNTRY CL	23 PECUNIT STREET	NY MANIFEST	Higher	623, 0.118, SE
<a href="#">B10</a>	BLUE HILL ASSOCIATES	23 PECUNIT ST	RCRA-VSQG, FINDS, ECHO	Higher	623, 0.118, SE
<a href="#">11</a>	PROPERTY	8 WENTWORTH RD	MA LUST, MA RELEASE	Higher	1871, 0.354, ESE
<a href="#">C12</a>	NO LOCATION AID	2020 WASHINGTON ST	MA SHWS, MA RELEASE	Higher	1958, 0.371, ENE
<a href="#">C13</a>	TOKA-RENBE FARM	2016 WASHINGTON ST	MA SHWS, MA RELEASE	Higher	2137, 0.405, ENE
<a href="#">14</a>	WASHINGTON ST TO HUB	28 SUTCLIFF AVE	MA SHWS, MA RELEASE	Higher	2438, 0.462, ENE
<a href="#">15</a>	MASS HOSPITAL SCHOOL	3 RANDOLPH ST	MA SHWS, MA LUST, MA UST, MA AST, MA RELEASE, MA...	Higher	2546, 0.482, SSE
<a href="#">16</a>	TRANSFORMER RELEASE	76 MORTON STREET	MA SHWS, MA RELEASE	Higher	3074, 0.582, SSW
<a href="#">D17</a>	PONKAPOAG GOLF COURSE	2160 WASHINGTON ST	MA SHWS, MA RELEASE, MA SPILLS	Higher	3087, 0.585, ENE
<a href="#">D18</a>	SHELL SERVICE STATIO	2168 WASHINGTON ST	MA SHWS, MA UST, MA AST, MA RELEASE, MA UIC	Higher	3128, 0.592, ENE
<a href="#">E19</a>	NO LOCATION AID	2224 WASHINGTON ST	MA SHWS, MA LUST, MA RELEASE, MA ASBESTOS	Higher	3574, 0.677, NE
<a href="#">E20</a>	CONNORS WAYSIDE FURN	2239 WASHINGTON STRE	MA SHWS, MA LUST, MA LAST, MA RELEASE, MA ASBESTOS	Higher	3613, 0.684, NE
<a href="#">21</a>	BLUE HILLS COUNTRY C	146 DEDHAM STREET	MA SHWS, MA RELEASE	Higher	3695, 0.700, WSW
<a href="#">22</a>	A. A. WILL SAND & GR	125 TURNPIKE STREET	MA SHWS, MA LUST, MA RELEASE	Higher	3827, 0.725, East
<a href="#">23</a>	INDIAN LINE FARM (FO	2391 WASHINGTON STRE	SEMS, MA SHWS, MA LUST, MA INST CONTROL, MA...	Higher	4277, 0.810, NE
<a href="#">24</a>	T/T ACCIDENT - INTER	190 TURNPIKE ST (RT	MA SHWS, MA RELEASE	Higher	4376, 0.829, ESE
<a href="#">F25</a>	@ RTE 128	WASHINGTON ST	MA SHWS, MA RELEASE	Higher	4483, 0.849, ENE
<a href="#">F26</a>	CANTON HIGH SCHOOL	WASHINGTON ST	MA SHWS, MA LUST, MA RELEASE	Higher	4483, 0.849, ENE
<a href="#">27</a>	DRAPER PROPERTIES IN	28 DRAPER LN	MA SHWS, MA LUST, MA UST, MA RELEASE, MA SPILLS,...	Higher	4743, 0.898, SSW
<a href="#">28</a>	CHILI CONSTRUCTION M	50 HUDSON RD	MA SHWS, MA RELEASE, MA HW GEN	Higher	4802, 0.909, WSW
<a href="#">29</a>	SANOFI PASTEUR BIOLO	90 SHAWMUT ROAD	MA SHWS, MA RELEASE, MA AIRS, MA HW GEN	Lower	4831, 0.915, West
<a href="#">30</a>	JIFFY LUBE 1137	239 TURNPIKE ST	MA SHWS, MA UST, MA AST, MA RELEASE, RCRA NonGen /.	Higher	4841, 0.917, ESE
<a href="#">31</a>	SALAH PECCI CO	100 HUDSON RD	MA SHWS, MA RELEASE, MA SPILLS	Higher	4902, 0.928, West

## EXECUTIVE SUMMARY

### TARGET PROPERTY SEARCH RESULTS

The target property was identified in the following records. For more information on this property see page 8 of the attached EDR Radius Map report:

Site	Database(s)	EPA ID
GALVIN MIDDLE SCHOOL 55 PECUNIT STREET CANTON, MA	MA ASBESTOS	N/A
GALVIN MIDDLE SCHOOL 55 PECUNIT STREET CANTON, MA	MA ASBESTOS	N/A
GALVIN MIDDLE SCHOOL 55 PECUNIT STREET CANTON, MA	MA ASBESTOS	N/A
GALVIN MIDDLE SCHOOL 55 PECUNIT STREET CANTON, MA	MA ASBESTOS	N/A
GALVIN MIDDLE SCHOOL 55 PECUNIT STREET CANTON, MA	MA ASBESTOS	N/A
GALVIN SCHOOL 55 PECUNIT ST CANTON, MA	MA ASBESTOS	N/A

### DATABASES WITH NO MAPPED SITES

No mapped sites were found in EDR's search of available ("reasonably ascertainable ") government records either on the target property or within the search radius around the target property for the following databases:

### STANDARD ENVIRONMENTAL RECORDS

#### ***Lists of Federal NPL (Superfund) sites***

NPL..... National Priority List  
 Proposed NPL..... Proposed National Priority List Sites  
 NPL LIENS..... Federal Superfund Liens

## EXECUTIVE SUMMARY

### ***Lists of Federal Delisted NPL sites***

Delisted NPL..... National Priority List Deletions

### ***Lists of Federal sites subject to CERCLA removals and CERCLA orders***

FEDERAL FACILITY..... Federal Facility Site Information listing

### ***Lists of Federal CERCLA sites with NFRAP***

SEMS-ARCHIVE..... Superfund Enterprise Management System Archive

### ***Lists of Federal RCRA facilities undergoing Corrective Action***

CORRACTS..... Corrective Action Report

### ***Lists of Federal RCRA TSD facilities***

RCRA-TSDF..... RCRA - Treatment, Storage and Disposal

### ***Lists of Federal RCRA generators***

RCRA-LQG..... RCRA - Large Quantity Generators

RCRA-SQG..... RCRA - Small Quantity Generators

### ***Federal institutional controls / engineering controls registries***

LUCIS..... Land Use Control Information System

US ENG CONTROLS..... Engineering Controls Sites List

US INST CONTROLS..... Institutional Controls Sites List

### ***Federal ERNS list***

ERNS..... Emergency Response Notification System

### ***Lists of state and tribal landfills and solid waste disposal facilities***

MA SWF/LF..... Solid Waste Facility Database/Transfer Stations

### ***Lists of state and tribal leaking storage tanks***

INDIAN LUST..... Leaking Underground Storage Tanks on Indian Land

### ***Lists of state and tribal registered storage tanks***

FEMA UST..... Underground Storage Tank Listing

INDIAN UST..... Underground Storage Tanks on Indian Land

### ***Lists of state and tribal voluntary cleanup sites***

INDIAN VCP..... Voluntary Cleanup Priority Listing

### **ADDITIONAL ENVIRONMENTAL RECORDS**

#### ***Local Brownfield lists***

US BROWNFIELDS..... A Listing of Brownfields Sites

## EXECUTIVE SUMMARY

### **Local Lists of Landfill / Solid Waste Disposal Sites**

INDIAN ODI.....	Report on the Status of Open Dumps on Indian Lands
DEBRIS REGION 9.....	Torres Martinez Reservation Illegal Dump Site Locations
ODI.....	Open Dump Inventory
IHS OPEN DUMPS.....	Open Dumps on Indian Land

### **Local Lists of Hazardous waste / Contaminated Sites**

US HIST CDL.....	Delisted National Clandestine Laboratory Register
US CDL.....	National Clandestine Laboratory Register

### **Local Land Records**

MA LIENS.....	Liens Information Listing
LIENS 2.....	CERCLA Lien Information

### **Records of Emergency Release Reports**

HMIRS.....	Hazardous Materials Information Reporting System
MA SPILLS 90.....	SPILLS 90 data from FirstSearch
MA SPILLS 80.....	SPILLS 80 data from FirstSearch

### **Other Ascertainable Records**

FUDS.....	Formerly Used Defense Sites
DOD.....	Department of Defense Sites
SCRD DRYCLEANERS.....	State Coalition for Remediation of Drycleaners Listing
US FIN ASSUR.....	Financial Assurance Information
EPA WATCH LIST.....	EPA WATCH LIST
2020 COR ACTION.....	2020 Corrective Action Program List
TSCA.....	Toxic Substances Control Act
TRIS.....	Toxic Chemical Release Inventory System
SSTS.....	Section 7 Tracking Systems
ROD.....	Records Of Decision
RMP.....	Risk Management Plans
RAATS.....	RCRA Administrative Action Tracking System
PADS.....	PCB Activity Database System
ICIS.....	Integrated Compliance Information System
FTTS.....	FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)
MLTS.....	Material Licensing Tracking System
COAL ASH DOE.....	Steam-Electric Plant Operation Data
COAL ASH EPA.....	Coal Combustion Residues Surface Impoundments List
PCB TRANSFORMER.....	PCB Transformer Registration Database
RADINFO.....	Radiation Information Database
HIST FTTS.....	FIFRA/TSCA Tracking System Administrative Case Listing
DOT OPS.....	Incident and Accident Data
CONSENT.....	Superfund (CERCLA) Consent Decrees
INDIAN RESERV.....	Indian Reservations
FUSRAP.....	Formerly Utilized Sites Remedial Action Program
UMTRA.....	Uranium Mill Tailings Sites
LEAD SMELTERS.....	Lead Smelter Sites
US AIRS.....	Aerometric Information Retrieval System Facility Subsystem



## EXECUTIVE SUMMARY

US MINES.....	Mines Master Index File
ABANDONED MINES.....	Abandoned Mines
UXO.....	Unexploded Ordnance Sites
DOCKET HWC.....	Hazardous Waste Compliance Docket Listing
FUELS PROGRAM.....	EPA Fuels Program Registered Listing
PFAS NPL.....	Superfund Sites with PFAS Detections Information
PFAS FEDERAL SITES.....	Federal Sites PFAS Information
PFAS TSCA.....	PFAS Manufacture and Imports Information
PFAS RCRA MANIFEST.....	PFAS Transfers Identified In the RCRA Database Listing
PFAS ATSDR.....	PFAS Contamination Site Location Listing
PFAS WQP.....	Ambient Environmental Sampling for PFAS
PFAS NPDES.....	Clean Water Act Discharge Monitoring Information
PFAS ECHO.....	Facilities in Industries that May Be Handling PFAS Listing
PFAS ECHO FIRE TRAINING.....	Facilities in Industries that May Be Handling PFAS Listing
PFAS PART 139 AIRPORT.....	All Certified Part 139 Airports PFAS Information Listing
AQUEOUS FOAM NRC.....	Aqueous Foam Related Incidents Listing
MA PFAS.....	PFAS Contaminated Sites Listing
MA DRYCLEANERS.....	Regulated Drycleaning Facilities
MA ENF.....	Enforcement Action Cases
MA GWDP.....	Ground Water Discharge Permits
MA MERCURY.....	Mercury Product Recycling Drop-Off Locations Listing
MA NPDES.....	NPDES Permit Listing
MA TIER 2.....	Tier 2 Information Listing
MA TSD.....	TSD Facility
PFAS TRIS.....	List of PFAS Added to the TRI
MINES MRDS.....	Mineral Resources Data System

### EDR HIGH RISK HISTORICAL RECORDS

#### ***EDR Exclusive Records***

EDR MGP.....	EDR Proprietary Manufactured Gas Plants
EDR Hist Cleaner.....	EDR Exclusive Historical Cleaners

### EDR RECOVERED GOVERNMENT ARCHIVES

#### ***Exclusive Recovered Govt. Archives***

MA RGA HWS.....	Recovered Government Archive State Hazardous Waste Facilities List
MA RGA LUST.....	Recovered Government Archive Leaking Underground Storage Tank

### SURROUNDING SITES: SEARCH RESULTS

Surrounding sites were identified in the following databases.

Elevations have been determined from the USGS Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified. Sites with an elevation equal to or higher than the target property have been differentiated below from sites with an elevation lower than the target property.

Page numbers and map identification numbers refer to the EDR Radius Map report where detailed data on individual sites can be reviewed.

Sites listed in ***bold italics*** are in multiple databases.

Unmappable (orphan) sites are not considered in the foregoing analysis.

## EXECUTIVE SUMMARY

### STANDARD ENVIRONMENTAL RECORDS

#### ***Lists of Federal RCRA generators***

RCRA-VSQG: RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

A review of the RCRA-VSQG list, as provided by EDR, and dated 03/06/2023 has revealed that there is 1 RCRA-VSQG site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL ASSOCIATES</b> EPA ID: MAD982546285	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B10</b>	<b>51</b>

#### ***Lists of state- and tribal hazardous waste facilities***

MA SHWS: Contains information on releases of oil and hazardous materials that have been reported to DEP.

A review of the MA SHWS list, as provided by EDR, and dated 04/05/2023 has revealed that there are 21 MA SHWS sites within approximately 1 mile of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b> Release Tracking Number: 4-3024166 Release Tracking Number: 4-3024878 Release Tracking Number: 4-3015551 Release Tracking Number: 4-0026086 Release Tracking Number: 4-3013666 <i>*Additional key fields are available in the Map Findings section</i> Current Status: PSC Current Status: RAONR Current Status: RAO	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>
<b>NO LOCATION AID</b> Release Tracking Number: 4-3012923 Current Status: RAO	<b>2020 WASHINGTON ST</b>	<b>ENE 1/4 - 1/2 (0.371 mi.)</b>	<b>C12</b>	<b>57</b>
<b>TOKA-RENBE FARM</b> Release Tracking Number: 4-3000284 Current Status: RAO	<b>2016 WASHINGTON ST</b>	<b>ENE 1/4 - 1/2 (0.405 mi.)</b>	<b>C13</b>	<b>59</b>
<b>WASHINGTON ST TO HUB</b> Release Tracking Number: 4-3012534 Current Status: RAO	<b>28 SUTCLIFF AVE</b>	<b>ENE 1/4 - 1/2 (0.462 mi.)</b>	<b>14</b>	<b>61</b>
<b>MASS HOSPITAL SCHOOL</b> Release Tracking Number: 4-0029266 Release Tracking Number: 4-3014868	<b>3 RANDOLPH ST</b>	<b>SSE 1/4 - 1/2 (0.482 mi.)</b>	<b>15</b>	<b>63</b>

## EXECUTIVE SUMMARY

Release Tracking Number: 4-3017268 Current Status: UNCLSS Current Status: RAONR Current Status: RAO				
<b>TRANSFORMER RELEASE</b>	<b>76 MORTON STREET</b>	<b>SSW 1/2 - 1 (0.582 mi.)</b>	<b>16</b>	<b>169</b>
Release Tracking Number: 4-0029370 Current Status: PSNC				
<b>PONKAPOAG GOLF COURSE</b>	<b>2160 WASHINGTON ST</b>	<b>ENE 1/2 - 1 (0.585 mi.)</b>	<b>D17</b>	<b>170</b>
Release Tracking Number: 4-3021331 Current Status: RAO				
<b>SHELL SERVICE STATION</b>	<b>2168 WASHINGTON ST</b>	<b>ENE 1/2 - 1 (0.592 mi.)</b>	<b>D18</b>	<b>172</b>
Release Tracking Number: 4-3021987 Current Status: RAO				
<b>NO LOCATION AID</b>	<b>2224 WASHINGTON ST</b>	<b>NE 1/2 - 1 (0.677 mi.)</b>	<b>E19</b>	<b>179</b>
Release Tracking Number: 4-3022736 Current Status: RAO				
<b>CONNORS WAYSIDE FURN</b>	<b>2239 WASHINGTON STRE</b>	<b>NE 1/2 - 1 (0.684 mi.)</b>	<b>E20</b>	<b>184</b>
Release Tracking Number: 4-0025451 Current Status: PSNC				
<b>BLUE HILLS COUNTRY C</b>	<b>146 DEDHAM STREET</b>	<b>WSW 1/2 - 1 (0.700 mi.)</b>	<b>21</b>	<b>192</b>
Release Tracking Number: 4-0026845 Current Status: PSNC				
<b>A. A. WILL SAND &amp; GR</b>	<b>125 TURNPIKE STREET</b>	<b>E 1/2 - 1 (0.725 mi.)</b>	<b>22</b>	<b>193</b>
Release Tracking Number: 4-0024180 Current Status: PSNC				
<b>INDIAN LINE FARM (FO</b>	<b>2391 WASHINGTON STRE</b>	<b>NE 1/2 - 1 (0.810 mi.)</b>	<b>23</b>	<b>199</b>
Release Tracking Number: 4-3000283 Release Tracking Number: 4-3018419 Release Tracking Number: 4-3015313 Release Tracking Number: 4-3015524 Release Tracking Number: 4-3015487 Current Status: RAO Current Status: RAONR				
<b>T/T ACCIDENT - INTER</b>	<b>190 TURNPIKE ST (RT</b>	<b>ESE 1/2 - 1 (0.829 mi.)</b>	<b>24</b>	<b>226</b>
Release Tracking Number: 4-0024704 Current Status: RAO				
<b>@ RTE 128</b>	<b>WASHINGTON ST</b>	<b>ENE 1/2 - 1 (0.849 mi.)</b>	<b>F25</b>	<b>229</b>
Release Tracking Number: 4-3015106 Current Status: RAO				
<b>CANTON HIGH SCHOOL</b>	<b>WASHINGTON ST</b>	<b>ENE 1/2 - 1 (0.849 mi.)</b>	<b>F26</b>	<b>231</b>
Release Tracking Number: 4-3011219 Current Status: RAO				
<b>DRAPER PROPERTIES IN</b>	<b>28 DRAPER LN</b>	<b>SSW 1/2 - 1 (0.898 mi.)</b>	<b>27</b>	<b>238</b>
Release Tracking Number: 4-3018551 Current Status: RAO				
<b>CHILI CONSTRUCTION M</b>	<b>50 HUDSON RD</b>	<b>WSW 1/2 - 1 (0.909 mi.)</b>	<b>28</b>	<b>294</b>
Release Tracking Number: 4-0023248 Current Status: RAO				
<b>JIFFY LUBE 1137</b>	<b>239 TURNPIKE ST</b>	<b>ESE 1/2 - 1 (0.917 mi.)</b>	<b>30</b>	<b>331</b>
Release Tracking Number: 4-3018664				

## EXECUTIVE SUMMARY

Current Status: RAO

<b>SALAH PECCI CO</b>	<b>100 HUDSON RD</b>	<b>W 1/2 - 1 (0.928 mi.)</b>	<b>31</b>	<b>355</b>
Release Tracking Number: 4-3002246				
Current Status: PENNFA				

<u>Lower Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>SANOFI PASTEUR BIOLO</b>	<b>90 SHAWMUT ROAD</b>	<b>W 1/2 - 1 (0.915 mi.)</b>	<b>29</b>	<b>296</b>
Release Tracking Number: 4-0026123				
Current Status: PSNC				

### ***Lists of state and tribal leaking storage tanks***

MA LUST: Sites within the Releases Database that have a UST listed as its source.

A review of the MA LUST list, as provided by EDR, and dated 04/05/2023 has revealed that there are 3 MA LUST sites within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b>	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>
Release Tracking Number / Current Status: 4-3000749 / RAO				
Release Tracking Number / Current Status: 4-3024166 / PSC				
Release Tracking Number / Current Status: 4-0026086 / RAONR				
<b>PROPERTY</b>	<b>8 WENTWORTH RD</b>	<b>ESE 1/4 - 1/2 (0.354 mi.)</b>	<b>11</b>	<b>55</b>
Release Tracking Number / Current Status: 4-3004059 / RAO				
<b>MASS HOSPITAL SCHOOL</b>	<b>3 RANDOLPH ST</b>	<b>SSE 1/4 - 1/2 (0.482 mi.)</b>	<b>15</b>	<b>63</b>
Release Tracking Number / Current Status: 4-3004609 / RAO				
Release Tracking Number / Current Status: 4-0029266 / UNCLSS				

### ***Lists of state and tribal registered storage tanks***

MA UST: The Underground Storage Tank database contains registered USTs. USTs are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA). The data come from the Department of Environmental Protection's Summary Listing of all the Tanks Registered in the State of Massachusetts.

A review of the MA UST list, as provided by EDR, and dated 03/08/2023 has revealed that there is 1 MA UST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b>	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>
Tank Status: Tank Removed				
Facility Id: 11819				

## EXECUTIVE SUMMARY

MA AST: The Aboveground Storage Tank database contains registered ASTs. The data come from the Department of Environmental Protection's Summary Listing of all the Tanks Registered in the State of Massachusetts.

A review of the MA AST list, as provided by EDR, has revealed that there is 1 MA AST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b> Database: AST, Date of Government Version: 03/24/2023	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>

**State and tribal institutional control / engineering control registries**

MA INST CONTROL: Activity and Use Limitations establish limits and conditions on the future use of contaminated property, and therefore allow cleanups to be tailored to these uses.

A review of the MA INST CONTROL list, as provided by EDR, and dated 04/05/2023 has revealed that there is 1 MA INST CONTROL site within approximately 0.5 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b> Release Tracking Number: 4-3024166	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>

**ADDITIONAL ENVIRONMENTAL RECORDS**

**Other Ascertainable Records**

MA HW GEN: Permanent generator identification numbers for all Massachusetts generators of hazardous waste and waste oil that have registered with or notified MassDEP of their hazardous waste activities.

A review of the MA HW GEN list, as provided by EDR, and dated 03/17/2023 has revealed that there is 1 MA HW GEN site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b> State Generator Status: VQG-MA EPA Id: MAD982546285	<b>23 PECUNIT ST</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B8</b>	<b>17</b>

NY MANIFEST: Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

A review of the NY MANIFEST list, as provided by EDR, and dated 01/01/2019 has revealed that there is 1 NY MANIFEST site within approximately 0.25 miles of the target property.

<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
<b>BLUE HILL COUNTRY CL</b>	<b>23 PECUNIT STREET</b>	<b>SE 0 - 1/8 (0.118 mi.)</b>	<b>B9</b>	<b>51</b>

## EXECUTIVE SUMMARY

EPA ID: MAP000041198

### **EDR HIGH RISK HISTORICAL RECORDS**

#### ***EDR Exclusive Records***

EDR Hist Auto: EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

A review of the EDR Hist Auto list, as provided by EDR, has revealed that there is 1 EDR Hist Auto site within approximately 0.125 miles of the target property.

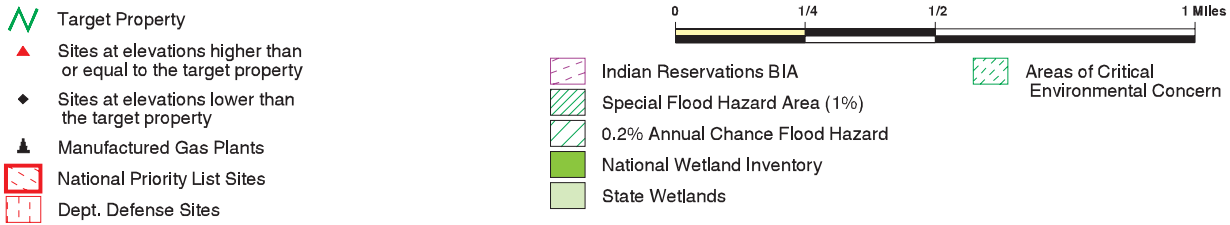
<u>Equal/Higher Elevation</u>	<u>Address</u>	<u>Direction / Distance</u>	<u>Map ID</u>	<u>Page</u>
VAN NESTE VINCENT J	11 COUNTRY LN	ESE 0 - 1/8 (0.106 mi.)	7	17

## EXECUTIVE SUMMARY

Due to poor or inadequate address information, the following sites were not mapped. Count: 9 records.

<u>Site Name</u>	<u>Database(s)</u>
BLUE HILLS SKI AREA	MA SHWS, MA LUST, MA RELEASE, MA ASBESTOS, MA HW GEN
NO LOCATION AID	MA SHWS, MA RELEASE
DIESEL FUEL RELEASE	MA SHWS, MA RELEASE
NO LOCATION AID	MA SHWS, MA RELEASE
NEAR ST MARY'S CEMETERY	MA SHWS, MA RELEASE
CANTON DPW STORAGE YARD	MA SHWS, MA RELEASE
RT 138 ROADWAY	MA SHWS, MA RELEASE
POLE #37	MA SHWS, MA RELEASE
TO BLUEHILL AVE, MILTON TO EAST FI	MA SHWS, MA RELEASE

### OVERVIEW MAP - 7387007.2S

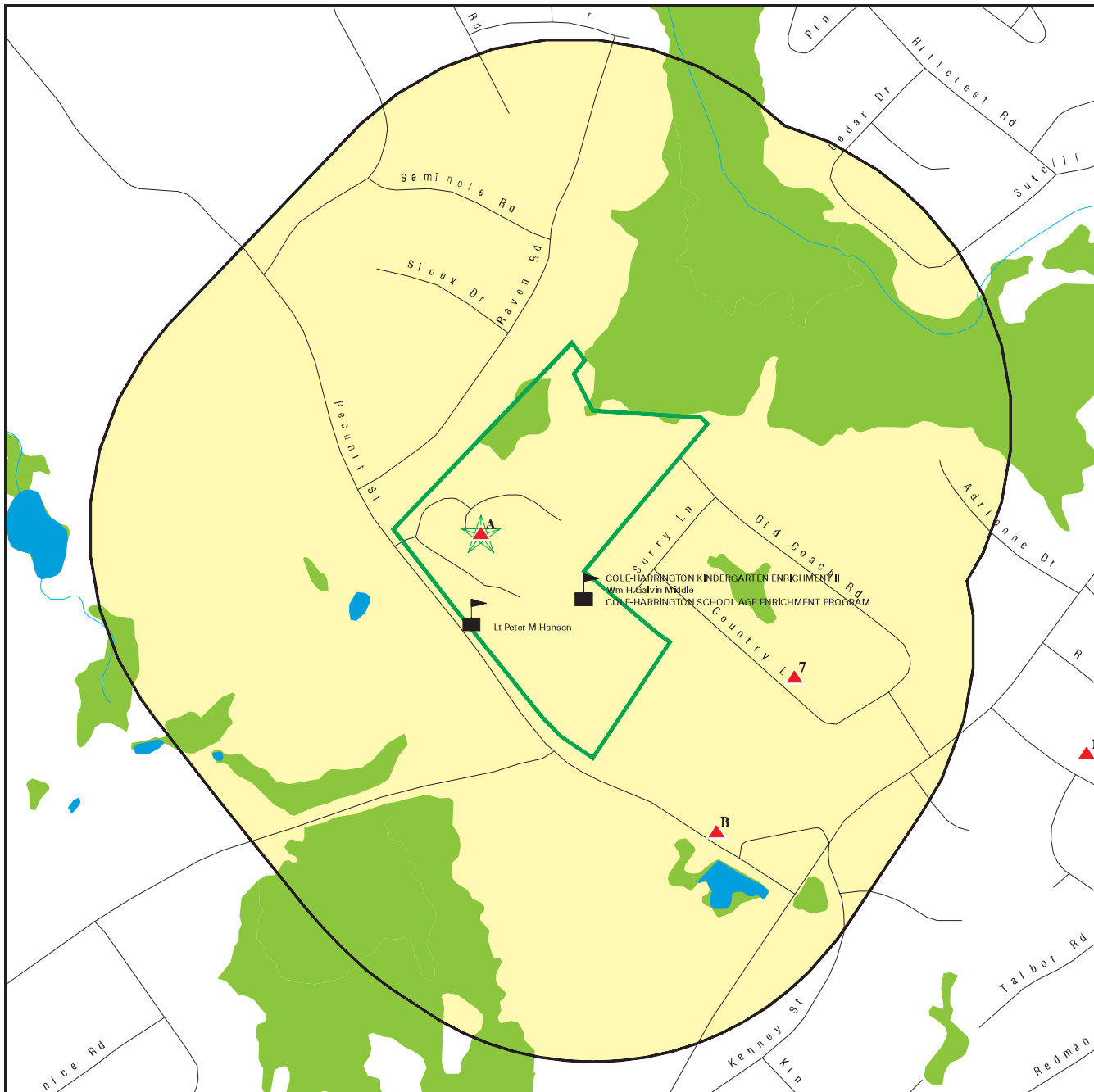


This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p><b>SITE NAME:</b> Galvin Middle School  <b>ADDRESS:</b> 55 Pecunit Street                  Canton MA 02021  <b>LAT/LONG:</b> 42.185964 / 71.13216</p>	<p><b>CLIENT:</b> The Vertex Companies, Inc.  <b>CONTACT:</b> Nicollette Bethoney  <b>INQUIRY #:</b> 7387007.2s  <b>DATE:</b> July 11, 2023 4:04 pm</p>
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### DETAIL MAP - 7387007.2S



- Target Property
- Sites at elevations higher than or equal to the target property
- Sites at elevations lower than the target property
- Manufactured Gas Plants
- Sensitive Receptors
- National Priority List Sites
- Dept. Defense Sites
- Indian Reservations BIA
- Special Flood Hazard Area (1%)
- 0.2% Annual Chance Flood Hazard
- National Wetland Inventory
- State Wetlands
- Areas of Critical Environmental Concern

This report includes Interactive Map Layers to display and/or hide map information. The legend includes only those icons for the default map view.

<p><b>SITE NAME:</b> Galvin Middle School  <b>ADDRESS:</b> 55 Pecunit Street                  Canton MA 02021  <b>LAT/LONG:</b> 42.185964 / 71.13216</p>	<p><b>CLIENT:</b> The Vertex Companies, Inc.  <b>CONTACT:</b> Nicollette Bethoney  <b>INQUIRY #:</b> 7387007.2s  <b>DATE:</b> July 11, 2023 4:06 pm</p>
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## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
<b><u>STANDARD ENVIRONMENTAL RECORDS</u></b>								
<b><i>Lists of Federal NPL (Superfund) sites</i></b>								
NPL	1.000		0	0	0	0	NR	0
Proposed NPL	1.000		0	0	0	0	NR	0
NPL LIENS	1.000		0	0	0	0	NR	0
<b><i>Lists of Federal Delisted NPL sites</i></b>								
Delisted NPL	1.000		0	0	0	0	NR	0
<b><i>Lists of Federal sites subject to CERCLA removals and CERCLA orders</i></b>								
FEDERAL FACILITY	0.500		0	0	0	NR	NR	0
SEMS	0.500		0	0	0	NR	NR	0
<b><i>Lists of Federal CERCLA sites with NFRAP</i></b>								
SEMS-ARCHIVE	0.500		0	0	0	NR	NR	0
<b><i>Lists of Federal RCRA facilities undergoing Corrective Action</i></b>								
CORRACTS	1.000		0	0	0	0	NR	0
<b><i>Lists of Federal RCRA TSD facilities</i></b>								
RCRA-TSDF	0.500		0	0	0	NR	NR	0
<b><i>Lists of Federal RCRA generators</i></b>								
RCRA-LQG	0.250		0	0	NR	NR	NR	0
RCRA-SQG	0.250		0	0	NR	NR	NR	0
RCRA-VSQG	0.250		1	0	NR	NR	NR	1
<b><i>Federal institutional controls / engineering controls registries</i></b>								
LUCIS	0.500		0	0	0	NR	NR	0
US ENG CONTROLS	0.500		0	0	0	NR	NR	0
US INST CONTROLS	0.500		0	0	0	NR	NR	0
<b><i>Federal ERNS list</i></b>								
ERNS	TP		NR	NR	NR	NR	NR	0
<b><i>Lists of state- and tribal hazardous waste facilities</i></b>								
MA SHWS	1.000		1	0	4	16	NR	21
<b><i>Lists of state and tribal landfills and solid waste disposal facilities</i></b>								
MA SWF/LF	0.500		0	0	0	NR	NR	0
<b><i>Lists of state and tribal leaking storage tanks</i></b>								
MA LUST	0.500		1	0	2	NR	NR	3

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
MA LAST	0.500		0	0	0	NR	NR	0
INDIAN LUST	0.500		0	0	0	NR	NR	0
<b><i>Lists of state and tribal registered storage tanks</i></b>								
FEMA UST	0.250		0	0	NR	NR	NR	0
MA UST	0.250		1	0	NR	NR	NR	1
MA AST	0.250		1	0	NR	NR	NR	1
INDIAN UST	0.250		0	0	NR	NR	NR	0
<b><i>State and tribal institutional control / engineering control registries</i></b>								
MA INST CONTROL	0.500		1	0	0	NR	NR	1
<b><i>Lists of state and tribal voluntary cleanup sites</i></b>								
INDIAN VCP	0.500		0	0	0	NR	NR	0
<b><i>Lists of state and tribal brownfield sites</i></b>								
MA BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b><u>ADDITIONAL ENVIRONMENTAL RECORDS</u></b>								
<b><i>Local Brownfield lists</i></b>								
US BROWNFIELDS	0.500		0	0	0	NR	NR	0
<b><i>Local Lists of Landfill / Solid Waste Disposal Sites</i></b>								
INDIAN ODI	0.500		0	0	0	NR	NR	0
DEBRIS REGION 9	0.500		0	0	0	NR	NR	0
ODI	0.500		0	0	0	NR	NR	0
IHS OPEN DUMPS	0.500		0	0	0	NR	NR	0
<b><i>Local Lists of Hazardous waste / Contaminated Sites</i></b>								
US HIST CDL	TP		NR	NR	NR	NR	NR	0
US CDL	TP		NR	NR	NR	NR	NR	0
<b><i>Local Land Records</i></b>								
MA LIENS	TP		NR	NR	NR	NR	NR	0
LIENS 2	TP		NR	NR	NR	NR	NR	0
<b><i>Records of Emergency Release Reports</i></b>								
HMIRS	TP		NR	NR	NR	NR	NR	0
MA RELEASE	TP		NR	NR	NR	NR	NR	0
MA SPILLS	TP		NR	NR	NR	NR	NR	0
MA SPILLS 90	TP		NR	NR	NR	NR	NR	0
MA SPILLS 80	TP		NR	NR	NR	NR	NR	0
<b><i>Other Ascertainable Records</i></b>								
RCRA NonGen / NLR	0.250		0	0	NR	NR	NR	0
FUDS	1.000		0	0	0	0	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
DOD	1.000		0	0	0	0	NR	0
SCRD DRYCLEANERS	0.500		0	0	0	NR	NR	0
US FIN ASSUR	TP		NR	NR	NR	NR	NR	0
EPA WATCH LIST	TP		NR	NR	NR	NR	NR	0
2020 COR ACTION	0.250		0	0	NR	NR	NR	0
TSCA	TP		NR	NR	NR	NR	NR	0
TRIS	TP		NR	NR	NR	NR	NR	0
SSTS	TP		NR	NR	NR	NR	NR	0
ROD	1.000		0	0	0	0	NR	0
RMP	TP		NR	NR	NR	NR	NR	0
RAATS	TP		NR	NR	NR	NR	NR	0
PRP	TP		NR	NR	NR	NR	NR	0
PADS	TP		NR	NR	NR	NR	NR	0
ICIS	TP		NR	NR	NR	NR	NR	0
FTTS	TP		NR	NR	NR	NR	NR	0
MLTS	TP		NR	NR	NR	NR	NR	0
COAL ASH DOE	TP		NR	NR	NR	NR	NR	0
COAL ASH EPA	0.500		0	0	0	NR	NR	0
PCB TRANSFORMER	TP		NR	NR	NR	NR	NR	0
RADINFO	TP		NR	NR	NR	NR	NR	0
HIST FTTS	TP		NR	NR	NR	NR	NR	0
DOT OPS	TP		NR	NR	NR	NR	NR	0
CONSENT	1.000		0	0	0	0	NR	0
INDIAN RESERV	1.000		0	0	0	0	NR	0
FUSRAP	1.000		0	0	0	0	NR	0
UMTRA	0.500		0	0	0	NR	NR	0
LEAD SMELTERS	TP		NR	NR	NR	NR	NR	0
US AIRS	TP		NR	NR	NR	NR	NR	0
US MINES	0.250		0	0	NR	NR	NR	0
ABANDONED MINES	0.250		0	0	NR	NR	NR	0
FINDS	TP		NR	NR	NR	NR	NR	0
UXO	1.000		0	0	0	0	NR	0
ECHO	TP		NR	NR	NR	NR	NR	0
DOCKET HWC	TP		NR	NR	NR	NR	NR	0
FUELS PROGRAM	0.250		0	0	NR	NR	NR	0
PFAS NPL	0.250		0	0	NR	NR	NR	0
PFAS FEDERAL SITES	0.250		0	0	NR	NR	NR	0
PFAS TSCA	0.250		0	0	NR	NR	NR	0
PFAS RCRA MANIFEST	0.250		0	0	NR	NR	NR	0
PFAS ATSDR	0.250		0	0	NR	NR	NR	0
PFAS WQP	0.250		0	0	NR	NR	NR	0
PFAS NPDES	0.250		0	0	NR	NR	NR	0
PFAS ECHO	0.250		0	0	NR	NR	NR	0
PFAS ECHO FIRE TRAINING	0.250		0	0	NR	NR	NR	0
PFAS PART 139 AIRPORT	0.250		0	0	NR	NR	NR	0
AQUEOUS FOAM NRC	0.250		0	0	NR	NR	NR	0
MA PFAS	0.250		0	0	NR	NR	NR	0
MA AIRS	TP		NR	NR	NR	NR	NR	0
MA ASBESTOS	TP	6	NR	NR	NR	NR	NR	6
MA DRYCLEANERS	0.250		0	0	NR	NR	NR	0
MA ENF	TP		NR	NR	NR	NR	NR	0

## MAP FINDINGS SUMMARY

Database	Search Distance (Miles)	Target Property	< 1/8	1/8 - 1/4	1/4 - 1/2	1/2 - 1	> 1	Total Plotted
MA Financial Assurance	TP		NR	NR	NR	NR	NR	0
MA GWDP	TP		NR	NR	NR	NR	NR	0
MA HW GEN	0.250		1	0	NR	NR	NR	1
RI MANIFEST	0.250		0	0	NR	NR	NR	0
NY MANIFEST	0.250		1	0	NR	NR	NR	1
MA MERCURY	0.500		0	0	0	NR	NR	0
MA NPDES	TP		NR	NR	NR	NR	NR	0
MA TIER 2	TP		NR	NR	NR	NR	NR	0
MA TSD	0.500		0	0	0	NR	NR	0
MA UIC	TP		NR	NR	NR	NR	NR	0
PFAS TRIS	0.250		0	0	NR	NR	NR	0
MINES MRDS	0.250		0	0	NR	NR	NR	0
<b><u>EDR HIGH RISK HISTORICAL RECORDS</u></b>								
<b><i>EDR Exclusive Records</i></b>								
EDR MGP	1.000		0	0	0	0	NR	0
EDR Hist Auto	0.125		1	NR	NR	NR	NR	1
EDR Hist Cleaner	0.125		0	NR	NR	NR	NR	0
<b><u>EDR RECOVERED GOVERNMENT ARCHIVES</u></b>								
<b><i>Exclusive Recovered Govt. Archives</i></b>								
MA RGA HWS	TP		NR	NR	NR	NR	NR	0
MA RGA LUST	TP		NR	NR	NR	NR	NR	0
- Totals --		6	9	0	6	16	0	37

**NOTES:**

TP = Target Property

NR = Not Requested at this Search Distance

Sites may be listed in more than one database

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A1**  
**Target**  
**Property**

**GALVIN MIDDLE SCHOOL**  
**55 PECUNIT STREET**  
**CANTON, MA**

**MA ASBESTOS** **S122904502**  
**N/A**

**Site 1 of 6 in cluster A**

**Actual:**  
**70 ft.**

**ASBESTOS:**

Name: GALVIN MIDDLE SCHOOL  
Address: 55 PECUNIT STREET  
City,State,Zip: CANTON, MA  
Notification: Not reported  
DEP Region: Not reported  
Notifiers Name: Not reported  
Start Date: 06/06/2014  
End Date: 08/19/2014  
Date Entered: Not reported  
Entry Date: 08/19/2014  
Quantity Material Removed SF: .00  
Quantity Material Removed LF: 5800.00  
Project Description: Trns  
AR Tracking ID: 196122  
Super Lic Number: AS000636  
Monitor Lic Number: AA000005  
Lab Lic Number: AA000175  
Year: 2014  
Sticker Number: 100199349R  
Form Type: ANF-001  
Fee Status: EXEMPT  
Facility Phone: Not reported  
Sub Town: Not reported  
Worksite: THROUGHOUT  
Occupied: 0  
Contractor: AC000777  
Contract Type: WRITTEN  
Hours: WEEK DAYS: 3-10PM WEEK END:  
Project Type: Renv  
Abatement Process: Clnp  
Location: Indoors  
Decon Process: 3-STAGE DECONTAMINATION UNIT WITH FILTRATION UNIT  
Disposal Methods: ADEQUATELY WETTING OF ACM & DOUBLE BAGGING IN LABELED 6-MIL BAGS  
Facility Usage: Not reported  
Waiver Given: Not reported  
DEP Waiver Number: Not reported  
DLWD Waiver Number: Not reported  
Small Owner Occ: 4  
Owner Name: TOWN OF CANTON  
Owner Address: 801 WASHINGTON STREET  
Owner City: CANTON  
Owner State: MA  
On Site Manager Name: VERTEX CONSTRUCTION SERVICES  
On Site Manager Phone: 781-952-6000  
Ins Comp: Not reported  
Policy Number: Not reported  
EXP Date: Not reported  
Facility Size: Not reported  
Transporter Name: TRANS WASTE, INC.  
Transporter Address: 8 BARKER DRIVE  
Transporter City: WALLINGFORD  
Transporter State: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S122904502**

Final Site:	39
Certified Name:	SULEYKA CRUZ
Cert Sign Date:	08/19/2014
Certified Company:	MJE
Certified Phone:	9782581054
Entered_by:	MJENV33
Name:	GALVIN MIDDLE SCHOOL
Address:	55 PECUNIT STREET
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	06/06/2014
End Date:	08/31/2014
Date Entered:	Not reported
Entry Date:	06/10/2014
Quantity Material Removed SF:	.00
Quantity Material Removed LF:	5800.00
Project Description:	Trns
AR Tracking ID:	190803
Super Lic Number:	AS000636
Monitor Lic Number:	AA000005
Lab Lic Number:	AA000175
Year:	2014
Sticker Number:	100199349R
Form Type:	ANF-001
Fee Status:	Exempt
Facility Phone:	Not reported
Sub Town:	Not reported
Worksite:	THROUGHOUT
Occupied:	0
Contractor:	AC000777
Contract Type:	WRITTEN
Hours:	Week days: 3-10PM Week end:
Project Type:	Renv
Abatement Process:	Clnp
Location:	Indoors
Decon Process:	3-STAGE DECONTAMINATION UNIT WITH FILTRATION UNIT
Disposal Methods:	ADEQUATELY WETTING OF ACM & DOUBLE BAGGING IN LABELED 6-MIL BAGS
Facility Usage:	Not reported
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	4
Owner Name:	TOWN OF CANTON
Owner Address:	801 WASHINGTON STREET
Owner City:	CANTON
Owner State:	MA
On Site Manager Name:	VERTEX CONSTRUCTION SERVICES
On Site Manager Phone:	781-952-6000
Ins Comp:	Not reported
Policy Number:	Not reported
EXP Date:	Not reported
Facility Size:	Not reported
Transporter Name:	TRANS WASTE, INC.
Transporter Address:	8 BARKER DRIVE

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s)      EDR ID Number  
 EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S122904502**

Transporter City:	WALLINGFORD
Transporter State:	Not reported
Final Site:	39
Certified Name:	JOSE PENA
Cert Sign Date:	06/10/2014
Certified Company:	MJE
Certified Phone:	9782581054
Entered_by:	MJENV33
Name:	GALVIN MIDDLE SCHOOL
Address:	55 PECUNIT STREET
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	06/06/2014
End Date:	08/31/2014
Date Entered:	Not reported
Entry Date:	05/30/2014
Quantity Material Removed SF:	.00
Quantity Material Removed LF:	5800.00
Project Description:	Trms
AR Tracking ID:	190146
Super Lic Number:	AS000636
Monitor Lic Number:	AA000005
Lab Lic Number:	AA000175
Year:	2014
Sticker Number:	100199349R
Form Type:	ANF-001
Fee Status:	Exempt
Facility Phone:	Not reported
Sub Town:	Not reported
Worksite:	THROUGHOUT
Occupied:	0
Contractor:	AC000777
Contract Type:	WRITTEN
Hours:	Week days: 3-10PM Week end:
Project Type:	Renv
Abatement Process:	Clnp
Location:	Indoors
Decon Process:	3-STAGE DECONTAMINATION UNIT WITH FILTRATION UNIT
Disposal Methods:	ADEQUATELY WETTING OF ACM & DOUBLE BAGGING IN LABELED 6-MIL BAGS
Facility Usage:	Not reported
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	4
Owner Name:	TOWN OF CANTON
Owner Address:	801 WASHINGTON STREET
Owner City:	CANTON
Owner State:	MA
On Site Manager Name:	VERTEX CONSTRUCTION SERVICES
On Site Manager Phone:	781-952-6000
Ins Comp:	Not reported
Policy Number:	Not reported
EXP Date:	Not reported
Facility Size:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S122904502**

Transporter Name: TRANS WASTE, INC.  
 Transporter Address: 8 BARKER DRIVE  
 Transporter City: WALLINGFORD  
 Transporter State: Not reported  
 Final Site: 39  
 Certified Name: JOSE I PENA  
 Cert Sign Date: 05/30/2014  
 Certified Company: MJE  
 Certified Phone: 9782581054  
 Entered\_by: MJENV33

**A2  
Target  
Property**

**GALVIN MIDDLE SCHOOL  
55 PECUNIT STREET  
CANTON, MA**

**MA ASBESTOS**

**S119892027  
N/A**

**Site 2 of 6 in cluster A**

**Actual:  
70 ft.**

**ASBESTOS:**  
 Name: GALVIN MIDDLE SCHOOL  
 Address: 55 PECUNIT STREET  
 City,State,Zip: CANTON, MA  
 Notification: 100199349R3  
 DEP Region: SE  
 Notifiers Name: MJ ENVIRONMENTAL INC  
 Start Date: 06/06/2014  
 End Date: 08/19/2014  
 Date Entered: 19/08/2014  
 Entry Date: 08/19/2014  
 Quantity Material Removed SF: 0  
 Quantity Material Removed LF: 5800  
 Project Description: Trns  
 AR Tracking ID: Not reported  
 Super Lic Number: Not reported  
 Monitor Lic Number: Not reported  
 Lab Lic Number: Not reported  
 Year: 2014  
 Sticker Number: Not reported  
 Form Type: Not reported  
 Fee Status: Not reported  
 Facility Phone: Not reported  
 Sub Town: Not reported  
 Worksite: Not reported  
 Occupied: Not reported  
 Contractor: Not reported  
 Contract Type: Not reported  
 Hours: Not reported  
 Project Type: Not reported  
 Abatement Process: Not reported  
 Location: Not reported  
 Decon Process: Not reported  
 Disposal Methods: Not reported  
 Facility Usage: Not reported  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: Not reported  
 Owner Name: Not reported  
 Owner Address: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S119892027**

Owner City: Not reported  
Owner State: Not reported  
On Site Manager Name: Not reported  
On Site Manager Phone: Not reported  
Ins Comp: Not reported  
Policy Number: Not reported  
EXP Date: Not reported  
Facility Size: Not reported  
Transporter Name: Not reported  
Transporter Address: Not reported  
Transporter City: Not reported  
Transporter State: Not reported  
Final Site: Not reported  
Certified Name: Not reported  
Cert Sign Date: Not reported  
Certified Company: Not reported  
Certified Phone: Not reported  
Entered\_by: Not reported

**A3  
Target  
Property**

**GALVIN MIDDLE SCHOOL  
55 PECUNIT STREET  
CANTON, MA**

**MA ASBESTOS**

**S119892025  
N/A**

**Site 3 of 6 in cluster A**

**Actual:  
70 ft.**

**ASBESTOS:**  
Name: GALVIN MIDDLE SCHOOL  
Address: 55 PECUNIT STREET  
City,State,Zip: CANTON, MA  
Notification: 100199349R1  
DEP Region: SE  
Notifiers Name: MJ ENVIRONMENTAL INC  
Start Date: 06/06/2014  
End Date: 08/31/2014  
Date Entered: 30/05/2014  
Entry Date: 05/30/2014  
Quantity Material Removed SF: 0  
Quantity Material Removed LF: 5800  
Project Description: Trns  
AR Tracking ID: Not reported  
Super Lic Number: Not reported  
Monitor Lic Number: Not reported  
Lab Lic Number: Not reported  
Year: 2014  
Sticker Number: Not reported  
Form Type: Not reported  
Fee Status: Not reported  
Facility Phone: Not reported  
Sub Town: Not reported  
Worksite: Not reported  
Occupied: Not reported  
Contractor: Not reported  
Contract Type: Not reported  
Hours: Not reported  
Project Type: Not reported  
Abatement Process: Not reported  
Location: Not reported  
Decon Process: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S119892025**

Disposal Methods: Not reported  
 Facility Usage: Not reported  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: Not reported  
 Owner Name: Not reported  
 Owner Address: Not reported  
 Owner City: Not reported  
 Owner State: Not reported  
 On Site Manager Name: Not reported  
 On Site Manager Phone: Not reported  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: Not reported  
 Transporter Name: Not reported  
 Transporter Address: Not reported  
 Transporter City: Not reported  
 Transporter State: Not reported  
 Final Site: Not reported  
 Certified Name: Not reported  
 Cert Sign Date: Not reported  
 Certified Company: Not reported  
 Certified Phone: Not reported  
 Entered\_by: Not reported

**A4  
Target  
Property**

**GALVIN MIDDLE SCHOOL  
55 PECUNIT STREET  
CANTON, MA**

**MA ASBESTOS**

**S119892024  
N/A**

**Site 4 of 6 in cluster A**

**Actual:  
70 ft.**

**ASBESTOS:**  
 Name: GALVIN MIDDLE SCHOOL  
 Address: 55 PECUNIT STREET  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 05/30/2014  
 End Date: 08/31/2014  
 Date Entered: Not reported  
 Entry Date: 05/19/2014  
 Quantity Material Removed SF: .00  
 Quantity Material Removed LF: 5800.00  
 Project Description: Trns  
 AR Tracking ID: 189554  
 Super Lic Number: AS000636  
 Monitor Lic Number: AA000005  
 Lab Lic Number: AA000175  
 Year: 2014  
 Sticker Number: 100199349  
 Form Type: ANF-001  
 Fee Status: Exempt  
 Facility Phone: Not reported  
 Sub Town: Not reported  
 Worksite: THROUGHOUT

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN MIDDLE SCHOOL (Continued)**

**S119892024**

Occupied: 0  
 Contractor: AC000777  
 Contract Type: WRITTEN  
 Hours: Week days: 3-10PM Week end:  
 Project Type: Renv  
 Abatement Process: Clnp  
 Location: Indoors  
 Decon Process: 3-STAGE DECONTAMINATION UNIT WITH FILTRATION UNIT  
 Disposal Methods: ADEQUATELY WETTING OF ACM & DOUBLE BAGGING IN LABELED 6-MIL BAGS  
 Facility Usage: Not reported  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: 4  
 Owner Name: TOWN OF CANTON  
 Owner Address: 801 WASHINGTON STREET  
 Owner City: CANTON  
 Owner State: MA  
 On Site Manager Name: VERTEX CONSTRUCTION SERVICES  
 On Site Manager Phone: 781-952-6000  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: Not reported  
 Transporter Name: TRANS WASTE, INC.  
 Transporter Address: 8 BARKER DRIVE  
 Transporter City: WALLINGFORD  
 Transporter State: Not reported  
 Final Site: 39  
 Certified Name: JOSE I PENNA  
 Cert Sign Date: 05/19/2014  
 Certified Company: MJE  
 Certified Phone: 9782581054  
 Entered\_by: Not reported

**A5**  
**Target**  
**Property**

**GALVIN MIDDLE SCHOOL**  
**55 PECUNIT STREET**  
**CANTON, MA**

**MA ASBESTOS** **S119892026**  
**N/A**

**Site 5 of 6 in cluster A**

**Actual:**  
**70 ft.**

**ASBESTOS:**  
 Name: GALVIN MIDDLE SCHOOL  
 Address: 55 PECUNIT STREET  
 City,State,Zip: CANTON, MA  
 Notification: 100199349R2  
 DEP Region: SE  
 Notifiers Name: MJ ENVIRONMENTAL INC  
 Start Date: 06/06/2014  
 End Date: 08/31/2014  
 Date Entered: 10/06/2014  
 Entry Date: 06/10/2014  
 Quantity Material Removed SF: 0  
 Quantity Material Removed LF: 5800  
 Project Description: Trns  
 AR Tracking ID: Not reported  
 Super Lic Number: Not reported  
 Monitor Lic Number: Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**GALVIN MIDDLE SCHOOL (Continued)**

**S119892026**

Lab Lic Number: Not reported  
 Year: 2014  
 Sticker Number: Not reported  
 Form Type: Not reported  
 Fee Status: Not reported  
 Facility Phone: Not reported  
 Sub Town: Not reported  
 Worksite: Not reported  
 Occupied: Not reported  
 Contractor: Not reported  
 Contract Type: Not reported  
 Hours: Not reported  
 Project Type: Not reported  
 Abatement Process: Not reported  
 Location: Not reported  
 Decon Process: Not reported  
 Disposal Methods: Not reported  
 Facility Usage: Not reported  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: Not reported  
 Owner Name: Not reported  
 Owner Address: Not reported  
 Owner City: Not reported  
 Owner State: Not reported  
 On Site Manager Name: Not reported  
 On Site Manager Phone: Not reported  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: Not reported  
 Transporter Name: Not reported  
 Transporter Address: Not reported  
 Transporter City: Not reported  
 Transporter State: Not reported  
 Final Site: Not reported  
 Certified Name: Not reported  
 Cert Sign Date: Not reported  
 Certified Company: Not reported  
 Certified Phone: Not reported  
 Entered\_by: Not reported

<b>A6</b>	<b>GALVIN SCHOOL</b>	<b>MA ASBESTOS</b>	<b>S119951160</b>
<b>Target</b>	<b>55 PECUNIT ST</b>		<b>N/A</b>
<b>Property</b>	<b>CANTON, MA</b>		

**Site 6 of 6 in cluster A**

<b>Actual:</b>	<b>ASBESTOS:</b>	
<b>70 ft.</b>	Name:	GALVIN SCHOOL
	Address:	55 PECUNIT ST
	City,State,Zip:	CANTON, MA
	Notification:	Not reported
	DEP Region:	Not reported
	Notifiers Name:	Not reported
	Start Date:	08/11/2003
	End Date:	08/13/2003

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**GALVIN SCHOOL (Continued)**

**S119951160**

Date Entered:	Not reported
Entry Date:	08/07/2003
Quantity Material Removed SF:	1800.00
Quantity Material Removed LF:	Not reported
Project Description:	TILE AND MASTIC
AR Tracking ID:	28945
Super Lic Number:	AS041152
Monitor Lic Number:	Not reported
Lab Lic Number:	Not reported
Year:	2003
Sticker Number:	767323
Form Type:	ANF-001
Fee Status:	E
Facility Phone:	Not reported
Sub Town:	Not reported
Worksite:	Not reported
Occupied:	Not reported
Contractor:	AC000461
Contract Type:	Not reported
Hours:	Not reported
Project Type:	Not reported
Abatement Process:	Not reported
Location:	Not reported
Decon Process:	Not reported
Disposal Methods:	Not reported
Facility Usage:	Not reported
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	Not reported
Owner Name:	Not reported
Owner Address:	Not reported
Owner City:	Not reported
Owner State:	Not reported
On Site Manager Name:	Not reported
On Site Manager Phone:	Not reported
Ins Comp:	Not reported
Policy Number:	Not reported
EXP Date:	Not reported
Facility Size:	Not reported
Transporter Name:	EWT
Transporter Address:	Not reported
Transporter City:	NEWTON
Transporter State:	Not reported
Final Site:	39
Certified Name:	CHRISTY KIRIACOP
Cert Sign Date:	Not reported
Certified Company:	Not reported
Certified Phone:	Not reported
Entered_by:	SWhite

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>7</b> <b>ESE</b> < 1/8 0.106 mi. 560 ft.	<b>VAN NESTE VINCENT J</b> <b>11 COUNTRY LN</b> <b>CANTON, MA 02021</b>	<b>EDR Hist Auto</b>	<b>1020817191</b> N/A
---	---	----------------------	--------------------------

**Relative:** EDR Hist Auto  
**Higher**

<b>Actual:</b> 94 ft.	Year: Name: 1985 VAN NESTE VINCENT J 1986 VAN NESTE VINCENT J 1987 VAN NESTE VINCENT J 1988 VAN NESTE VINCENT J 1989 VAN NESTE VINCENT J 1990 VAN NESTE VINCENT J 1991 VAN NESTE VINCENT J 1992 VAN NESTE VINCENT J 1993 VAN NESTE VINCENT J	Type: Gasoline Service Stations Gasoline Service Stations Gasoline Service Stations Gasoline Service Stations Gasoline Service Stations, NEC Gasoline Service Stations, NEC Gasoline Service Stations, NEC Gasoline Service Stations, NEC Gasoline Service Stations, NEC
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<b>B8</b> <b>SE</b> < 1/8 0.118 mi. 623 ft.	<b>BLUE HILL COUNTRY CLUB</b> <b>23 PECUNIT ST</b> <b>CANTON, MA 02021</b>  Site 1 of 3 in cluster B	<b>MA SHWS</b> <b>MA LUST</b> <b>MA UST</b> <b>MA AST</b> <b>MA INST CONTROL</b> <b>MA RELEASE</b> <b>MA ASBESTOS</b> <b>MA Financial Assurance</b> <b>MA HW GEN</b> <b>MA UIC</b>	<b>1000196992</b> N/A
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**Relative:**  
**Higher**  
  
**Actual:**  
 127 ft.

**SHWS:**

Name:	BLUE HILL COUNTRY CLUB MAINTENANCE AREA
Address:	23 PECUNIT ST
City,State,Zip:	CANTON, MA 020210000
Facility ID:	4-3024166
Source Type:	TANK
Release Town:	CANTON
Notification Date:	08/20/2004
Category:	120 DY
Associated ID:	4-3024166
Current Status:	PSC
Status Date:	11/08/2019
Phase:	PHASE IV
Response Action Outcome:	PA
Oil Or Haz Material:	Hazardous Material

Name:	BLUE HILL COUNTRY CLUB
Address:	23 PECUNIT ST
City,State,Zip:	CANTON, MA 020210000
Facility ID:	4-3024878
Source Type:	UNKNOWN
Release Town:	CANTON
Notification Date:	05/19/2005
Category:	72 HR
Associated ID:	Not reported
Current Status:	RAONR
Status Date:	07/08/2016
Phase:	Not reported
Response Action Outcome:	Not reported
Oil Or Haz Material:	Oil

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID N  
EPA ID N

**BLUE HILL COUNTRY CLUB (Continued)**

1000196

Name: BLUE HILLS COUNTRY CLUB  
 Address: 23 PECUNIT ST  
 City, State, Zip: CANTON, MA 020210000  
 Facility ID: 4-3015551  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 09/19/1997  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 04/13/2001  
 Phase: Not reported  
 Response Action Outcome: B1  
 Oil Or Haz Material: Oil

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
 Address: 23 PECUNIT STREET  
 City, State, Zip: CANTON, MA 020210000  
 Facility ID: 4-0026086  
 Source Type: TANK  
 Release Town: CANTON  
 Notification Date: 05/09/2016  
 Category: 72 HR  
 Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 07/08/2016  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Not reported

Name: BLUE HILL CC  
 Address: 23 PECUNIT ST  
 City, State, Zip: CANTON, MA 020210000  
 Facility ID: 4-3013666  
 Source Type: TANKER  
 Release Town: CANTON  
 Notification Date: 04/16/1996  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 06/13/1996  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
 Address: 23 PECUNIT STREET  
 City, State, Zip: CANTON, MA 020210000  
 Facility ID: 4-0026076  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 04/13/2016  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 05/06/2016



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Response Action Outcome: Not reported  
Oil Or Haz Material: Not reported

LUST:

Facility:

Name: CANTON BLUE HILLS COUNTRY CLUB  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 02021

**Current Status: Response Action Outcome**

Release Tracking Number/Current Status: 4-3000749 / RAO  
Status Date: 03/21/1997  
Source Type: UST  
Release Town: CANTON  
Notification Date: 10/15/1989  
Category: NONE  
Associated ID: Not reported  
Phase: Not reported  
Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
Oil Or Haz Material: Not reported  
  
Location Type: GOLFCOURSE  
Source: UST

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: UNKNOWN  
Quantity: Not reported

Actions:

Action Type: Compliance and Enforcement Action  
Action Status: RFI  
Action Date: 1/15/1992  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.  
  
Action Type: Release Disposition  
Action Status: Valid Transition Site  
Action Date: 10/15/1989  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.  
  
Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 12/14/1992  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.  
  
Action Type: Response Action Outcome - RAO  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 3/17/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 3/21/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Not Required - Fee Credited-FMCRRA Use Only  
 Action Date: 8/5/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Facility:

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
 Address: 23 PECUNIT ST  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Permanent Solution with Conditions**  
 Release Tracking Number/Current Status: 4-3024166 / PSC  
 Status Date: 11/08/2019  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 08/20/2004  
 Category: 120 DY  
 Associated ID: 4-3024166  
 Phase: PHASE IV  
 Response Action Outcome: PA - PA  
 Oil Or Haz Material: Hazardous Material

Source: UST  
 Source: TANK

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: BENZENE  
 Quantity: 34.2 micrograms per liter

Actions:

Action Type: RLFA  
 Action Status: FLDRUN  
 Action Date: 10/1/2015  
 Response Action Outcome: PA

Action Type: Phase 3  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 10/12/2007  
 Response Action Outcome: PA

Action Type: Phase 2  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 10/12/2007  
 Response Action Outcome: PA

Action Type: Tier Classification

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Status:	LSP of Record Change via Minor Permit Mod
Action Date:	10/13/2011
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	10/13/2011
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	10/14/2005
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	10/24/2016
Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Fee Received - FMCRA Use Only
Action Date:	11/12/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	11/15/2013
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	11/21/2014
Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Legal Notice Published
Action Date:	11/22/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	11/23/2015
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Completion Statement Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	11/8/2019

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	PSARCD
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Written Plan Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	RMRINT
Action Date:	2/13/2017
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	2/13/2017
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	2/14/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	2/14/2008
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	3/1/2017
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	3/23/2009
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	3/23/2009
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	3/31/2016
Response Action Outcome:	PA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	Revised Statement or Transmittal Received
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	EPETOP
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	5/23/2014
Response Action Outcome:	PA
Action Type:	Compliance and Enforcement Action
Action Status:	Notice of Non-Compliance Issued
Action Date:	5/26/2017
Response Action Outcome:	PA
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	5/26/2017
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	5/29/2015
Response Action Outcome:	PA
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	5/6/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	5/6/2016
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Modified Revised or Updated Plan Received
Action Date:	5/9/2016
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Completion Statement Received
Action Date:	6/27/2008
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Date:	6/27/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	6/28/2006
Response Action Outcome:	PA
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	6/7/2016
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	7/12/2010
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	7/8/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Completion Statement Received
Action Date:	7/8/2008
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	7/8/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	7/8/2016
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	7/9/2008
Response Action Outcome:	PA
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	8/20/2004
Response Action Outcome:	PA
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	8/20/2004
Response Action Outcome:	PA
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	8/26/2005
Response Action Outcome:	PA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	8/31/2004
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	8/31/2010
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	RMRINI
Action Date:	8/5/2016
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	8/5/2016
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	9/14/2015
Response Action Outcome:	PA
Action Type:	BWS02
Action Status:	APPROV
Action Date:	Not reported
Response Action Outcome:	PA
Action Type:	BWS20
Action Status:	APPROV
Action Date:	Not reported
Response Action Outcome:	PA

Facility:  
 Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
 Address: 23 PECUNIT STREET  
 City, State, Zip: CANTON, MA 020210000  
**Current Status: Response Action Outcome Not Required**  
 Release Tracking Number/Current Status: 4-0026086 / RAONR

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)****1000196992**

Status Date: 07/08/2016  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 05/09/2016  
 Category: 72 HR  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil Or Haz Material: Not reported

Location Type: PRIVPROP  
 Source: UST  
 Source: TANK

[Click here to access the MA DEP site for this facility:](#)

## Chemicals:

Chemical: Not reported  
 Quantity: Not reported

## Actions:

Action Type: Tier Classification  
 Action Status: Permit Extension Received  
 Action Date: 10/13/2011  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: LSP of Record Change via Minor Permit Mod  
 Action Date: 10/13/2011  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Permit Effective Date  
 Action Date: 10/14/2005  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Tier 2 Classification  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Revised Statement or Transmittal Received  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: EPETOP  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: RTN Linked to TCLASS Via Tier Classification Submittal  
 Action Date: 5/6/2016  
 Response Action Outcome: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	5/9/2016
Response Action Outcome:	Not reported
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	6/6/2016
Response Action Outcome:	Not reported
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	9/14/2016
Response Action Outcome:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

UST:

Facility:

Name: MAINTENANCE FACILITY  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 02021  
Facility ID: 11819  
Owner Id: 744  
Owner: Concert Blue Hill, LLC  
Owner Address: 23 PECUNIT ST  
Owner City,St,Zip: CANTON, MA 02021  
Telephone: Not reported  
Description: Non-Retail Motor Vehicle  
Facility address 2: Not reported  
Owner address 2: Not reported  
Latitude: 42.18441  
Longitude: -71.13976  
Contact name: Jason Adams  
Contact address1: 23 Pecunit Street  
Contact address2: Not reported  
Contact city: Canton  
Contact state: MA  
Contact zip: 02021  
Contact email: Not reported  
Update: 2016-05-10 00:00:00  
Update by: Erin Swallow  
Fac status: CLOSED

Tank ID: 1  
**Tank Status: Tank Removed**  
Status Date: 06/30/1986  
Date Installed: 06/01/1966  
Capacity: 1000.00000  
Contents: Gasoline  
Tank Usage: Not reported  
Tank Leak Detection: Not reported  
Pipe Leak Detection: Not reported  
Latitude: Not reported  
Longitude: Not reported  
Tank construct: Not reported  
Pipe construct: Not reported  
Ptype: Not reported  
Number of compartment: Not reported  
Pipe install date: Not reported  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: N  
Turbine sump sensor: N  
Intermediate sump: N  
Intermediate sump sensor: N  
Spill bucket installed date: Not reported  
Spill bucket sensor: N  
Overfill protect install: Not reported  
Overfill protect type: Not reported  
Automatic line leak detect: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Tank ID: 2  
**Tank Status: Tank Removed**  
 Status Date: 03/31/2016  
 Date Installed: 01/01/1986  
 Capacity: 2000.00000  
 Contents: Gasoline  
 Tank Usage: Motor Vehi  
 Tank Leak Detection: Continuous Interstitial Monitoring  
 Pipe Leak Detection: Quarterly visual inspection and annual product line tightness test  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Double-walled metal tank (cathodic protection required)  
 Pipe construct: Single-walled metal (Corrosion protection required)  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

**AST:**

Facility ID: 132540  
 Name: BLUE HILL COUNTRY CLUB  
 Address: 23 PECUNIT ST  
 City,State,Zip: CANTON, MA 02021-0000  
 Owner ID: Not reported  
 Owner Address: Not reported  
 Owner City: Not reported  
 Owner State: Not reported  
 Owner Zip: Not reported  
 Owner Name: CONCERT BLUE HILL LLC  
 Tank Type: AST  
 Class: STG1  
 Stage I Type: Dual-Point  
 CARB # or System Type: Component EVR  
 Test Cycle: TestReq  
 Date Form Mailed: 08/17/2022  
 Test Date: Not reported  
 Postmark Date: Not reported  
 Due Date: 12/13/2022  
 Product Type: Not reported  
 Vapor Type: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Form: FormD2  
Form Rcvd and Complete: Not Received  
Description: Not reported  
Telephone: Not reported  
Fire Department: Not reported  
Date of Inspection: Not reported  
Inspector: Not reported  
Overfill Prevention: Not reported  
Tank ID: Not reported  
Serial Number: Not reported  
Spill Prevention: Not reported  
Tank Status: Not reported  
Capacity: Not reported  
Contents: Not reported  
Tank Use: Not reported  
Tank Material: Not reported  
Tank Construction: Not reported  
Tank Leak Detection: Not reported  
Pipe Material: Not reported  
Pipe Construction: Not reported  
Pipe Leak Detection: Not reported  
Aboveground: Not reported

**INST CONTROL:**

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3024166  
Action Type: AUL  
Action Stat: FEEREC  
Action Date: 11/12/2019  
Response Action Outcome: PA - PA

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3024166  
Action Type: AUL  
Action Stat: LEGNOT  
Action Date: 11/22/2019  
Response Action Outcome: PA - PA

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3024166  
Action Type: AUL  
Action Stat: RECPT  
Action Date: 11/08/2019  
Response Action Outcome: PA - PA

**Release:**

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT STREET  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-0026076 / RAONR

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Primary ID: Not reported  
 Official City: CANTON  
 Notification: 04/13/2016  
 Category: 120 DY  
 Status Date: 05/06/2016  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Tier Classification  
 Action Status: Permit Extension Received  
 Action Date: 10/13/2011  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: LSP of Record Change via Minor Permit Mod  
 Action Date: 10/13/2011  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Permit Effective Date  
 Action Date: 10/14/2005  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: EPETOP  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Tier 2 Classification  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: Tier Classification  
 Action Status: Revised Statement or Transmittal Received  
 Action Date: 3/31/2016  
 Response Action Outcome: Not reported

Action Type: RNFE  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 4/13/2016  
 Response Action Outcome: Not reported

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 4/13/2016  
 Response Action Outcome: Not reported

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
 Action Date: 5/17/2016  
 Response Action Outcome: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via Tier Classification Submittal  
Action Date: 5/6/2016  
Response Action Outcome: Not reported

Action Type: RAO Not Required  
Action Status: Linked to a Tier Classified Site  
Action Date: 5/6/2016  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via Tier Classification Submittal  
Action Date: 7/8/2016  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 7/8/2016  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 8/26/2005  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Tier 1B Classification  
Action Date: 8/26/2005  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via Tier Classification Submittal  
Action Date: 8/26/2005  
Response Action Outcome: Not reported

Chemicals:  
Chemical: Not reported  
Quantity: Not reported  
Source: UNKNOWN

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT STREET  
City, State, Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-0026086 / RAONR  
Primary ID: Not reported  
Official City: CANTON  
Notification: 05/09/2016  
Category: 72 HR  
Status Date: 07/08/2016  
Phase: Not reported  
Response Action Outcome: -  
Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

Actions:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	10/13/2011
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	LSP of Record Change via Minor Permit Mod
Action Date:	10/13/2011
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	10/14/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	3/31/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Revised Statement or Transmittal Received
Action Date:	3/31/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	EPETOP
Action Date:	3/31/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	5/6/2016
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	5/9/2016
Response Action Outcome:	Not reported
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	6/6/2016
Response Action Outcome:	Not reported
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)****1000196992**

Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	9/14/2016
Response Action Outcome:	Not reported

## Chemicals:

Chemical:	Not reported
Quantity:	Not reported
Location Type:	PRIVPROP
Source:	UST
Source:	TANK

Name:	CANTON BLUE HILLS COUNTRY CLUB
Address:	23 PECUNIT ST
City, State, Zip:	CANTON, MA 02021
Release Tracking Number/Current Status:	4-3000749 / RAO
Primary ID:	Not reported
Official City:	CANTON
Notification:	10/15/1989
Category:	NONE
Status Date:	03/21/1997
Phase:	Not reported
Response Action Outcome:	A2 - A permanent solution has been achieved. Contamination has not been reduced to background.
Oil / Haz Material Type:	Not reported

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Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

**Actions:**

Action Type: Compliance and Enforcement Action  
 Action Status: RFI  
 Action Date: 1/15/1992  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 10/15/1989  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 12/14/1992  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 3/17/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 3/21/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Not Required - Fee Credited-FMCRA Use Only  
 Action Date: 8/5/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

**Chemicals:**

Chemical: UNKNOWN  
 Quantity: Not reported  
 Location Type: GOLFCOURSE  
 Source: UST

Name: BLUE HILL CC  
 Address: 23 PECUNIT ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3013666 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 04/16/1996  
 Category: TWO HR  
 Status Date: 06/13/1996  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

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Actions:

Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	4/16/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	4/16/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	4/16/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLFLD
Action Date:	4/16/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLOFF
Action Date:	4/22/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	4/23/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	4/26/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	6/13/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	6/13/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Response Action Outcome - RAO
Action Status:	Revised Statement or Transmittal Received
Action Date:	8/20/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:

Chemical:	DIESEL FUEL
Quantity:	50 gallons
Chemical:	DIESEL FUEL
Quantity:	40 gallons
Location Type:	ROADWAY
Source:	TANKER

Name:	BLUE HILLS COUNTRY CLUB
Address:	23 PECUNIT ST
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-3015551 / RAO
Primary ID:	Not reported
Official City:	CANTON
Notification:	09/19/1997
Category:	120 DY
Status Date:	04/13/2001
Phase:	Not reported
Response Action Outcome:	B1 - Remedial actions have not been conducted because a level of No Significant Risk exists.
Oil / Haz Material Type:	Oil

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Actions:

Action Type:	Compliance and Enforcement Action
Action Status:	Notice of Non-Compliance Issued
Action Date:	1/3/2001
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type:	Response Action Outcome - RAO
Action Status:	Fee Not Required - Fee Credited-FMCRA Use Only
Action Date:	10/25/2001
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	12/29/1997
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	4/13/2001
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type:	Release Disposition
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Map ID  
Direction  
Distance  
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MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)****1000196992**

Action Status: Reportable Release under MGL 21E  
Action Date: 9/19/1997  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 9/19/1997  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Response Action Outcome - RAO  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 9/24/1998  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

## Chemicals:

Chemical: TPH  
Quantity: 690 parts per million

Name: BLUE HILL COUNTRY CLUB MAINTENANCE AREA  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3024166 / PSC  
Primary ID: 4-3024166  
Official City: CANTON  
Notification: 08/20/2004  
Category: 120 DY  
Status Date: 11/08/2019  
Phase: PHASE IV  
Response Action Outcome: PA - PA  
Oil / Haz Material Type: Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

## Actions:

Action Type: RLFA  
Action Status: FLDRUN  
Action Date: 10/1/2015  
Response Action Outcome: PA

Action Type: Phase 3  
Action Status: Notice of Delay in Meeting RA Deadline Received  
Action Date: 10/12/2007  
Response Action Outcome: PA

Action Type: Phase 2  
Action Status: Notice of Delay in Meeting RA Deadline Received  
Action Date: 10/12/2007  
Response Action Outcome: PA

Action Type: Tier Classification  
Action Status: LSP of Record Change via Minor Permit Mod  
Action Date: 10/13/2011  
Response Action Outcome: PA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	10/13/2011
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	10/14/2005
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	10/24/2016
Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Fee Received - FMCRA Use Only
Action Date:	11/12/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	11/15/2013
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	11/21/2014
Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Legal Notice Published
Action Date:	11/22/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	11/23/2015
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Completion Statement Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Activity and Use Limitation
Action Status:	Transmittal, Notice, or Notification Received

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	PSARCD
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Written Plan Received
Action Date:	11/8/2019
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	RMRINT
Action Date:	2/13/2017
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	2/13/2017
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	2/14/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	2/14/2008
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	3/1/2017
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	3/23/2009
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	3/23/2009
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Revised Statement or Transmittal Received
Action Date:	3/31/2016
Response Action Outcome:	PA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	EPETOP
Action Date:	3/31/2016
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	5/23/2014
Response Action Outcome:	PA
Action Type:	Compliance and Enforcement Action
Action Status:	Notice of Non-Compliance Issued
Action Date:	5/26/2017
Response Action Outcome:	PA
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	5/26/2017
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	5/29/2015
Response Action Outcome:	PA
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	5/6/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	5/6/2016
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Modified Revised or Updated Plan Received
Action Date:	5/9/2016
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Completion Statement Received
Action Date:	6/27/2008
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	6/27/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Scope of Work Received

Map ID  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Date:	6/28/2006
Response Action Outcome:	PA
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	6/7/2016
Response Action Outcome:	PA
Action Type:	Phase 4
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	7/12/2010
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	7/8/2008
Response Action Outcome:	PA
Action Type:	Phase 2
Action Status:	Completion Statement Received
Action Date:	7/8/2008
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	7/8/2016
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	7/8/2016
Response Action Outcome:	PA
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	7/9/2008
Response Action Outcome:	PA
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	8/20/2004
Response Action Outcome:	PA
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	8/20/2004
Response Action Outcome:	PA
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	8/26/2005
Response Action Outcome:	PA



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/26/2005
Response Action Outcome:	PA
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	8/31/2004
Response Action Outcome:	PA
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	8/31/2010
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	RMRINI
Action Date:	8/5/2016
Response Action Outcome:	PA
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	8/5/2016
Response Action Outcome:	PA
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	9/14/2015
Response Action Outcome:	PA
Action Type:	BWS02
Action Status:	APPROV
Action Date:	Not reported
Response Action Outcome:	PA
Action Type:	BWS20
Action Status:	APPROV
Action Date:	Not reported
Response Action Outcome:	PA

Chemicals:

Chemical:	BENZENE
Quantity:	34.2 micrograms per liter
Source:	UST
Source:	TANK

Name:	BLUE HILL COUNTRY CLUB
Address:	23 PECUNIT ST
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-3024878 / RAONR
Primary ID:	Not reported
Official City:	CANTON

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Notification: 05/19/2005  
Category: 72 HR  
Status Date: 07/08/2016  
Phase: Not reported  
Response Action Outcome: -  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 1/11/2007  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 1/15/2008  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit  
Action Date: 1/16/2007  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: LSP of Record Change via Minor Permit Mod  
Action Date: 10/13/2011  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 10/13/2011  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 10/14/2005  
Response Action Outcome: Not reported

Action Type: Release Abatement Measure  
Action Status: Level I - Technical Screen Audit  
Action Date: 10/24/2016  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit  
Action Date: 10/5/2006  
Response Action Outcome: Not reported

Action Type: Release Abatement Measure  
Action Status: Completion Statement Received  
Action Date: 11/8/2019  
Response Action Outcome: Not reported

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Date: Response Action Outcome:	2/13/2017 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Release Abatement Measure RMRINT 2/13/2017 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Release Abatement Measure Level I - Technical Screen Audit 3/1/2017 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification Tier 2 Classification 3/31/2016 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification Revised Statement or Transmittal Received 3/31/2016 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Release Abatement Measure Written Plan Received 3/31/2016 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification EPETOP 3/31/2016 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Oral Approval of Plan or Action 5/19/2005 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Release Disposition Reportable Release under MGL 21E 5/19/2005 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	RLFA FOLOFF 5/19/2005 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	RNF Reportable Release under MGL 21E 5/30/2005 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	A Notice sent to a Potentially Responsible Party (PRP) A MassDEP piece of correspondence was issued (approvals, NORs, etc. 5/31/2005 Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	5/6/2016
Response Action Outcome:	Not reported
Action Type:	Release Abatement Measure
Action Status:	Modified Revised or Updated Plan Received
Action Date:	5/9/2016
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	7/11/2006
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Modified Revised or Updated Plan Received
Action Date:	7/11/2006
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	7/17/2007
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Written Plan Received
Action Date:	7/18/2005
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	7/21/2006
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	7/8/2016
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	8/26/2005
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	8/3/2007
Response Action Outcome:	Not reported
Action Type:	Release Abatement Measure
Action Status:	RMRINI
Action Date:	8/5/2016
Response Action Outcome:	Not reported
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	8/5/2016
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Modified Revised or Updated Plan Received
Action Date:	9/28/2006
Response Action Outcome:	Not reported

Chemicals:

Chemical:	PETROLEUM
Quantity:	1.6 inches
Chemical:	NAPL
Quantity:	1.6 inches
Location Type:	COMMERCIAL
Source:	UNKNOWN

ASBESTOS:

Name:	BLUE HILLS COUNTRY CLUB
Address:	23 PECUNIT STREET
City, State, Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	03/07/2016
End Date:	03/08/2016
Date Entered:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

Entry Date: 02/23/2016  
Quantity Material Removed SF: 900.00  
Quantity Material Removed LF: .00  
Project Description: OTHER VERMICULITE  
AR Tracking ID: 232515  
Super Lic Number: AS901358  
Monitor Lic Number: Not reported  
Lab Lic Number: Not reported  
Year: 2016  
Sticker Number: 100237804  
Form Type: ANF-001  
Fee Status: HUNDRED  
Facility Phone: 7818286540  
Sub Town: Not reported  
Worksite: MAINTENANCE BLDG, ATTIC SPACE  
Occupied: 0  
Contractor: AC000688  
Contract Type: WRITTEN  
Hours: 7AM-4PM  
Project Type: Dem  
Abatement Process: Fcontain  
Location: INDOORS  
Decon Process: 3 CHAMBER WITH FULLY FUNCTIONING SHOWER  
Disposal Methods: DOUBLE BAGGED AND PLACED INTO A LINED DUMPSTER  
Facility Usage: MAINTENANCE BUILDING  
Waiver Given: Not reported  
DEP Waiver Number: Not reported  
DLWD Waiver Number: Not reported  
Small Owner Occ: 0  
Owner Name: CONCERT BLUE HILLS LLC  
Owner Address: 23 PECUNIT STREET  
Owner City: CANTON  
Owner State: MA  
On Site Manager Name: JASON ADAMS  
On Site Manager Phone: 7818286540  
Ins Comp: GREAT DIVIDE INSURANCE CO  
Policy Number: 152840916  
EXP Date: 1/1/2017  
Facility Size: 1500  
Transporter Name: RED TECHNOLOGIES  
Transporter Address: 10 NORTHWOOD DRIVE  
Transporter City: BLOOMFIELD  
Transporter State: CT  
Final Site: Not reported  
Certified Name: DEREK BAGGETT  
Cert Sign Date: 02/23/2016  
Certified Company: GREEN ENVIRONMENTAL, INC  
Certified Phone: 6174790550  
Entered\_by: FERGUSON120

Name: THE BLUE HILL COUNTRY CLUB  
Address: 23 PECUNIT STREET  
City,State,Zip: CANTON, MA  
Notification: Not reported  
DEP Region: Not reported  
Notifiers Name: Not reported  
Start Date: 02/08/2003

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)**

**1000196992**

End Date: 02/14/2003  
 Date Entered: Not reported  
 Entry Date: 01/24/2003  
 Quantity Material Removed SF: Not reported  
 Quantity Material Removed LF: 1500.00  
 Project Description: corrugated Pipe/vat  
 AR Tracking ID: 21961  
 Super Lic Number: AS033214  
 Monitor Lic Number: AM053159  
 Lab Lic Number: AA000152  
 Year: 2003  
 Sticker Number: 559863  
 Form Type: ANF-001  
 Fee Status: 60  
 Facility Phone: (781) 828-2000  
 Sub Town: Not reported  
 Worksite: areas throughout bsmt. & 1st floor  
 Occupied: -1  
 Contractor: AC000043  
 Contract Type: Not reported  
 Hours: 7 - 3:30  
 Project Type: Renovation  
 Abatement Process: full Containment/glove bag  
 Location: Indoors  
 Decon Process: 3 chamber  
 Disposal Methods: Wet 2 Ply Poly Bag  
 Facility Usage: club house  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: Not reported  
 Owner Name: The Blue Hill Country club  
 Owner Address: 23 Pecunit Street  
 Owner City: CANTON  
 Owner State: MA  
 On Site Manager Name: Not reported  
 On Site Manager Phone: Not reported  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: 6000  
 Transporter Name: JOB ROLLOFF INC  
 Transporter Address: PO BOX 6037  
 Transporter City: CHELSEA  
 Transporter State: MA  
 Final Site: 17  
 Certified Name: Blake Lefavour  
 Cert Sign Date: 01/23/2003  
 Certified Company: Not reported  
 Certified Phone: (978) 887-3888  
 Entered\_by: Not reported

**MA Financial Assurance 2:**

Name: MAINTENANCE FACILITY  
 Address: 23 PECUNIT ST  
 City,State,Zip: CANTON, MA 02021  
 Facility Id: 11819

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL COUNTRY CLUB (Continued)****1000196992**

Description: Private  
FR Type: Commercial Insurance

## HW GEN:

Name: BLUE HILL ASSOCIATES INC  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 02021  
EPA Id: MAD982546285  
RCRA Generator Status: VSQG  
State Generator Status: VQG-MA

## UIC:

RTN Number: 4-3024166  
Name: CONCERT BLUE HILL LLC  
Address: 23 PECUNIT ST  
City,State,Zip: CANTON, MA 020210000  
Permit Date: 02/13/2017  
Actor Name: Not reported  
Air Sparging: No  
Injection Well: No  
Reinjection Well: Yes/Inactive  
UIC APL Type: Not reported  
Latitude: 42.1844  
Well Status: Not reported  
Longitude: -71.1391  
UIC ID: Not reported  
EPA Code: Not reported  
Indicates Area: Not reported  
Number of Wells: Not reported  
Owner: Not reported  
Receive Date: Not reported  
Authorization to Install/Close Date: Not reported  
Confirmation of Install Receive: Not reported  
Post-Closure Receive: Not reported  
Final Approval Date: Not reported  
Permit Number: Not reported  
Permit Type: Not reported  
Permit Type Description: Not reported  
Program: Not reported  
Applicant Name: Not reported  
Decision Date: Not reported  
Operator Name: JASON ADAMS  
Well ID: Not reported  
Well Type Name: Not reported  
Max Well Depth: Not reported  
Date Complete: Not reported  
Work Performed: Not reported  
Depth to Bedrock: Not reported  
Water Level: Not reported



MAP FINDINGS

Map ID			
Direction			
Distance			EDR ID Number
Elevation	Site	Database(s)	EPA ID Number

<b>B9</b>	<b>BLUE HILL COUNTRY CLUB</b>	<b>NY MANIFEST</b>	<b>1009222446</b>
<b>SE</b>	<b>23 PECUNIT STREET</b>		<b>N/A</b>
< 1/8	<b>CANTON, MA 02021</b>		
0.118 mi.			
623 ft.	<b>Site 2 of 3 in cluster B</b>		

<b>Relative:</b>	NY MANIFEST:		
<b>Higher</b>	Name:	BLUE HILL COUNTRY CLUB	
	Address:	23 PECUNIT STREET	
<b>Actual:</b>	City,State,Zip:	CANTON, MA 02021	
127 ft.	Country:	USA	
	EPA ID:	MAP000041198	
	Facility Status:	Not reported	
	Location Address 1:	23 PECUNIT STREET	
	Code:	BP	
	Location Address 2:	Not reported	
	Total Tanks:	Not reported	
	Location City:	CANTON	
	Location State:	MA	
	Location Zip:	02021	
	Location Zip 4:	Not reported	

NY MANIFEST:			
EPAID:	MAP000041198		
Mailing Name:	BLUE HILL COUNTRY CLUB		
Mailing Contact:	BLUE HILL COUNTRY CLUB		
Mailing Address 1:	23 PECUNIT STREET		
Mailing Address 2:	Not reported		
Mailing City:	CANTON		
Mailing State:	MA		
Mailing Zip:	02021		
Mailing Zip 4:	Not reported		
Mailing Country:	USA		
Mailing Phone:	6178286540		

<b>B10</b>	<b>BLUE HILL ASSOCIATES INC</b>	<b>RCRA-VSQG</b>	<b>1004717498</b>
<b>SE</b>	<b>23 PECUNIT ST</b>	<b>FINDS</b>	<b>MAD982546285</b>
< 1/8	<b>CANTON, MA 02021</b>	<b>ECHO</b>	
0.118 mi.			
623 ft.	<b>Site 3 of 3 in cluster B</b>		

<b>Relative:</b>	RCRA Listings:		
<b>Higher</b>	Date Form Received by Agency:	20130829	
	Handler Name:	Blue Hill Associates Inc	
<b>Actual:</b>	Handler Address:	23 PECUNIT ST	
127 ft.	Handler City,State,Zip:	CANTON, MA 02021	
	EPA ID:	MAD982546285	
	Contact Name:	DAVID BARBER	
	Contact Address:	23 PECUNIT ST	
	Contact City,State,Zip:	CANTON, MA 02021-0000	
	Contact Telephone:	617-828-6540	
	Contact Fax:	Not reported	
	Contact Email:	Not reported	
	Contact Title:	Not reported	
	EPA Region:	01	
	Land Type:	Private	
	Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator	
	Non-Notifier:	Not reported	
	Biennial Report Cycle:	Not reported	

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL ASSOCIATES INC (Continued)**

**1004717498**

Accessibility:	Not reported
Active Site Indicator:	Handler Activities, State-specific Activities
State District Owner:	Ma
State District:	S
Mailing Address:	23 PECUNIT ST
Mailing City,State,Zip:	CANTON, MA 02021-0000
Owner Name:	Blue Hill Associates Inc
Owner Type:	Private
Operator Name:	Blue Hill Associates Inc
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site State-Reg Handler:	--Y
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	NN
Sub-Part K Indicator:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline
2018 GPRA Renewals Baseline:	Not on the Baseline
202 GPRA Corrective Action Baseline:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	20171020
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	No
Manifest Broker:	No
Sub-Part P Indicator:	No

**Hazardous Waste Summary:**

Waste Code:	D001
Waste Description:	Ignitable Waste
Waste Code:	F001

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL ASSOCIATES INC (Continued)**

**1004717498**

Waste Description: The Following Spent Halogenated Solvents Used In Degreasing: Tetrachloroethylene, Trichlorethylene, Methylene Chloride, 1,1,1-Trichloroethane, Carbon Tetrachloride And Chlorinated Fluorocarbons; All Spent Solvent Mixtures/Blends Used In Degreasing Containing, Before Use, A Total Of Ten Percent Or More (By Volume) Of One Or More Of The Above Halogenated Solvents Or Those Solvents Listed In F002, F004, And F005; And Still Bottoms From The Recovery Of These Spent Solvents And Spent Solvent Mixtures.

Waste Code: F002  
Waste Description: The Following Spent Halogenated Solvents: Tetrachloroethylene, Methylene Chloride, Trichloroethylene, 1,1,1-Trichloroethane, Chlorobenzene, 1,1,2-Trichloro-1,2,2-Trifluoroethane, Ortho-Dichlorobenzene, Trichlorofluoromethane, And 1,1,2, Trichloroethane; All Spent Solvent Mixtures/Blends Containing, Before Use, A Total Of Ten Percent Or More (By Volume) Of One Or More Of The Above Halogenated Solvents Or Those Solvents Listed In F001, F004, And F005; And Still Bottoms From The Recovery Of These Spent Solvents And Spent Solvent Mixtures.

Handler - Owner Operator:

Owner/Operator Indicator: Owner  
Owner/Operator Name: BLUE HILL COUNTRY CLUB  
Legal Status: Private  
Date Became Current: 20041016  
Date Ended Current: Not reported  
Owner/Operator Address: 23 PECUNIT ST  
Owner/Operator City,State,Zip: CANTON, MA 02021  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: BLUE HILL ASSOCIATES INC  
Legal Status: Private  
Date Became Current: 19900301  
Date Ended Current: Not reported  
Owner/Operator Address: 23 PECUNIT ST  
Owner/Operator City,State,Zip: CANTON, MA 02021  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Owner/Operator Indicator: Operator  
Owner/Operator Name: BLUE HILL ASSOCIATES INC  
Legal Status: Private  
Date Became Current: 19900301  
Date Ended Current: Not reported  
Owner/Operator Address: 23 PECUNIT ST  
Owner/Operator City,State,Zip: CANTON, MA 02021-0000  
Owner/Operator Telephone: Not reported  
Owner/Operator Telephone Ext: Not reported  
Owner/Operator Fax: Not reported  
Owner/Operator Email: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**BLUE HILL ASSOCIATES INC (Continued)**

**1004717498**

Owner/Operator Indicator: Owner  
 Owner/Operator Name: BLUE HILL ASSOCIATES INC  
 Legal Status: Private  
 Date Became Current: 19900301  
 Date Ended Current: Not reported  
 Owner/Operator Address: 23 PECUNIT ST  
 Owner/Operator City, State, Zip: CANTON, MA 02021-0000  
 Owner/Operator Telephone: Not reported  
 Owner/Operator Telephone Ext: Not reported  
 Owner/Operator Fax: Not reported  
 Owner/Operator Email: Not reported

Historic Generators:

Receive Date: 19871207  
 Handler Name: BLUE HILL ASSOCIATES INC  
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
 State District Owner: Ma  
 Large Quantity Handler of Universal Waste: No  
 Recognized Trader Importer: No  
 Recognized Trader Exporter: No  
 Spent Lead Acid Battery Importer: No  
 Spent Lead Acid Battery Exporter: No  
 Current Record: No  
 Non Storage Recycler Activity: Not reported  
 Electronic Manifest Broker: Not reported

Receive Date: 20130829  
 Handler Name: BLUE HILL ASSOCIATES INC  
 Federal Waste Generator Description: Conditionally Exempt Small Quantity Generator  
 State District Owner: Ma  
 Large Quantity Handler of Universal Waste: No  
 Recognized Trader Importer: No  
 Recognized Trader Exporter: No  
 Spent Lead Acid Battery Importer: No  
 Spent Lead Acid Battery Exporter: No  
 Current Record: Yes  
 Non Storage Recycler Activity: Not reported  
 Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 71391  
 NAICS Description: GOLF COURSES AND COUNTRY CLUBS  
  
 NAICS Code: 71399  
 NAICS Description: ALL OTHER AMUSEMENT AND RECREATION INDUSTRIES

Facility Has Received Notices of Violations:

Violations: No Violations Found

Evaluation Action Summary:

Evaluations: No Evaluations Found

FINDS:

Registry ID: 110003481982

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILL ASSOCIATES INC (Continued)**

**1004717498**

Click Here for FRS Facility Detail Report:

Environmental Interest/Information System:

RCRAInfo is a national information system that supports the Resource Conservation and Recovery Act (RCRA) program through the tracking of events and activities related to facilities that generate, transport, and treat, store, or dispose of hazardous waste. RCRAInfo allows RCRA program staff to track the notification, permit, compliance, and corrective action activities required under RCRA.

MA-EPICS - Massachusetts Environmental Protection Integrated Computer System

Click this hyperlink while viewing on your computer to access additional FINDS: detail in the EDR Site Report.

ECHO:

Envid: 1004717498  
 Registry ID: 110003481982  
 DFR URL: <http://echo.epa.gov/detailed-facility-report?fid=110003481982>  
 Name: BLUE HILL ASSOCIATES INC  
 Address: 23 PECUNIT ST  
 City,State,Zip: CANTON, MA 02021

11  
ESE  
1/4-1/2  
0.354 mi.  
1871 ft.

**PROPERTY**  
**8 WENTWORTH RD**  
**CANTON, MA 02021**

**MA LUST S100828464**  
**MA RELEASE N/A**

**Relative:**  
**Higher**

**Actual:**  
**135 ft.**

LUST:

Facility:

Name: PROPERTY  
 Address: 8 WENTWORTH RD  
 City,State,Zip: CANTON, MA 02021  
**Current Status: Response Action Outcome**  
 Release Tracking Number/Current Status: 4-3004059 / RAO  
 Status Date: 08/11/1997  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 11/08/1991  
 Category: NONE  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil Or Haz Material: Oil

Location Type: RESIDENTIAL  
 Source: UST

Click here to access the MA DEP site for this facility:

Chemicals:

Chemical: PETROLEUM  
 Quantity: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**PROPERTY (Continued)**

**S100828464**

**Actions:**

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
 Action Date: 11/8/1991  
 Response Action Outcome: Not reported

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 11/8/1991  
 Response Action Outcome: Not reported

Action Type: TREGS  
 Action Status: RAOEQ  
 Action Date: 8/11/1997  
 Response Action Outcome: Not reported

**Release:**

Name: PROPERTY  
 Address: 8 WENTWORTH RD  
 City,State,Zip: CANTON, MA 02021  
 Release Tracking Number/Current Status: 4-3004059 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 11/08/1991  
 Category: NONE  
 Status Date: 08/11/1997  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
 Action Date: 11/8/1991  
 Response Action Outcome: Not reported

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 11/8/1991  
 Response Action Outcome: Not reported

Action Type: TREGS  
 Action Status: RAOEQ  
 Action Date: 8/11/1997  
 Response Action Outcome: Not reported

**Chemicals:**

Chemical: PETROLEUM  
 Quantity: Not reported  
 Location Type: RESIDENTIAL  
 Source: UST

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>C12</b> <b>ENE</b> <b>1/4-1/2</b> <b>0.371 mi.</b> <b>1958 ft.</b>	<b>NO LOCATION AID</b> <b>2020 WASHINGTON ST</b> <b>CANTON, MA 02021</b>  <b>Site 1 of 2 in cluster C</b>	<b>MA SHWS</b> <b>MA RELEASE</b>	<b>S102087009</b> <b>N/A</b>
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**Relative:** SHWS:  
**Higher** Name: NO LOCATION AID  
**Actual:** Address: 2020 WASHINGTON ST  
**102 ft.** City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3012923  
 Source Type: VEHICLE  
 Release Town: CANTON  
 Notification Date: 09/14/1995  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 09/17/1996  
 Phase: Not reported  
 Response Action Outcome: A1  
 Oil Or Haz Material: Oil

Release:  
 Name: NO LOCATION AID  
 Address: 2020 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3012923 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 09/14/1995  
 Category: TWO HR  
 Status Date: 09/17/1996  
 Phase: Not reported  
 Response Action Outcome: A1 - A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.  
 Oil / Haz Material Type: Oil

Click here to access the MA DEP site for this facility:

Actions:

Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	10/3/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type:	Immediate Response Action
Action Status:	Written Plan Received
Action Date:	11/15/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	11/15/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**NO LOCATION AID (Continued)**

**S102087009**

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 11/20/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RLFA  
 Action Status: FOLOFF  
 Action Date: 11/27/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 9/14/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 9/14/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
 Action Status: Completion Statement Received  
 Action Date: 9/17/1996  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 9/17/1996  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 9/20/1996  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Chemicals:  
 Chemical: DIESEL FUEL  
 Quantity: 25 gallons  
 Location Type: FEDERAL  
 Source: VEHICLE



MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>C13</b> <b>ENE</b> <b>1/4-1/2</b> <b>0.405 mi.</b> <b>2137 ft.</b>	<b>TOKA-RENBE FARM</b> <b>2016 WASHINGTON ST</b> <b>CANTON, MA 02021</b>  <b>Site 2 of 2 in cluster C</b>	<b>MA SHWS</b> <b>MA RELEASE</b>	<b>S113411879</b> <b>N/A</b>
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**Relative:** SHWS:  
**Higher** Name: TOKA-RENBE FARM  
 Address: 2016 WASHINGTON ST  
 City,State,Zip: CANTON, MA 02021  
**Actual:** Facility ID: 4-3000284  
 Source Type: CAPACITORS  
 Release Town: CANTON  
 Notification Date: 01/15/1987  
 Category: NONE  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 03/02/2000  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Not reported

**Release:**  
 Name: TOKA-RENBE FARM  
 Address: 2016 WASHINGTON ST  
 City,State,Zip: CANTON, MA 02021  
 Release Tracking Number/Current Status: 4-3000284 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 01/15/1987  
 Category: NONE  
 Status Date: 03/02/2000  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

**Actions:**  
 Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 1/15/1985  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 3  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 1/28/2000  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 2  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 1/28/2000  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TOKA-RENBE FARM (Continued)**

**S113411879**

Action Type:	Response Action Outcome - RAO
Action Status:	Revised Statement or Transmittal Received
Action Date:	1/31/2013
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	12/1/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	12/1/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	12/1/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	12/1/1999
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	3/2/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	3/25/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	5/6/2013
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	7/19/1985
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	An activity type that is related to an Audit
Action Status:	NOA
Action Date:	8/7/2009

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TOKA-RENBE FARM (Continued)**

**S113411879**

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Compliance and Enforcement Action

Action Status: Interim Deadline Letter Issued

Action Date: 9/15/1997

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:

Chemical: PCBS  
Quantity: Not reported  
Location Type: STORAG FAC  
Source: CAPACITORS

14  
ENE  
1/4-1/2  
0.462 mi.  
2438 ft.

**WASHINGTON ST TO HUBBARD TO SUTCLIFF AVE  
28 SUTCLIFF AVE  
CANTON, MA 02021**

**MA SHWS S103545840  
MA RELEASE N/A**

**Relative:  
Higher  
Actual:  
111 ft.**

SHWS:  
Name: WASHINGTON ST TO HUBBARD TO SUTCLIFF AVE  
Address: 28 SUTCLIFF AVE  
City,State,Zip: CANTON, MA 020210000  
Facility ID: 4-3012534  
Source Type: UNKNOWN  
Release Town: CANTON  
Notification Date: 06/01/1995  
Category: TWO HR  
Associated ID: Not reported  
Current Status: RAO  
Status Date: 04/19/2000  
Phase: Not reported  
Response Action Outcome: A2  
Oil Or Haz Material: Hazardous Material

Release:  
Name: WASHINGTON ST TO HUBBARD TO SUTCLIFF AVE  
Address: 28 SUTCLIFF AVE  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3012534 / RAO  
Primary ID: Not reported  
Official City: CANTON  
Notification: 06/01/1995  
Category: TWO HR  
Status Date: 04/19/2000  
Phase: Not reported  
Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
Oil / Haz Material Type: Hazardous Material

Click here to access the MA DEP site for this facility:

Actions:  
Action Type: Release Disposition

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**WASHINGTON ST TO HUBBARD TO SUTCLIFF AVE (Continued)**

**S103545840**

Action Status:	Reportable Release under MGL 21E
Action Date:	11/22/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action - DEP Lead
Action Status:	Written Plan Received
Action Date:	11/27/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action - DEP Lead
Action Status:	Status or Interim Report Received
Action Date:	11/27/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RAO - DEP Lead
Action Status:	RAO Statement Received
Action Date:	4/19/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action - DEP Lead
Action Status:	Completion Statement Received
Action Date:	4/19/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLFLD
Action Date:	5/13/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action - DEP Lead
Action Status:	Work Started
Action Date:	6/1/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	6/1/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action - DEP Lead
Action Status:	Written Plan Received
Action Date:	6/1/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	8/15/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**WASHINGTON ST TO HUBBARD TO SUTCLIFF AVE (Continued)**

**S103545840**

reduced to background.

Chemicals:  
 Chemical: DIOXINS  
 Quantity: Not reported  
 Location Type: RESIDENTIAL  
 Source: UNKNOWN

**15**  
**SSE**  
**1/4-1/2**  
**0.482 mi.**  
**2546 ft.**  
**Relative:**  
**Higher**  
**Actual:**  
**188 ft.**

**MASS HOSPITAL SCHOOL**  
**3 RANDOLPH ST**  
**CANTON, MA 02021**

**MA SHWS** U002009083  
**MA LUST** N/A  
**MA UST**  
**MA AST**  
**MA RELEASE**  
**MA AIRS**  
**MA ASBESTOS**  
**MA Financial Assurance**  
**MA HW GEN**

SHWS:  
 Name: PAPPAS REHAB HOSPITAL FOR CHILDREN  
 Address: 3 RANDOLPH STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0029266  
 Source Type: TANK  
 Release Town: CANTON  
 Notification Date: 03/22/2022  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: UNCLSS  
 Status Date: 03/22/2022  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Not reported

Name: PAPPAS REHAB HOSPITAL FOR CHILDREN  
 Address: 3 RANDOLPH STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0029266  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 03/22/2022  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: UNCLSS  
 Status Date: 03/22/2022  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Not reported

Name: MASS HOSPITAL SCHOOL  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3014868  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 02/27/1997  
 Category: 72 HR

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 04/23/1997  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Oil

Name: MA HOSPITAL SCHOOL  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3017268  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 09/01/1998  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 11/01/1999  
 Phase: Not reported  
 Response Action Outcome: B1  
 Oil Or Haz Material: Oil

LUST:

Facility:

Name: MA HOSPITAL SCHOOL  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Response Action Outcome**  
 Release Tracking Number/Current Status: 4-3004609 / RAO  
 Status Date: 06/29/2001  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 03/10/1993  
 Category: NONE  
 Associated ID: 4-3004609  
 Phase: Not reported  
 Response Action Outcome: C1 - C1  
 Oil Or Haz Material: Oil

Source: UST

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: OIL  
 Quantity: Not reported

Actions:

Action Type: Response Action Outcome - RAO  
 Action Status: Inspection and Monitoring Report Received  
 Action Date: 1/11/2012  
 Response Action Outcome: C1

Action Type: Response Action Outcome - RAO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Status: Action Date: Response Action Outcome:	Inspection and Monitoring Report Received 1/12/2010 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 1/20/2011 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 1/5/2016 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 1/8/2013 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 1/9/2014 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Completion Statement Received 11/1/1999 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Status or Interim Report Received 12/22/1997 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 12/31/2008 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 12/31/2014 C1
Action Type: Action Status: Action Date: Response Action Outcome:	Response Action Outcome - RAO Inspection and Monitoring Report Received 2/11/2008 C1
Action Type: Action Status: Action Date: Response Action Outcome:	A Notice sent to a Potentially Responsible Party (PRP) A MassDEP piece of correspondence was issued (approvals, NORs, etc. 3/10/1993 C1
Action Type: Action Status: Action Date:	Release Disposition Valid Transition Site 3/10/1993

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Tier 1C Classification
Action Date:	4/23/1997
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	4/23/1997
Response Action Outcome:	C1
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	4/23/1997
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	4/27/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	5/9/2008
Response Action Outcome:	C1
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	6/11/1997
Response Action Outcome:	C1
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	6/12/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	6/29/2001
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/15/2010
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	7/15/2016
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/15/2016
Response Action Outcome:	C1



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/16/2009
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/23/2014
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/29/2008
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/3/2013
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/30/2012
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/7/2015
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	7/8/2021
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	8/21/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	8/21/2007
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	8/8/2011
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	8/8/2011
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Date: 9/19/2007  
Response Action Outcome: C1

Action Type: Phase 3  
Action Status: Completion Statement Received  
Action Date: 9/24/1999  
Response Action Outcome: C1

Action Type: BWS03  
Action Status: APPROV  
Action Date: Not reported  
Response Action Outcome: C1

Facility:

Name: PAPPAS REHAB HOSPITAL FOR CHILDREN  
Address: 3 RANDOLPH STREET  
City,State,Zip: CANTON, MA 020210000  
**Current Status: Unclassified Waste Site**  
Release Tracking Number/Current Status: 4-0029266 / UNCLSS  
Status Date: 03/22/2022  
Source Type: UST  
Release Town: CANTON  
Notification Date: 03/22/2022  
Category: TWO HR  
Associated ID: Not reported  
Phase: Not reported  
Response Action Outcome: -  
Oil Or Haz Material: Not reported

Location Type: HOSPITAL  
Location Type: STATE  
Source: TANK  
Source: UST  
Source: UNKNOWN

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: Not reported  
Quantity: Not reported

Actions:

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 1/20/2023  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: RMRINT  
Action Date: 1/20/2023  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Date: Response Action Outcome:	2/14/2023 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Release Disposition Reportable Release under MGL 21E 3/22/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification Transmittal, Notice, or Notification Received 3/27/2023 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Phase 1 Completion Statement Received 3/27/2023 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification TIERI 3/27/2023 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	A Notice sent to a Potentially Responsible Party (PRP) A MassDEP piece of correspondence was issued (approvals, NORs, etc. 3/30/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	RNFE Transmittal, Notice, or Notification Received 5/22/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Imminent Hazard Evaluation Received 5/22/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Written Plan Received 5/22/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Level I - Technical Screen Audit 5/26/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Status or Interim Report Received 7/21/2022 Not reported
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action RMRINI 7/21/2022 Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit  
Action Date: 8/3/2022  
Response Action Outcome: Not reported

UST:

Facility:

Name: MASS HOSPITAL SCHOOL  
Address: 3 RANDOLPH ST  
City,State,Zip: CANTON, MA 02021  
Facility ID: 11844  
Owner Id: 4166  
Owner: MASS HOSPITAL SCHOOL  
Owner Address: 3 RANDOLPH ST  
Owner City,St,Zip: CANTON, MA 02021  
Telephone: 78182824408358  
Description: Institution  
Facility address 2: Not reported  
Owner address 2: Not reported  
Latitude: 42.17652  
Longitude: -71.12617  
Contact name: Richard Pollara  
Contact address1: 3 Randolph street  
Contact address2: Not reported  
Contact city: Canton  
Contact state: MA  
Contact zip: 02021  
Contact email: richard.pollara@state.ma.us  
Update: 2022-12-06 00:00:00  
Update by: Not reported  
Fac status: OPEN

Tank ID: 1  
**Tank Status: Tank Removed**  
Status Date: 01/01/1968  
Date Installed: 06/05/1946  
Capacity: 1000.00000  
Contents: Unregulate  
Tank Usage: Not reported  
Tank Leak Detection: Not reported  
Pipe Leak Detection: Not reported  
Latitude: Not reported  
Longitude: Not reported  
Tank construct: Not reported  
Pipe construct: Not reported  
Ptype: Not reported  
Number of compartment: Not reported  
Pipe install date: Not reported  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: N  
Turbine sump sensor: N  
Intermediate sump: N

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Tank ID: 2  
**Tank Status: Tank Removed**  
 Status Date: 01/01/1966  
 Date Installed: 06/05/1946  
 Capacity: 1000.00000  
 Contents: Unregulate  
 Tank Usage: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Leak Detection: Not reported  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Not reported  
 Pipe construct: Not reported  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Tank ID: 3  
**Tank Status: Tank Removed**  
 Status Date: 05/12/1992  
 Date Installed: 06/06/1971  
 Capacity: 1000.00000  
 Contents: Gasoline  
 Tank Usage: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Leak Detection: Not reported  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Not reported  
 Pipe construct: Not reported  
 Ptype: Not reported  
 Number of compartment: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Pipe install date: Not reported  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: N  
Turbine sump sensor: N  
Intermediate sump: N  
Intermediate sump sensor: N  
Spill bucket installed date: Not reported  
Spill bucket sensor: N  
Overfill protect install: Not reported  
Overfill protect type: Not reported  
Automatic line leak detect: Not reported  
Tank corrosion type: Not reported  
Leak corrosion type: Not reported

Tank ID: 4  
**Tank Status: Tank Temporarily Out**  
Status Date: 09/18/2017  
Date Installed: 05/10/1992  
Capacity: 2500.00000  
Contents: Gasoline  
Tank Usage: Motor Vehi  
Tank Leak Detection: Continuous Interstitial Monitoring  
Pipe Leak Detection: Quarterly visual inspection and annual product line tightness test  
Latitude: 42.17466  
Longitude: -71.12653  
Tank construct: Double-walled non-corrodible (including "composite") material (cathodic protection not required)  
Pipe construct: Double-walled non-corrodible material (No corrosion protection required)  
Ptype: Non-European suction System  
Number of compartment: Not reported  
Pipe install date: 05/10/1992  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: Y  
Turbine sump sensor: N  
Intermediate sump: N  
Intermediate sump sensor: N  
Spill bucket installed date: 05/10/1992  
Spill bucket sensor: N  
Overfill protect install: Not reported  
Overfill protect type: Automatic shut-off valve  
Automatic line leak detect: Not reported  
Tank corrosion type: Not reported  
Leak corrosion type: Not reported

**AST:**

Facility ID: 227867  
Name: MASSACHUSETTS HOSPITAL SCHOOL  
Address: 3 RANDOLPH ST  
City, State, Zip: CANTON, MA 02021-0000  
Owner ID: Not reported  
Owner Address: Not reported  
Owner City: Not reported  
Owner State: Not reported

Map ID  
Direction  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Owner Zip: Not reported  
 Owner Name: MA DEPT OF PUBLIC HEALTH  
 Tank Type: UST  
 Class: STG2  
 Stage I Type: Not reported  
 CARB # or System Type: G-70-52-AM  
 Test Cycle: TestReq  
 Date Form Mailed: 06/03/2015  
 Test Date: 10/02/2013  
 Postmark Date: 11/09/2015  
 Due Date: 10/28/2015  
 Product Type: Not reported  
 Vapor Type: Not reported  
 Form: FormD2  
 Form Rcvd and Complete: Complete  
 Description: Not reported  
 Telephone: Not reported  
 Fire Department: Not reported  
 Date of Inspection: Not reported  
 Inspector: Not reported  
 Overfill Prevention: Not reported  
 Tank ID: Not reported  
 Serial Number: Not reported  
 Spill Prevention: Not reported  
 Tank Status: Not reported  
 Capacity: Not reported  
 Contents: Not reported  
 Tank Use: Not reported  
 Tank Material: Not reported  
 Tank Construction: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Material: Not reported  
 Pipe Construction: Not reported  
 Pipe Leak Detection: Not reported  
 Aboveground: Not reported

**Release:**

Name: PAPPAS REHAB HOSPITAL FOR CHILDREN  
 Address: 3 RANDOLPH STREET  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-0029266 / UNCLSS  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 03/22/2022  
 Category: TWO HR  
 Status Date: 03/22/2022  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil / Haz Material Type: Not reported

Click here to access the MA DEP site for this facility:

**Actions:**

Action Type: Immediate Response Action  
 Action Status: Status or Interim Report Received  
 Action Date: 1/20/2023

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	RMRINT
Action Date:	1/20/2023
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	2/14/2023
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	3/22/2022
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	3/27/2023
Response Action Outcome:	Not reported
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	3/27/2023
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	TIERI
Action Date:	3/27/2023
Response Action Outcome:	Not reported
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	3/30/2022
Response Action Outcome:	Not reported
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	5/22/2022
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Imminent Hazard Evaluation Received
Action Date:	5/22/2022
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Written Plan Received
Action Date:	5/22/2022
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Level I - Technical Screen Audit
Action Date:	5/26/2022
Response Action Outcome:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 7/21/2022  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: RMRINI  
Action Date: 7/21/2022  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit  
Action Date: 8/3/2022  
Response Action Outcome: Not reported

**Chemicals:**

Chemical: Not reported  
Quantity: Not reported  
Location Type: HOSPITAL  
Location Type: STATE  
Source: TANK  
Source: UST  
Source: UNKNOWN

Name: MA HOSPITAL SCHOOL  
Address: 3 RANDOLPH ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3004609 / RAO  
Primary ID: 4-3004609  
Official City: CANTON  
Notification: 03/10/1993  
Category: NONE  
Status Date: 06/29/2001  
Phase: Not reported  
Response Action Outcome: C1 - C1  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Response Action Outcome - RAO  
Action Status: Inspection and Monitoring Report Received  
Action Date: 1/11/2012  
Response Action Outcome: C1

Action Type: Response Action Outcome - RAO  
Action Status: Inspection and Monitoring Report Received  
Action Date: 1/12/2010  
Response Action Outcome: C1

Action Type: Response Action Outcome - RAO  
Action Status: Inspection and Monitoring Report Received  
Action Date: 1/20/2011  
Response Action Outcome: C1

Action Type: Response Action Outcome - RAO

Map ID  
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Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Status:	Inspection and Monitoring Report Received
Action Date:	1/5/2016
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	1/8/2013
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	1/9/2014
Response Action Outcome:	C1
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	11/1/1999
Response Action Outcome:	C1
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	12/22/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	12/31/2008
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	12/31/2014
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	2/11/2008
Response Action Outcome:	C1
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	3/10/1993
Response Action Outcome:	C1
Action Type:	Release Disposition
Action Status:	Valid Transition Site
Action Date:	3/10/1993
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Tier 1C Classification
Action Date:	4/23/1997
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	4/23/1997

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Response Action Outcome:	C1
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	4/23/1997
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	4/27/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	5/9/2008
Response Action Outcome:	C1
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	6/11/1997
Response Action Outcome:	C1
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	6/12/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	6/29/2001
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/15/2010
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	7/15/2016
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/15/2016
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/16/2009
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/23/2014
Response Action Outcome:	C1

Map ID  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/29/2008
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/3/2013
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/30/2012
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	7/7/2015
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	7/8/2021
Response Action Outcome:	C1
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	8/21/1997
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	8/21/2007
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	8/8/2011
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Inspection and Monitoring Report Received
Action Date:	8/8/2011
Response Action Outcome:	C1
Action Type:	Response Action Outcome - RAO
Action Status:	Periodic Review Opinion Evaluating Temp Solution
Action Date:	9/19/2007
Response Action Outcome:	C1
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	9/24/1999
Response Action Outcome:	C1
Action Type:	BWS03
Action Status:	APPROV

Map ID  
Direction  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Date: Not reported  
Response Action Outcome: C1

Chemicals:  
Chemical: OIL  
Quantity: Not reported  
Source: UST

Name: MASS HOSPITAL SCHOOL  
Address: 3 RANDOLPH ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3014868 / RAONR  
Primary ID: Not reported  
Official City: CANTON  
Notification: 02/27/1997  
Category: 72 HR  
Status Date: 04/23/1997  
Phase: Not reported  
Response Action Outcome: -  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 11/1/1999  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 12/22/1997  
Response Action Outcome: Not reported

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 2/27/1997  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: IRA Assessment Only  
Action Date: 2/27/1997  
Response Action Outcome: Not reported

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 3/13/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 4/23/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Tier 1C Classification

Map ID  
Direction  
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Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)****U002009083**

Action Date:	4/23/1997
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	4/23/1997
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Written Plan Received
Action Date:	4/23/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	4/27/1997
Response Action Outcome:	Not reported
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	4/4/1997
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Modified Revised or Updated Plan Received
Action Date:	6/12/1997
Response Action Outcome:	Not reported
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	6/12/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	8/21/1997
Response Action Outcome:	Not reported
Action Type:	Phase 3
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	8/26/1999
Response Action Outcome:	Not reported
Action Type:	Phase 3
Action Status:	Completion Statement Received
Action Date:	9/24/1999
Response Action Outcome:	Not reported
Chemicals:	
Chemical:	NAPL
Quantity:	0.5 inches
Chemical:	FUEL OIL #6
Quantity:	1 inches
Location Type:	STATE
Source:	UNKNOWN
Name:	MA HOSPITAL SCHOOL

Map ID  
Direction  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3017268 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 09/01/1998  
 Category: 120 DY  
 Status Date: 11/01/1999  
 Phase: Not reported  
 Response Action Outcome: B1 - Remedial actions have not been conducted because a level of No Significant Risk exists.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 11/1/1999  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 11/4/1999  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 4/9/1999  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 9/1/1998  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: RNF  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 9/1/1998  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Compliance and Enforcement Action  
 Action Status: Interim Deadline Letter Issued  
 Action Date: 9/28/1999  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Tier Classification  
 Action Status: Tier 2 Classification  
 Action Date: 9/7/1999  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Map ID  
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Action Type: Tier Classification  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 9/7/1999  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Phase 1  
Action Status: Completion Statement Received  
Action Date: 9/7/1999  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Chemicals:

Chemical: C11 THRU C22 AROMATIC HYDROCARBONS  
Quantity: 632 micrograms per liter

AIRS:

AQID: 1191010  
Name: MASSACHUSETTS HOSPITAL SCHOOL  
Address: 3 RANDOLPH ST  
Address 2: Not reported  
City,State,Zip: CANTON, MA 02021  
Branch: Not reported  
Facility Status: Not reported  
Permit Code: Not reported  
Permit Name: Not reported  
Owner Name: MA DEPARTMENT OF PUBLIC HEALTH  
Region: Not reported  
Application Tracking Number: Not reported  
Facility Account: Not reported  
Date Closed: Not reported  
Applicant Name: Not reported  
Applicant Address: Not reported  
Applicant City: Not reported  
Applicant State: Not reported  
Applicant Zip: Not reported  
Applicant Telephone: Not reported  
Primary NAICS: Y  
NAICS Code: 622110  
NAICS Description: General Medical and Surgical Hospitals  
Latitude: 42.175697  
Longitude: -71.124161

EMI:

AQID: 1191010  
Pollutant: Not reported  
Actual Emission: Not reported  
Emission Year: 2015  
DEP Number: Not reported  
Facility Contact: Not reported  
Contact Telephone: Not reported  
Contact Email: Not reported  
Region Code: Not reported  
FMF ID: Not reported  
ORIS Code: Not reported  
AQ Class: Not reported  
NAICS Code: Not reported



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Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
 AQID:	 1191010

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
--------------

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)****U002009083**

Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	AMMONIA
Actual Emission:	0.0123
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	CARBON MONOXIDE
Actual Emission:	1.9041
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	HALOGENATED ORGANIC COMPOUND
Actual Emission:	0
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	HYDROCARBON

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Actual Emission:	0
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

AQID: 1191010  
 Pollutant: NITROGEN OXIDES (NOx)  
 Actual Emission: 2.5787  
 Emission Year: 2015  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported  
 Manufacturer: Not reported  
 Model Number: Not reported  
 Installed Date: Not reported  
 EU Decom Date: Not reported  
 Max Input Rating: Not reported  
 Approval Number: Not reported  
 Approval Date: Not reported  
 Q1 Operation Percent: Not reported  
 Q2 Operation Percent: Not reported  
 Q3 Operation Percent: Not reported  
 Q4 Operation Percent: Not reported  
 Hours Daily: Not reported  
 Days Weekly: Not reported  
 Weeks Yearly: Not reported  
 Type of Material: Not reported  
 Case Number: Not reported  
 Throughput Data: Not reported  
 Sulfur Content Percent: Not reported  
 Ash Content Percent: Not reported  
 Operating Restrictions: Not reported  
 SCC Code: Not reported  
 SCC Description: Not reported  
 Comments: Not reported  
 P10 Act Amount: Not reported  
 P10 Act UOM: Not reported  
 P10 POT Amount: Not reported  
 P10 POT UOM: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	PM10, FILTERABLE
Actual Emission:	1.4823
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

DEP Segment Number: Not reported  
 Category Type: Not reported  
 Emergency Gen: Not reported  
 EU Combined Units: Not reported  
 Chemical Name: Not reported  
 Max Hourly Fuel Rating: Not reported  
 Max UOM: Not reported  
 Segment Decom Date: Not reported  
 Actual Material Used: Not reported  
 Actual Material Used UOM: Not reported  
 P10 Annual Emission Restrictions: Not reported  
 P25 Annual Emission Restrictions: Not reported  
 SO2 Annual Emission Restrictions: Not reported  
 NO2 Annual Emission Restrictions: Not reported  
 CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

AQID: 1191010  
 Pollutant: PM2.5, FILTERABLE  
 Actual Emission: 1.4823  
 Emission Year: 2015  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported  
 Manufacturer: Not reported  
 Model Number: Not reported  
 Installed Date: Not reported  
 EU Decom Date: Not reported  
 Max Input Rating: Not reported  
 Approval Number: Not reported  
 Approval Date: Not reported  
 Q1 Operation Percent: Not reported  
 Q2 Operation Percent: Not reported  
 Q3 Operation Percent: Not reported  
 Q4 Operation Percent: Not reported  
 Hours Daily: Not reported  
 Days Weekly: Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	SULFUR DIOXIDE
Actual Emission:	0.0378
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	VOLATILE ORGANIC COMPOUNDS (VOC)
Actual Emission:	0.5071
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191010
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

NH3 Act Amount: Not reported  
 NH3 Act UOM: Not reported  
 NH3 POT Amount: Not reported  
 NH3 POT UOM: Not reported  
 NH3 Per Amount: Not reported  
 NH3 Per UOM: Not reported  
 Object ID: Not reported  
 NAICS Code Count: Not reported  
 Primary NAICS: Not reported  
 Release Point: Not reported  
 Stack Combined Units: Not reported  
 Stack Decom Date: Not reported  
 DEP Segment Number: Not reported  
 Category Type: Not reported  
 Emergency Gen: Not reported  
 EU Combined Units: Not reported  
 Chemical Name: Not reported  
 Max Hourly Fuel Rating: Not reported  
 Max UOM: Not reported  
 Segment Decom Date: Not reported  
 Actual Material Used: Not reported  
 Actual Material Used UOM: Not reported  
 P10 Annual Emission Restrictions: Not reported  
 P25 Annual Emission Restrictions: Not reported  
 SO2 Annual Emission Restrictions: Not reported  
 NO2 Annual Emission Restrictions: Not reported  
 CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

**ASBESTOS:**

Name: PAPPAS FACILITY  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 10/08/2019  
 End Date: 10/08/2019  
 Date Entered: Not reported  
 Entry Date: 10/08/2019  
 Quantity Material Removed SF: 20  
 Quantity Material Removed LF: Not reported  
 Project Description: OTHER FLOOR TILEAND MASTIC  
 AR Tracking ID: 330384  
 Super Lic Number: AS033721  
 Monitor Lic Number: AM051114  
 Lab Lic Number: AA000208  
 Year: 2019  
 Sticker Number: 100317433  
 Form Type: ANF-001  
 Fee Status: EXEMPT  
 Facility Phone: 8573232092  
 Sub Town: Not reported  
 Worksite: ELLIS BUILDING

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Occupied: 0  
 Contractor: AC000601  
 Contract Type: WRITTEN  
 Hours: 8-5  
 Project Type: Renv  
 Abatement Process: oth:MINI CONTAINMENT  
 Location: INDOORS  
 Decon Process: HEPA VAC  
 Disposal Methods: DOUBLE 6MIL POLY BAGS  
 Facility Usage: STATE REHAB HOSPITAL  
 Waiver Given: Not reported  
 DEP Waiver Number: SAW-19-508  
 DLWD Waiver Number: 25900-2019  
 Small Owner Occ: 0  
 Owner Name: MASS. DEPT. OF HEALTH  
 Owner Address: 3 RANDOLPH AVE  
 Owner City: CANTON  
 Owner State: MA  
 On Site Manager Name: CHRIS  
 On Site Manager Phone: 5088509713  
 Ins Comp: STATE  
 Policy Number: NA  
 EXP Date: 9/9/2020  
 Facility Size: 6000  
 Transporter Name: A-D&T  
 Transporter Address: 8 WINTERBERRY WAY  
 Transporter City: PLYMOUTH  
 Transporter State: MA  
 Final Site: Not reported  
 Certified Name: TED CASE  
 Cert Sign Date: 10/08/2019  
 Certified Company: A-D&T  
 Certified Phone: 5088509723  
 Entered\_by: MAUREEN

Name: MA HOSPITAL SCHOOL  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 07/15/2010  
 End Date: 08/30/2010  
 Date Entered: Not reported  
 Entry Date: 07/01/2010  
 Quantity Material Removed SF: 7500.00  
 Quantity Material Removed LF: 200.00  
 Project Description: Insl,Trns  
 AR Tracking ID: 128611  
 Super Lic Number: AS061744  
 Monitor Lic Number: Not reported  
 Lab Lic Number: Not reported  
 Year: 2010  
 Sticker Number: 100109006  
 Form Type: ANF-001  
 Fee Status: Exempt  
 Facility Phone: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Sub Town:	Not reported
Worksite:	RECREATION BUILDING
Occupied:	-1
Contractor:	AC000328
Contract Type:	Off
Hours:	Week days: 7AM-3:30PM Week end:
Project Type:	Renv
Abatement Process:	GlV,Fcontain
Location:	Indoors
Decon Process:	WET METHODS
Disposal Methods:	WETTED MATERIAL WILL BE CONTAINED IN 6MIL ASBESTOS BAGS &/OR LINED SEALANT
Facility Usage:	RECREATIONAL BULDING @ EDUCATIONAL INSTITUTION
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	5
Owner Name:	DIVISION OF CAPITAL ASSETS MANAGEME
Owner Address:	1 ASHBURTON PL
Owner City:	BOSTON
Owner State:	MA
On Site Manager Name:	Not reported
On Site Manager Phone:	Not reported
Ins Comp:	Not reported
Policy Number:	Not reported
EXP Date:	Not reported
Facility Size:	Not reported
Transporter Name:	R.M TECHNOLOGIES,INC
Transporter Address:	225 ESSEX STREET
Transporter City:	LAWRENCE
Transporter State:	Not reported
Final Site:	39
Certified Name:	LAURA JIMENEZ
Cert Sign Date:	07/01/2010
Certified Company:	R.M. TECHNOLOGIES
Certified Phone:	9787940006
Entered_by:	Not reported
Name:	MASS HOSPITAL SCHOOL
Address:	3 RANDOLPH ST
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	06/19/2009
End Date:	06/20/2009
Date Entered:	Not reported
Entry Date:	06/18/2009
Quantity Material Removed SF:	.00
Quantity Material Removed LF:	150.00
Project Description:	Trns
AR Tracking ID:	114012
Super Lic Number:	AS61476
Monitor Lic Number:	AA000128
Lab Lic Number:	AA000128
Year:	2009
Sticker Number:	100090211

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s) EDR ID Number  
 EPA ID Number

**MASS HOSPITAL SCHOOL (Continued)**

**U002009083**

Form Type: ANF-001  
 Fee Status: Exempt  
 Facility Phone: Not reported  
 Sub Town: Not reported  
 Worksite: TANK  
 Occupied: 0  
 Contractor: AC000627  
 Contract Type: WRITTEN  
 Hours: Week days: 8-4 Week end:  
 Project Type: Dem  
 Abatement Process: WET REMOVL  
 Location: Not reported  
 Decon Process: WET REMOVAL  
 Disposal Methods: WRAPPED IN 2 LAYERS 6 MIL POLY LABELED AND SEALED  
 Facility Usage: TANK ON GROUNDS OF HANDICAPPED CHILDREN FACILITY  
 Waiver Given: Not reported  
 DEP Waiver Number: SE 09-162  
 DLWD Waiver Number: 09-236 NB  
 Small Owner Occ: 5  
 Owner Name: COMMONWEALTH OF MA  
 Owner Address: 3 RANDOLPH ST  
 Owner City: CANTON  
 Owner State: MA  
 On Site Manager Name: Not reported  
 On Site Manager Phone: Not reported  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: Not reported  
 Transporter Name: BANNER ENVIRO  
 Transporter Address: SAME  
 Transporter City: Not reported  
 Transporter State: Not reported  
 Final Site: 47  
 Certified Name: D NELSON  
 Cert Sign Date: 06/18/2009  
 Certified Company: BANNER  
 Certified Phone: 7819346873  
 Entered\_by: Not reported

**MA Financial Assurance 2:**

Name: MASS HOSPITAL SCHOOL  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 02021  
 Facility Id: 11844  
 Description: State  
 FR Type: Local Government Guarantee

**HW GEN:**

Name: PAPPAS REHAB HOSPITAL FOR CHILDREN  
 Address: 3 RANDOLPH ST  
 City,State,Zip: CANTON, MA 02021  
 EPA Id: MAV000001659  
 RCRA Generator Status: SQG  
 State Generator Status: LQG-MA

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>16</b> <b>SSW</b> <b>1/2-1</b> <b>0.582 mi.</b> <b>3074 ft.</b>	<b>TRANSFORMER RELEASE</b> <b>76 MORTON STREET</b> <b>CANTON, MA</b>	<b>MA SHWS</b> <b>MA RELEASE</b>	<b>S128987303</b> <b>N/A</b>
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**Relative:** SHWS:  
**Higher** Name: TRANSFORMER RELEASE  
**Actual:** Address: 76 MORTON STREET  
**144 ft.** City,State,Zip: CANTON, MA  
 Facility ID: 4-0029370  
 Source Type: TRANSFORM  
 Release Town: CANTON  
 Notification Date: 05/26/2022  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 07/25/2022  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Not reported

Release:  
 Name: TRANSFORMER RELEASE  
 Address: 76 MORTON STREET  
 City,State,Zip: CANTON, MA  
 Release Tracking Number/Current Status: 4-0029370 / PSNC  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 05/26/2022  
 Category: TWO HR  
 Status Date: 07/25/2022  
 Phase: Not reported  
 Response Action Outcome: PN - PN  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	3/26/2022
Response Action Outcome:	PN
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	5/26/2022
Response Action Outcome:	PN
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	5/27/2022
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	7/25/2022
Response Action Outcome:	PN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**TRANSFORMER RELEASE (Continued)**

**S128987303**

Action Type: Response Action Outcome - RAO  
Action Status: PSNRCD  
Action Date: 7/25/2022  
Response Action Outcome: PN

Chemicals:  
Chemical: Not reported  
Quantity: Not reported  
Location Type: RESIDENTIAL  
Source: TRANSFORM

**D17  
ENE  
1/2-1  
0.585 mi.  
3087 ft.**

**PONKAPOAG GOLF COURSE  
2160 WASHINGTON ST  
CANTON, MA 02021  
  
Site 1 of 2 in cluster D**

**MA SHWS S101038800  
MA RELEASE N/A  
MA SPILLS**

**Relative:  
Higher  
  
Actual:  
139 ft.**

SHWS:  
Name: NO LOCATION AID  
Address: 2160 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Facility ID: 4-3021331  
Source Type: PIPE  
Release Town: CANTON  
Notification Date: 12/14/2001  
Category: TWO HR  
Associated ID: Not reported  
Current Status: RAO  
Status Date: 08/08/2002  
Phase: Not reported  
Response Action Outcome: B2  
Oil Or Haz Material: Oil

Release:  
Name: NO LOCATION AID  
Address: 2160 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3021331 / RAO  
Primary ID: Not reported  
Official City: CANTON  
Notification: 12/14/2001  
Category: TWO HR  
Status Date: 08/08/2002  
Phase: Not reported  
Response Action Outcome: B2 - Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.  
  
Oil / Haz Material Type: Oil

Click here to access the MA DEP site for this facility:

Actions:  
Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
Action Date: 1/15/2002  
Response Action Outcome: Remedial actions have not been conducted because a level of No



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**PONKAPOAG GOLF COURSE (Continued)**

**S101038800**

Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 1/16/2002  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: Compliance and Enforcement Action  
Action Status: RFI  
Action Date: 1/29/2003  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 12/14/2001  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 12/14/2001  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: RLFA  
Action Status: FOLOFF  
Action Date: 12/15/2001  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 2/11/2002  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 2/12/2002  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 4/18/2002  
Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

**PONKAPOAG GOLF COURSE (Continued)**

**S101038800**

AULs that have been implemented.

Action Type:	Response Action Outcome - RAO
Action Status:	Fee Received - FMCRA Use Only
Action Date:	7/31/2002
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	8/8/2002
Response Action Outcome:	Remedial actions have not been conducted because a level of No Significant Risk exists, but that level is contingent upon one or more AULs that have been implemented.

Chemicals:

Chemical:	GASOLINE
Quantity:	Not reported
Chemical:	GASOLINE
Quantity:	3 gallons
Location Type:	COMMERCIAL
Source:	PIPE

MA Spills:

Facility ID:	0000	Spill ID:	N91-0229
Staff Lead:	ARMSTRONG, V	Date Entered:	19910916
Last Entered:	19920227	First Response:	19910219
Spill Date:	19910216	Spill Time:	03:45PM
Report Date:	19910219	Report Time:	02:15PM
Case Closed:	YES	Mat Type:	PETROLEUM
Virgin Waste:	-----	Contam Soil:	Not reported
Env Impact:	Not reported	Other Impact:	Not reported
Material:	MISCELLANEOUS OIL	Other Material:	Not reported
Qty Reported:	SHEEN	Qty Actual:	SHEEN
Qty Reported:	-----	Qty Actual:	-----
CAS No:	Not reported	PCB Lev (ppm):	-----
Source:	-----	Other Source:	Not reported
Incident:	-----	Other Incdnt:	Not reported
Cleanup Type:	---	Contractor:	NOT USED
Referral:	NO	LUST Elig:	NO
Report Prep:	Not reported	Category:	30
Notifier:	JAMES FITZPATRICK/FD		
Notif Tel:	Not reported		
Days/Close:	5		

**D18**  
**ENE**  
**1/2-1**  
**0.592 mi.**  
**3128 ft.**

**SHELL SERVICE STATION**  
**2168 WASHINGTON ST**  
**CANTON, MA 02021**

**Site 2 of 2 in cluster D**

**MA SHWS** U003655143  
**MA UST** N/A  
**MA AST**  
**MA RELEASE**  
**MA UIC**

**Relative:** SHWS:  
**Higher** Name: WASHINGTON AND TURNPIKE STS  
Address: 2168 WASHINGTON ST  
**Actual:** City,State,Zip: CANTON, MA 020210000  
**139 ft.** Facility ID: 4-3021987

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 07/30/2002  
 Category: 72 HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 11/04/2005  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

UST:

Facility:

Name: SHELL SERVICE STATION  
 Address: 2168 WASHINGTON ST  
 City,State,Zip: CANTON, MA 02021  
 Facility ID: 11876  
 Owner Id: 6092  
 Owner: MOTIVA ENTERPRISES LLC  
 Owner Address: 7300 W FRIENDLY AVE MS F-76  
 Owner City,St,Zip: GREENSBORO, NC 27420  
 Telephone: Not reported  
 Description: Retail Motor Vehicle Fuel  
 Facility address 2: Not reported  
 Owner address 2: Not reported  
 Latitude: 42.19098  
 Longitude: -71.11830  
 Contact name: Pete Pugnale  
 Contact address1: PO Box 3820  
 Contact address2: Not reported  
 Contact city: Manhattan Beach  
 Contact state: CA  
 Contact zip: 90266  
 Contact email: ppugnale@fastechus.com  
 Update: 2003-07-14 00:00:00  
 Update by: Not reported  
 Fac status: CLOSED

Name: SHELL SERVICE STATION  
 Address: 2168 WASHINGTON ST  
 City,State,Zip: CANTON, MA 02021  
 Facility ID: 11876  
 Owner Id: 6092  
 Owner: MOTIVA ENTERPRISES LLC  
 Owner Address: 7300 W FRIENDLY AVE MS F-76  
 Owner City,St,Zip: GREENSBORO, NC 27420  
 Telephone: Not reported  
 Description: Retail Motor Vehicle Fuel  
 Facility address 2: Not reported  
 Owner address 2: Not reported  
 Latitude: 42.19098  
 Longitude: -71.11830  
 Contact name: Pete Pugnale  
 Contact address1: PO Box 3820  
 Contact address2: Not reported  
 Contact city: Manhattan Beach

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Contact state: CA  
Contact zip: 90266  
Contact email: ppugnale@fastechus.com  
Update: 2003-07-14 00:00:00  
Update by: Not reported  
Fac status: CLOSED

Tank ID: 1  
**Tank Status: Tank Removed**  
Status Date: 03/19/2003  
Date Installed: 05/02/1983  
Capacity: 10000.00000  
Contents: Gasoline  
Tank Usage: Motor Vehi  
Tank Leak Detection: In-Tank Monitoring System  
Pipe Leak Detection: Annual Automatic Line Leak Detection Test  
Latitude: Not reported  
Longitude: Not reported  
Tank construct: Single-walled non-corrodible (including "composite") material (cathodic protection not required)  
Pipe construct: Single-walled non-corrodible material (No corrosion protection required)  
Ptype: Not reported  
Number of compartment: Not reported  
Pipe install date: Not reported  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: N  
Turbine sump sensor: N  
Intermediate sump: N  
Intermediate sump sensor: N  
Spill bucket installed date: Not reported  
Spill bucket sensor: N  
Overfill protect install: Not reported  
Overfill protect type: Not reported  
Automatic line leak detect: Not reported  
Tank corrosion type: Not reported  
Leak corrosion type: Not reported

Tank ID: 2  
**Tank Status: Tank Removed**  
Status Date: 03/19/2003  
Date Installed: 05/02/1983  
Capacity: 10000.00000  
Contents: Gasoline  
Tank Usage: Motor Vehi  
Tank Leak Detection: In-Tank Monitoring System  
Pipe Leak Detection: Annual Automatic Line Leak Detection Test  
Latitude: Not reported  
Longitude: Not reported  
Tank construct: Single-walled non-corrodible (including "composite") material (cathodic protection not required)  
Pipe construct: Single-walled non-corrodible material (No corrosion protection required)  
Ptype: Not reported  
Number of compartment: Not reported  
Pipe install date: Not reported  
Pipe leak install date: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Tank ID: 3  
**Tank Status: Tank Removed**  
 Status Date: 03/19/2003  
 Date Installed: 05/02/1983  
 Capacity: 10000.00000  
 Contents: Gasoline  
 Tank Usage: Motor Vehi  
 Tank Leak Detection: In-Tank Monitoring System  
 Pipe Leak Detection: Annual Automatic Line Leak Detection Test  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Single-walled non-corrodible (including "composite") material (cathodic protection not required)  
 Pipe construct: Single-walled non-corrodible material (No corrosion protection required)  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

**AST:**

Facility ID: 11876  
 Name: SHELL SERVICE STATION  
 Address: 2168 WASHINGTON ST  
 City, State, Zip: CANTON, MA 02021  
 Owner ID: 6092  
 Owner Address: 7300 W FRIENDLY AVE MS F-76  
 Owner City: GREENSBORO  
 Owner State: NC  
 Owner Zip: 27420  
 Owner Name: MOTIVA ENTERPRISES LLC

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Tank Type: Not reported  
 Class: Not reported  
 Stage I Type: Not reported  
 CARB # or System Type: Not reported  
 Test Cycle: Not reported  
 Date Form Mailed: Not reported  
 Test Date: Not reported  
 Postmark Date: Not reported  
 Due Date: Not reported  
 Product Type: Not reported  
 Vapor Type: Not reported  
 Form: Not reported  
 Form Rcvd and Complete: Not reported  
 Description: Gas Station  
 Telephone: (781) 551-5400  
 Fire Department: 21050  
 Date of Inspection: 12/11/2008  
 Inspector: David P McGonigle  
 Overfill Prevention: Not reported  
 Tank ID: 4  
 Serial Number: Not reported  
 Spill Prevention: Not reported  
 Tank Status: Removed  
 Capacity: 500  
 Contents: Waste Oil  
 Tank Use: Not reported  
 Tank Material: Steel  
 Tank Construction: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Material: Not reported  
 Pipe Construction: Not reported  
 Pipe Leak Detection: Not reported  
 Aboveground: Y

**Release:**

Name: WASHINGTON AND TURNPIKE STS  
 Address: 2168 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3021987 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 07/30/2002  
 Category: 72 HR  
 Status Date: 11/04/2005  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

Click here to access the MA DEP site for this facility:

**Actions:**

Action Type: Release Abatement Measure  
 Action Status: Completion Statement Received  
 Action Date: 1/22/2004  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

reduced to background.

Action Type: Response Action Outcome - RAO  
Action Status: RAO Statement Received  
Action Date: 11/4/2005  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
Action Status: Written Plan Received  
Action Date: 2/20/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 2/24/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 5/20/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 5/20/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 5/20/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 7/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 7/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 1  
Action Status: Completion Statement Received  
Action Date: 7/30/2003  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Tier Classification

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Action Status: Tier 2 Classification  
 Action Date: 7/30/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Tier Classification  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 7/30/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 2  
 Action Status: Completion Statement Received  
 Action Date: 8/2/2005  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Tier Classification  
 Action Status: Legal Notice Published  
 Action Date: 8/7/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:  
 Chemical: C9 THRU C12 ALIPHATIC HYDROCARBONS  
 Quantity: 1460 parts per million  
 Chemical: GASOLINE  
 Quantity: 150 parts per million  
 Chemical: C5 THRU C8 ALIPHATIC HYDROCARBONS  
 Quantity: 1120 parts per million

UIC:  
 RTN Number: Not reported  
 Name: SHELL GASOLINE STATION  
 Address: 2168 WASHINGTON STREET  
 City,State,Zip: CANTON, MA 02021  
 Permit Date: Not reported  
 Actor Name: Not reported  
 Air Sparging: Not reported  
 Injection Well: Not reported  
 ReInjection Well: Not reported  
 UIC APL Type: WS-06d  
 Latitude: Not reported  
 Well Status: Not reported  
 Longitude: Not reported  
 UIC ID: Not reported  
 EPA Code: Not reported  
 Indicates Area: Not reported  
 Number of Wells: Not reported  
 Owner: RAYMOND FISCHER  
 Receive Date: Not reported  
 Authorization to Install/Close Date: Not reported  
 Confirmation of Install Receive: Not reported  
 Post-Closure Receive: 01/19/1996  
 Final Approval Date: Not reported  
 Permit Number: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SHELL SERVICE STATION (Continued)**

**U003655143**

Permit Type: Not reported  
 Permit Type Description: Not reported  
 Program: Not reported  
 Applicant Name: Not reported  
 Decision Date: Not reported  
 Operator Name: Not reported  
 Well ID: Not reported  
 Well Type Name: Not reported  
 Max Well Depth: Not reported  
 Date Complete: Not reported  
 Work Performed: Not reported  
 Depth to Bedrock: Not reported  
 Water Level: Not reported

**E19**  
**NE**  
**1/2-1**  
**0.677 mi.**  
**3574 ft.**

**NO LOCATION AID**  
**2224 WASHINGTON ST**  
**CANTON, MA 02021**  
**Site 1 of 2 in cluster E**

**MA SHWS S105736244**  
**MA LUST N/A**  
**MA RELEASE**  
**MA ASBESTOS**

**Relative:**  
**Higher**  
**Actual:**  
**169 ft.**

**SHWS:**  
 Name: NO LOCATION AID  
 Address: 2224 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3022736  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 04/01/2003  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 01/29/2004  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

**LUST:**

**Facility:**  
 Name: NO LOCATION AID  
 Address: 2224 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Response Action Outcome**  
 Release Tracking Number/Current Status: 4-3022259 / RAO  
 Status Date: 12/30/2002  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 10/30/2002  
 Category: 72 HR  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil Or Haz Material: Oil  
 Location Type: COMMERCIAL  
 Source: UST

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**NO LOCATION AID (Continued)**

**S105736244**

[Click here to access the MA DEP site for this facility:](#)

**Chemicals:**

Chemical: PETROLEUM  
Quantity: 219 parts per million  
Chemical: PETROLEUM  
Quantity: 100 parts per million

**Actions:**

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 10/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 10/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Oral Approval of a Modified Plan  
Action Date: 11/26/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 12/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
Action Status: RAO Statement Received  
Action Date: 12/30/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
Action Date: 12/4/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

**Release:**

Name: NO LOCATION AID  
Address: 2224 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3022259 / RAO  
Primary ID: Not reported  
Official City: CANTON  
Notification: 10/30/2002  
Category: 72 HR

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**NO LOCATION AID (Continued)**

**S105736244**

Status Date: 12/30/2002  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 10/30/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 10/30/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
 Action Status: Oral Approval of a Modified Plan  
 Action Date: 11/26/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 12/30/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 12/30/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 12/4/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

**Chemicals:**

Chemical: PETROLEUM  
 Quantity: 219 parts per million  
 Chemical: PETROLEUM  
 Quantity: 100 parts per million  
 Location Type: COMMERCIAL  
 Source: UST

Name: NO LOCATION AID  
 Address: 2224 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**NO LOCATION AID (Continued)**

**S105736244**

Release Tracking Number/Current Status: 4-3022736 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 04/01/2003  
 Category: 120 DY  
 Status Date: 01/29/2004  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 1/29/2004  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
 Action Status: Completion Statement Received  
 Action Date: 1/6/2004  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 1/7/2004  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
 Action Status: Status or Interim Report Received  
 Action Date: 10/28/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 4/1/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 4/1/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
 Action Date: 4/7/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**NO LOCATION AID (Continued)**

**S105736244**

Action Status: Fee Received - FMCRA Use Only  
 Action Date: 6/23/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
 Action Status: Written Plan Received  
 Action Date: 6/24/2003  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:  
 Chemical: C11 THRU C22 AROMATIC HYDROCARBONS  
 Quantity: 540 milligrams per kilogram

**ASBESTOS:**

Name: PAT SUMNER  
 Address: 2224 WASHINGTON STREET  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 07/14/2003  
 End Date: 07/28/2003  
 Date Entered: Not reported  
 Entry Date: 06/30/2003  
 Quantity Material Removed SF: Not reported  
 Quantity Material Removed LF: 4400.00  
 Project Description: Not reported  
 AR Tracking ID: 27128  
 Super Lic Number: AS041464  
 Monitor Lic Number: AA000128  
 Lab Lic Number: AA000128  
 Year: 2003  
 Sticker Number: 100000491  
 Form Type: ANF-001  
 Fee Status: Fifty  
 Facility Phone: 6177591167  
 Sub Town: Not reported  
 Worksite: greenhouse  
 Occupied: 0  
 Contractor: AC000264  
 Contract Type: WRITTEN  
 Hours: Week days: 8-5 Week end:  
 Project Type: Repair  
 Abatement Process: Full Containment  
 Location: Indoors  
 Decon Process: 3 chamber  
 Disposal Methods: 2 Ply Poly Bag with Label  
 Facility Usage: greenhouse  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: 5  
 Owner Name: same  
 Owner Address: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s) EDR ID Number  
 EPA ID Number

**NO LOCATION AID (Continued)**

**S105736244**

Owner City: Not reported  
 Owner State: MA  
 On Site Manager Name: none  
 On Site Manager Phone: Not reported  
 Ins Comp: Liberty Mutual  
 Policy Number: 13165206  
 EXP Date: 8/1/2003  
 Facility Size: 10000  
 Transporter Name: Not reported  
 Transporter Address: Not reported  
 Transporter City: Not reported  
 Transporter State: Not reported  
 Final Site: Not reported  
 Certified Name: Daniel J Whitehouse  
 Cert Sign Date: 06/30/2003  
 Certified Company: Darling  
 Certified Phone: 5085800258  
 Entered\_by: fuminski

**E20**  
**NE**  
**1/2-1**  
**0.684 mi.**  
**3613 ft.**

**CONNORS WAYSIDE FURNITURE**  
**2239 WASHINGTON STREET**  
**CANTON, MA 02021**

**Site 2 of 2 in cluster E**

**MA SHWS** **S117552830**  
**MA LUST** **N/A**  
**MA LAST**  
**MA RELEASE**  
**MA ASBESTOS**

**Relative:**  
**Higher**  
**Actual:**  
**167 ft.**

**SHWS:**  
 Name: CONNORS WAYSIDE FURNITURE  
 Address: 2239 WASHINGTON STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0025451  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 12/29/2014  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 10/09/2015  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil and Hazardous Material

Name: CONNORS WAYSIDE FURNITURE  
 Address: 2239 WASHINGTON STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0025451  
 Source Type: LINE  
 Release Town: CANTON  
 Notification Date: 12/29/2014  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 10/09/2015  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil and Hazardous Material

Name: CONNORS WAYSIDE FURNITURE  
 Address: 2239 WASHINGTON STREET

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0025451  
 Source Type: TANK  
 Release Town: CANTON  
 Notification Date: 12/29/2014  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 10/09/2015  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil and Hazardous Material

LUST:

Facility:

Name: CONNORS WAYSIDE FURNITURE  
 Address: 2239 WASHINGTON STREET  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Permanent Solution with No Conditions**  
 Release Tracking Number/Current Status: 4-0025451 / PSNC  
 Status Date: 10/09/2015  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 12/29/2014  
 Category: 120 DY  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: PN - PN  
 Oil Or Haz Material: Oil and Hazardous Material

Source: TANK  
 Source: AST  
 Source: UST  
 Source: UNKNOWN  
 Source: LINE

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: C9 THRU C18 ALIPHATIC HYDROCARBONS  
 Quantity: 3080 milligrams per kilogram  
 Chemical: 2-METHYLNAPHTHALENE  
 Quantity: 27.8 micrograms per liter  
 Chemical: C11 THRU C22 AROMATIC HYDROCARBONS  
 Quantity: 2810 milligrams per kilogram

Actions:

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 10/15/2015  
 Response Action Outcome: PN

Action Type: RLFA  
 Action Status: FLDRUN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Action Date:	10/21/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	10/7/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	10/9/2015
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	PSNRCD
Action Date:	10/9/2015
Response Action Outcome:	PN
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	2/17/2015
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	3/11/2016
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Fee Received - FMCRA Use Only
Action Date:	5/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	5/19/2015
Response Action Outcome:	PN
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	6/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	7/27/2015
Response Action Outcome:	PN



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Action Type:	BOL
Action Status:	NOTSHP
Action Date:	9/18/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/18/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	9/23/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/4/2015
Response Action Outcome:	PN

**LAST:**

Name:	CONNORS WAYSIDE FURNITURE
Address:	2239 WASHINGTON STREET
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-0025451 / PSNC
Source Type:	AST
Release Town:	CANTON
Notification Date:	12/29/2014
Category:	120 DY
Associated ID:	Not reported
Status Date:	10/09/2015
Phase:	Not reported
Response Action Outcome:	PN - PN
Oil Or Haz Material:	Oil and Hazardous Material

**Chemicals:**

Chemical:	C9 THRU C18 ALIPHATIC HYDROCARBONS
Quantity:	3080 milligrams per kilogram
Chemical:	2-METHYLNAPHTHALENE
Quantity:	27.8 micrograms per liter
Chemical:	C11 THRU C22 AROMATIC HYDROCARBONS
Quantity:	2810 milligrams per kilogram
Source:	TANK
Source:	AST
Source:	UST
Source:	UNKNOWN
Source:	LINE

**Actions:**

Action Type:	Response Action Outcome - RAO
Action Status:	Fee Received - FMCRA Use Only
Action Date:	10/15/2015
Response Action Outcome:	PN
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	10/21/2015

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Response Action Outcome:	PN
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	10/7/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	10/9/2015
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	PSNRCD
Action Date:	10/9/2015
Response Action Outcome:	PN
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	2/17/2015
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	3/11/2016
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Fee Received - FMCRA Use Only
Action Date:	5/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	5/19/2015
Response Action Outcome:	PN
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	6/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	7/27/2015
Response Action Outcome:	PN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Action Type:	BOL
Action Status:	NOTSHP
Action Date:	9/18/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/18/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	9/23/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/4/2015
Response Action Outcome:	PN

Release:

Name:	CONNORS WAYSIDE FURNITURE
Address:	2239 WASHINGTON STREET
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-0025451 / PSNC
Primary ID:	Not reported
Official City:	CANTON
Notification:	12/29/2014
Category:	120 DY
Status Date:	10/09/2015
Phase:	Not reported
Response Action Outcome:	PN - PN
Oil / Haz Material Type:	Oil and Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type:	Response Action Outcome - RAO
Action Status:	Fee Received - FMCRA Use Only
Action Date:	10/15/2015
Response Action Outcome:	PN
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	10/21/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	10/7/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	10/9/2015

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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## MAP FINDINGS

**CONNORS WAYSIDE FURNITURE (Continued)****S117552830**

Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	PSNRCD
Action Date:	10/9/2015
Response Action Outcome:	PN
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	12/29/2014
Response Action Outcome:	PN
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)
Action Date:	2/17/2015
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	3/11/2016
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Fee Received - FMCRA Use Only
Action Date:	5/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	5/19/2015
Response Action Outcome:	PN
Action Type:	RLFA
Action Status:	FLDRUN
Action Date:	6/15/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Level I - Technical Screen Audit
Action Date:	7/27/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	NOTSHP
Action Date:	9/18/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/18/2015
Response Action Outcome:	PN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	9/23/2015
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	9/4/2015
Response Action Outcome:	PN

**Chemicals:**

Chemical:	C9 THRU C18 ALIPHATIC HYDROCARBONS
Quantity:	3080 milligrams per kilogram
Chemical:	2-METHYLNAPHTHALENE
Quantity:	27.8 micrograms per liter
Chemical:	C11 THRU C22 AROMATIC HYDROCARBONS
Quantity:	2810 milligrams per kilogram
Source:	TANK
Source:	AST
Source:	UST
Source:	UNKNOWN
Source:	LINE

**ASBESTOS:**

Name:	RESIDENTIAL
Address:	2239 WASHINGTON ST
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	04/19/2016
End Date:	04/30/2016
Date Entered:	Not reported
Entry Date:	04/05/2016
Quantity Material Removed SF:	9600.00
Quantity Material Removed LF:	Not reported
Project Description:	OTHER TILE & MASTIC
AR Tracking ID:	235426
Super Lic Number:	AS040658
Monitor Lic Number:	AM040493
Lab Lic Number:	AA000188
Year:	2016
Sticker Number:	100240327
Form Type:	ANF-001
Fee Status:	HUNDRED
Facility Phone:	7818285781
Sub Town:	Not reported
Worksite:	RESIDENTIAL, INTERIOR
Occupied:	0
Contractor:	AC000746
Contract Type:	WRITTEN
Hours:	730AM400PM
Project Type:	Renv
Abatement Process:	Fcontain
Location:	INDOORS
Decon Process:	3 CHAMBER DECON WITH PORTABLE INLINE SHOWER ADJACENT TO WORK AREA

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CONNORS WAYSIDE FURNITURE (Continued)**

**S117552830**

Disposal Methods: ACM REMOVED WILL BE PROPERLY WETTED, DOUBLE BAGGED, LABELED AND  
DISPOSED  
Facility Usage: RESIDENTIAL  
Waiver Given: Not reported  
DEP Waiver Number: Not reported  
DLWD Waiver Number: Not reported  
Small Owner Occ: 0  
Owner Name: JOHN S.MARINI  
Owner Address: 345 NEPONSET STREET  
Owner City: CANTON  
Owner State: MA  
On Site Manager Name: JOHN S.MARINI  
On Site Manager Phone: 7818285781  
Ins Comp: NAUTILUS INSURANCE COMPANY  
Policy Number: 3795014  
EXP Date: 1/1/2017  
Facility Size: 8000  
Transporter Name: WHALING CITY ENVIRONMENTAL  
Transporter Address: 222 HERMAN MELVILLE BLVD  
Transporter City: NEW BEDFORD  
Transporter State: MA  
Final Site: Not reported  
Certified Name: JOHN DASILVA  
Cert Sign Date: 04/05/2016  
Certified Company: WCE  
Certified Phone: 5087170253  
Entered\_by: WHALINGCITY

**21**  
**WSW**  
**1/2-1**  
**0.700 mi.**  
**3695 ft.**

**BLUE HILLS COUNTRY CLUB**  
**146 DEDHAM STREET**  
**CANTON, MA**

**MA SHWS** **S121394459**  
**MA RELEASE** **N/A**

**Relative:**  
**Higher**

SHWS:  
Name: BLUE HILLS COUNTRY CLUB  
Address: 146 DEDHAM STREET  
City,State,Zip: CANTON, MA  
Facility ID: 4-0026845  
Source Type: TRANSFORM  
Release Town: CANTON  
Notification Date: 09/05/2017  
Category: TWO HR  
Associated ID: Not reported  
Current Status: PSNC  
Status Date: 11/06/2017  
Phase: Not reported  
Response Action Outcome: PN  
Oil Or Haz Material: Not reported

**Actual:**  
**155 ft.**

Release:  
Name: BLUE HILLS COUNTRY CLUB  
Address: 146 DEDHAM STREET  
City,State,Zip: CANTON, MA  
Release Tracking Number/Current Status: 4-0026845 / PSNC  
Primary ID: Not reported  
Official City: CANTON

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**BLUE HILLS COUNTRY CLUB (Continued)**

**S121394459**

Notification: 09/05/2017  
 Category: TWO HR  
 Status Date: 11/06/2017  
 Phase: Not reported  
 Response Action Outcome: PN - PN  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Immediate Response Action  
 Action Status: Level I - Technical Screen Audit  
 Action Date: 11/20/2017  
 Response Action Outcome: PN

Action Type: RNFE  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 11/6/2017  
 Response Action Outcome: PN

Action Type: Response Action Outcome - RAO  
 Action Status: PSNRCD  
 Action Date: 11/6/2017  
 Response Action Outcome: PN

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 9/5/2017  
 Response Action Outcome: PN

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 9/5/2017  
 Response Action Outcome: PN

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 9/7/2017  
 Response Action Outcome: PN

**Chemicals:**

Chemical: Not reported  
 Quantity: Not reported  
 Location Type: PRIVPROP  
 Source: TRANSFORM

**22**  
**East**  
**1/2-1**  
**0.725 mi.**  
**3827 ft.**

**A. A. WILL SAND & GRAVEL CORPORATION**  
**125 TURNPIKE STREET**  
**CANTON, MA 02021**

**MA SHWS S112195319**  
**MA LUST N/A**  
**MA RELEASE**

**Relative:**  
**Higher**  
**Actual:**  
**173 ft.**

SHWS:  
 Name: A. A. WILL SAND & GRAVEL CORPORATION  
 Address: 125 TURNPIKE STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0024180

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Source Type: PIPE  
 Release Town: CANTON  
 Notification Date: 08/31/2012  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 04/24/2014  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil

Name: A. A. WILL SAND & GRAVEL CORPORATION  
 Address: 125 TURNPIKE STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0024180  
 Source Type: TANK  
 Release Town: CANTON  
 Notification Date: 08/31/2012  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 04/24/2014  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil

Name: A. A. WILL SAND & GRAVEL CORPORATION  
 Address: 125 TURNPIKE STREET  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-0024180  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 08/31/2012  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 04/24/2014  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Oil

LUST:

Facility:  
 Name: A. A. WILL SAND & GRAVEL CORPORATION  
 Address: 125 TURNPIKE STREET  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Permanent Solution with No Conditions**  
 Release Tracking Number/Current Status: 4-0024180 / PSNC  
 Status Date: 04/24/2014  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 08/31/2012  
 Category: 120 DY  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: PN - PN



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Oil Or Haz Material: Oil  
Source: PIPE  
Source: UNKNOWN  
Source: UST  
Source: TANK

[Click here to access the MA DEP site for this facility:](#)

Chemicals:  
Chemical: C5 THRU C8 ALIPHATIC HYDROCARBONS  
Quantity: 2000 milligrams per kilogram

Actions:

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 1/25/2013  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Level I - Technical Screen Audit  
Action Date: 1/3/2013  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 1/30/2014  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Level I - Technical Screen Audit  
Action Date: 10/22/2012  
Response Action Outcome: PN

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
Action Date: 11/2/2012  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Modified Revised or Updated Plan Received  
Action Date: 11/20/2012  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Modified Revised or Updated Plan Received  
Action Date: 11/27/2012  
Response Action Outcome: PN

Action Type: BOL  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 12/4/2012  
Response Action Outcome: PN

Action Type: Response Action Outcome - RAO

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Action Status:	Level I - Technical Screen Audit
Action Date:	4/2/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	4/24/2014
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	PSNRCD
Action Date:	4/24/2014
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	6/27/2013
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	7/11/2013
Response Action Outcome:	PN
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/31/2012
Response Action Outcome:	PN
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	8/31/2012
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Written Plan Received
Action Date:	9/20/2012

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Response Action Outcome: PN  
  
Action Type: Release Abatement Measure  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 9/24/2012  
Response Action Outcome: PN

**Release:**

Name: A. A. WILL SAND & GRAVEL CORPORATION  
Address: 125 TURNPIKE STREET  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-0024180 / PSNC  
Primary ID: Not reported  
Official City: CANTON  
Notification: 08/31/2012  
Category: 120 DY  
Status Date: 04/24/2014  
Phase: Not reported  
Response Action Outcome: PN - PN  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 1/25/2013  
Response Action Outcome: PN  
  
Action Type: Release Abatement Measure  
Action Status: Level I - Technical Screen Audit  
Action Date: 1/3/2013  
Response Action Outcome: PN  
  
Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 1/30/2014  
Response Action Outcome: PN  
  
Action Type: Release Abatement Measure  
Action Status: Level I - Technical Screen Audit  
Action Date: 10/22/2012  
Response Action Outcome: PN  
  
Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 11/2/2012  
Response Action Outcome: PN  
  
Action Type: Release Abatement Measure  
Action Status: Modified Revised or Updated Plan Received  
Action Date: 11/20/2012  
Response Action Outcome: PN  
  
Action Type: Release Abatement Measure

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Action Status:	Modified Revised or Updated Plan Received
Action Date:	11/27/2012
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	12/4/2012
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	Level I - Technical Screen Audit
Action Date:	4/2/2015
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	4/24/2014
Response Action Outcome:	PN
Action Type:	Response Action Outcome - RAO
Action Status:	PSNRCD
Action Date:	4/24/2014
Response Action Outcome:	PN
Action Type:	BOL
Action Status:	SHPFAC
Action Date:	6/27/2013
Response Action Outcome:	PN
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	7/11/2013
Response Action Outcome:	PN
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	8/29/2013
Response Action Outcome:	PN
Action Type:	RNFE
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	8/31/2012

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**A. A. WILL SAND & GRAVEL CORPORATION (Continued)**

**S112195319**

Response Action Outcome: PN

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 8/31/2012  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Written Plan Received  
Action Date: 9/20/2012  
Response Action Outcome: PN

Action Type: Release Abatement Measure  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 9/24/2012  
Response Action Outcome: PN

Chemicals:  
Chemical: C5 THRU C8 ALIPHATIC HYDROCARBONS  
Quantity: 2000 milligrams per kilogram  
Source: PIPE  
Source: UNKNOWN  
Source: UST  
Source: TANK

**23**  
**NE**  
**1/2-1**  
**0.810 mi.**  
**4277 ft.**  
**Relative:**  
**Higher**  
**Actual:**  
**223 ft.**

**INDIAN LINE FARM (FORMER)**  
**2391 WASHINGTON STREET (ROUTE 138)**  
**CANTON, MA 02021**

**SEMS 1000245490**  
**MA SHWS MAD980503528**  
**MA LUST**  
**MA INST CONTROL**  
**MA BROWNFIELDS**  
**MA RELEASE**  
**PRP**  
**NY MANIFEST**

SEMS:  
Site ID: 0100638  
EPA ID: MAD980503528  
Name: INDIAN LINE FARM (FORMER)  
Address: 2391 WASHINGTON STREET (ROUTE 138)  
Address 2: Not reported  
City,State,Zip: CANTON, MA 02021-1156  
Cong District: 09  
FIPS Code: 25021  
Latitude: +42.19  
Longitude: -071.11  
FF: N  
NPL: Not on the NPL  
Non NPL Status: NFRAP-Site does not qualify for the NPL based on existing information

SEMS Detail:  
Region: 01  
Site ID: 0100638  
EPA ID: MAD980503528  
Site Name: INDIAN LINE FARM (FORMER)  
NPL: N  
FF: N  
OU: 00  
Action Code: 00

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Name:	SITE REASS
SEQ:	1
Start Date:	Not reported
Finish Date:	2001-08-02 04:00:00
Qual:	L
Current Action Lead:	EPA Perf
Region:	01
Site ID:	0100638
EPA ID:	MAD980503528
Site Name:	INDIAN LINE FARM (FORMER)
NPL:	N
FF:	N
OU:	00
Action Code:	SI
Action Name:	SI
SEQ:	1
Start Date:	Not reported
Finish Date:	1987-09-30 04:00:00
Qual:	L
Current Action Lead:	EPA Perf
Region:	01
Site ID:	0100638
EPA ID:	MAD980503528
Site Name:	INDIAN LINE FARM (FORMER)
NPL:	N
FF:	N
OU:	00
Action Code:	AR
Action Name:	ADMIN REC
SEQ:	1
Start Date:	1992-12-23 05:00:00
Finish Date:	1992-12-23 05:00:00
Qual:	V
Current Action Lead:	EPA Perf
Region:	01
Site ID:	0100638
EPA ID:	MAD980503528
Site Name:	INDIAN LINE FARM (FORMER)
NPL:	N
FF:	N
OU:	00
Action Code:	PA
Action Name:	PA
SEQ:	1
Start Date:	Not reported
Finish Date:	1980-12-01 05:00:00
Qual:	H
Current Action Lead:	EPA Perf
Region:	01
Site ID:	0100638
EPA ID:	MAD980503528
Site Name:	INDIAN LINE FARM (FORMER)
NPL:	N

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

FF: N  
OU: 00  
Action Code: RV  
Action Name: RMVL  
SEQ: 1  
Start Date: 1992-12-03 05:00:00  
Finish Date: 1993-05-28 04:00:00  
Qual: C  
Current Action Lead: EPA Perf

Region: 01  
Site ID: 0100638  
EPA ID: MAD980503528  
Site Name: INDIAN LINE FARM (FORMER)  
NPL: N  
FF: N  
OU: 00  
Action Code: DS  
Action Name: DISCVRY  
SEQ: 1  
Start Date: 1980-12-01 05:00:00  
Finish Date: 1980-12-01 05:00:00  
Qual: Not reported  
Current Action Lead: EPA Perf

Region: 01  
Site ID: 0100638  
EPA ID: MAD980503528  
Site Name: INDIAN LINE FARM (FORMER)  
NPL: N  
FF: N  
OU: 00  
Action Code: VA  
Action Name: OTHR CLEANUP  
SEQ: 1  
Start Date: 2000-07-01 04:00:00  
Finish Date: 2006-07-28 04:00:00  
Qual: N  
Current Action Lead: St Ovrsght

SHWS:  
Name: INDIAN LINE FARM FMR  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Facility ID: 4-3000283  
Source Type: DRAINBASIN  
Release Town: CANTON  
Notification Date: 09/05/1985  
Category: NONE  
Associated ID: 4-3000283  
Current Status: RAO  
Status Date: 07/28/2006  
Phase: PHASE IV  
Response Action Outcome: A3  
Oil Or Haz Material: Hazardous Material

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Name: INDIAN LINE FARM FMR  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3000283  
 Source Type: UNCONTAIN  
 Release Town: CANTON  
 Notification Date: 09/05/1985  
 Category: NONE  
 Associated ID: 4-3000283  
 Current Status: RAO  
 Status Date: 07/28/2006  
 Phase: PHASE IV  
 Response Action Outcome: A3  
 Oil Or Haz Material: Hazardous Material

Name: ADJACENT TO 3-0283  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3018419  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 06/16/1999  
 Category: 120 DY  
 Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 06/16/1999  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Hazardous Material

Name: INDIAN LINE FARM  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3015313  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 02/27/1997  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 07/15/1997  
 Phase: Not reported  
 Response Action Outcome: Not reported  
 Oil Or Haz Material: Hazardous Material

Name: INDIAN LINE FARM  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3015524  
 Source Type: UNKNOWN  
 Release Town: CANTON  
 Notification Date: 09/15/1997  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAONR  
 Status Date: 11/16/1998  
 Phase: Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Response Action Outcome: Not reported  
Oil Or Haz Material: Hazardous Material

Name: INDIAN LINE FARM  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Facility ID: 4-3015487  
Source Type: UNKNOWN  
Release Town: CANTON  
Notification Date: 09/02/1997  
Category: TWO HR  
Associated ID: Not reported  
Current Status: RAONR  
Status Date: 10/27/1997  
Phase: Not reported  
Response Action Outcome: Not reported  
Oil Or Haz Material: Hazardous Material

LUST:

Facility:

Name: MDC  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
**Current Status: Response Action Outcome Not Required**  
Release Tracking Number/Current Status: 4-3016712 / RAONR  
Status Date: 06/19/1998  
Source Type: UST  
Release Town: CANTON  
Notification Date: 04/21/1998  
Category: TWO HR  
Associated ID: Not reported  
Phase: Not reported  
Response Action Outcome: -  
Oil Or Haz Material: Hazardous Material

Location Type: OPENSOURCE  
Source: UST

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: SOLVENTS, PAINTS, ETC  
Quantity: 600 parts per million

Actions:

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 10/27/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 11/1/2002  
Response Action Outcome: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	4/12/2000
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	4/21/1998
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	4/21/1998
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	6/19/1998
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	6/19/1998
Response Action Outcome:	Not reported
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	6/19/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.)

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Date: 6/4/1998  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 7/1/2002  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 7/31/2000  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 9/20/2004  
Response Action Outcome: Not reported

**INST CONTROL:**

Name: INDIAN LINE FARM FMR  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3000283  
Action Type: AUL  
Action Stat: ACTAUD  
Action Date: 12/16/2009  
Response Action Outcome: A3 - A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Name: INDIAN LINE FARM FMR  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3000283  
Action Type: AUL  
Action Stat: RECPT  
Action Date: 07/24/2006  
Response Action Outcome: A3 - A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Name: INDIAN LINE FARM FMR  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number: 4-3000283  
Action Type: AUL  
Action Stat: TSAUD  
Action Date: 02/15/2007  
Response Action Outcome: A3 - A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

**BROWNFIELDS 2:**

Name: INDIAN LINE FARM FMR  
Address: 2391 WASHINGTON ST

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

City,State,Zip: CANTON, MA  
 RTN: 4-3000283  
 RAO Class: A3  
 Other RTNs: Not reported  
 Current Owner: Dept of Conservation & Rec  
 MCP Status: RAO  
 AUL: Yes  
 COCs: PCBs  
 Former Use: Industrial, Storage Facility  
 Current Use: Not reported  
 Total Acreage: 44.8  
 Fact Sheet: Not reported

**Release:**

Name: INDIAN LINE FARM FMR  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3000283 / RAO  
 Primary ID: 4-3000283  
 Official City: CANTON  
 Notification: 09/05/1985  
 Category: NONE  
 Status Date: 07/28/2006  
 Phase: PHASE IV  
 Response Action Outcome: A3 - A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.  
 Oil / Haz Material Type: Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Release Abatement Measure  
 Action Status: Status or Interim Report Received  
 Action Date: 1/10/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 1/17/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
 Action Status: Written Plan Received  
 Action Date: 10/15/1996  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
 Action Status: Written Plan Received  
 Action Date: 10/17/1996

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 10/27/1997

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Oral Approval of Plan or Action  
Action Date: 10/30/1997

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Compliance and Enforcement Action  
Action Status: Notice of Non-Compliance Issued  
Action Date: 10/4/2004

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 11/1/2002

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Imminent Hazard Evaluation Received  
Action Date: 11/14/1997

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 11/14/1997

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 11/16/1998

Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 11/16/1998

Response Action Outcome: A permanent solution has been achieved. Contamination has not been

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 2  
Action Status: Scope of Work Received  
Action Date: 11/18/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 11/21/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Modified Revised or Updated Plan Received  
Action Date: 11/21/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Modified Revised or Updated Plan Received  
Action Date: 11/22/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Oral Approval of Plan or Action  
Action Date: 11/25/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Oral Approval of Plan or Action  
Action Date: 11/26/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Written Approval of Plan  
Action Date: 11/6/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 2  
Action Status: Completion Statement Received  
Action Date: 11/7/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

been implemented.

Action Type: Phase 3  
Action Status: Completion Statement Received  
Action Date: 11/7/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Response Action Outcome - RAO  
Action Status: Level III - Comprehensive Audit  
Action Date: 12/15/2009  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Written Approval of Plan  
Action Date: 12/16/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: An activity type that is related to an Audit  
Action Status: Notice of Non-compliance related to an Audit  
Action Date: 12/16/2009  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Activity and Use Limitation  
Action Status: Level III - Comprehensive Audit  
Action Date: 12/16/2009  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: TAG  
Action Status: GRNTEN  
Action Date: 12/31/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 4  
Action Status: Written Plan Received  
Action Date: 12/31/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Response Action Outcome - RAO  
Action Status: Level I - Technical Screen Audit  
Action Date: 2/14/2007  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	Activity and Use Limitation
Action Status:	Level I - Technical Screen Audit
Action Date:	2/15/2007
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Release Abatement Measure
Action Status:	Written Approval of Plan
Action Date:	2/16/1998
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	2/18/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	TREGS
Action Status:	BWSC05
Action Date:	2/21/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Release Abatement Measure
Action Status:	Status or Interim Report Received
Action Date:	2/5/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Release Abatement Measure



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Status: Action Date: Response Action Outcome:	Status or Interim Report Received 2/9/1998 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Status or Interim Report Received 2/9/1998 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Modified Revised or Updated Plan Received 4/11/1997 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Tier Classification Permit Extension Received 4/12/2000 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Phase 2 Scope of Work Received 4/18/1997 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Release Abatement Measure Modified Revised or Updated Plan Received 4/22/1998 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Release Abatement Measure Status or Interim Report Received 5/11/1998 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status: Action Date: Response Action Outcome:	Immediate Response Action Status or Interim Report Received 5/11/1998 A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type: Action Status:	Release Abatement Measure Written Plan Received

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Date: 5/31/1996  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 4  
 Action Status: Completion Statement Received  
 Action Date: 5/4/2006  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 4  
 Action Status: As-Built Construction Report Received  
 Action Date: 5/4/2006  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
 Action Status: Written Approval of Plan  
 Action Date: 6/1/1998  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Tier Classification  
 Action Status: RTN Linked to TCLASS Via Tier Classification Submittal  
 Action Date: 6/19/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
 Action Status: Written Approval of Plan  
 Action Date: 6/26/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
 Action Status: Written Approval of Plan  
 Action Date: 6/26/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 2  
 Action Status: Completion Statement Received  
 Action Date: 6/30/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 3  
 Action Status: Completion Statement Received  
 Action Date: 6/30/1999

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Release Abatement Measure
Action Status:	Written Approval of Plan
Action Date:	6/9/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	7/1/2002
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Activity and Use Limitation
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	7/24/2006
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	7/28/2006
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	7/31/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	An activity type that is related to an Audit
Action Status:	NOA
Action Date:	7/31/2009
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	Phase 4
Action Status:	Notice of Delay in Meeting RA Deadline Received
Action Date:	7/9/2002
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.
Action Type:	TAG
Action Status:	GRNTST
Action Date:	8/1/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 8/14/1998  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Completion Statement Received  
Action Date: 8/14/1998  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Status or Interim Report Received  
Action Date: 8/26/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 8/26/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 9/20/2004  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Compliance and Enforcement Action  
Action Status: Interim Deadline Letter Issued  
Action Date: 9/25/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Abatement Measure  
Action Status: Oral Approval of Plan or Action  
Action Date: 9/30/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Phase 2  
Action Status: Scope of Work Received  
Action Date: 9/30/1998  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

been implemented.

Action Type: Phase 2  
 Action Status: Scope of Work Received  
 Action Date: 9/4/1998  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 9/5/1985  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 9/5/1985  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Action Type: BWS20  
 Action Status: APPROV  
 Action Date: Not reported  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background and an Activity and use Limitation (AUL) has been implemented.

Chemicals:  
 Chemical: PCBS  
 Quantity: Not reported  
 Chemical: PCB  
 Quantity: Not reported  
 Location Type: INDUSTRIAL  
 Location Type: STORAG FAC  
 Source: DRAINBASIN  
 Source: UNCONTAIN

Name: INDIAN LINE FARM  
 Address: 2391 WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3015313 / RAONR  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 02/27/1997  
 Category: TWO HR  
 Status Date: 07/15/1997  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil / Haz Material Type: Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

Actions:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	10/27/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	11/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	2/27/1997
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	2/27/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	4/12/2000
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	7/1/2002
Response Action Outcome:	Not reported
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Date: 7/15/1997  
Response Action Outcome: Not reported

Action Type: RAO Not Required  
Action Status: Linked to a Tier Classified Site  
Action Date: 7/15/1997  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 7/15/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 7/31/2000  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 9/20/2004  
Response Action Outcome: Not reported

Chemicals:  
Chemical: PCB  
Quantity: 32.5 milligrams per kilogram  
Location Type: OPENSOURCE  
Source: UNKNOWN

Name: INDIAN LINE FARM  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3015487 / RAONR  
Primary ID: Not reported  
Official City: CANTON  
Notification: 09/02/1997  
Category: TWO HR  
Status Date: 10/27/1997  
Phase: Not reported  
Response Action Outcome: -  
Oil / Haz Material Type: Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

Actions:  
Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 10/27/1997  
Response Action Outcome: Not reported

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 10/27/1997  
Response Action Outcome: Not reported

Action Type: RAO Not Required

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Status:	Linked to a Tier Classified Site
Action Date:	10/27/1997
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	10/27/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	11/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	4/12/2000
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	7/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	7/31/2000
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	9/2/1997



MAP FINDINGS

Map ID  
Direction  
Distance  
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Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: IRA Assessment Only  
Action Date: 9/2/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 9/20/2004  
Response Action Outcome: Not reported

Chemicals:

Chemical: PCB  
Quantity: 53.4 parts per million  
Chemical: PCB  
Quantity: 53.4 milligrams per kilogram  
Location Type: STATE  
Source: UNKNOWN

Name: INDIAN LINE FARM  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 020210000  
Release Tracking Number/Current Status: 4-3015524 / RAONR  
Primary ID: Not reported  
Official City: CANTON  
Notification: 09/15/1997  
Category: TWO HR  
Status Date: 11/16/1998  
Phase: Not reported  
Response Action Outcome: -  
Oil / Haz Material Type: Hazardous Material

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 10/27/1997  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 10/30/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 11/1/2002  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 11/14/1997  
Response Action Outcome: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	Immediate Response Action
Action Status:	Imminent Hazard Evaluation Received
Action Date:	11/14/1997
Response Action Outcome:	Not reported
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	11/14/1997
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	2/9/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	4/12/2000
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	5/11/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal

Map ID  
Direction  
Distance  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	7/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	7/31/2000
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Status or Interim Report Received
Action Date:	8/14/1998
Response Action Outcome:	Not reported
Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	9/15/1997
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	9/15/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	9/20/2004
Response Action Outcome:	Not reported

Chemicals:

Chemical:	ARSENIC
Quantity:	27.7 milligrams per kilogram
Chemical:	LEAD
Quantity:	19900 milligrams per kilogram
Chemical:	BARIUM
Quantity:	1400 milligrams per kilogram
Source:	UNKNOWN

Name:	MDC
Address:	2391 WASHINGTON ST
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-3016712 / RAONR
Primary ID:	Not reported
Official City:	CANTON
Notification:	04/21/1998
Category:	TWO HR
Status Date:	06/19/1998
Phase:	Not reported
Response Action Outcome:	-
Oil / Haz Material Type:	Hazardous Material

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

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Actions:

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 10/27/1997  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 11/1/2002  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: RTN Linked to TCLASS Via IRA Completion Statement  
Action Date: 11/16/1998  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Tier 1B Classification  
Action Date: 2/21/1995  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 2/21/1995  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 2/21/1995  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 4/12/2000  
Response Action Outcome: Not reported

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 4/21/1998  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 4/21/1998  
Response Action Outcome: Not reported

Action Type: RAO Not Required  
Action Status: Linked to a Tier Classified Site  
Action Date: 6/19/1998  
Response Action Outcome: Not reported

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 6/19/1998  
Response Action Outcome: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	6/19/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	6/4/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	7/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	7/31/2000
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	9/20/2004
Response Action Outcome:	Not reported

Chemicals:

Chemical:	SOLVENTS, PAINTS, ETC
Quantity:	600 parts per million
Location Type:	OPENSOURCE
Source:	UST

Name:	ADJACENT TO 3-0283
Address:	2391 WASHINGTON ST
City,State,Zip:	CANTON, MA 020210000
Release Tracking Number/Current Status:	4-3018419 / RAONR
Primary ID:	Not reported
Official City:	CANTON
Notification:	06/16/1999
Category:	120 DY
Status Date:	06/16/1999
Phase:	Not reported
Response Action Outcome:	-
Oil / Haz Material Type:	Hazardous Material

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Actions:

Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	10/22/1999
Response Action Outcome:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
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**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	10/27/1997
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	11/1/2002
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via IRA Completion Statement
Action Date:	11/16/1998
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Effective Date
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Tier 1B Classification
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	2/21/1995
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received
Action Date:	4/12/2000
Response Action Outcome:	Not reported
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	6/16/1999
Response Action Outcome:	Not reported
Action Type:	RAO Not Required
Action Status:	Linked to a Tier Classified Site
Action Date:	6/16/1999
Response Action Outcome:	Not reported
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	6/16/1999
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	RTN Linked to TCLASS Via Tier Classification Submittal
Action Date:	6/19/1999
Response Action Outcome:	Not reported
Action Type:	Tier Classification
Action Status:	Permit Extension Received

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Action Date: 7/1/2002  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Effective Date  
Action Date: 7/31/2000  
Response Action Outcome: Not reported

Action Type: Tier Classification  
Action Status: Permit Extension Received  
Action Date: 9/20/2004  
Response Action Outcome: Not reported

Chemicals:  
Chemical: 2,3,7,8-TETRACHLORODIBENZO-P-DIOXIN(TCDD)  
Quantity: 0.00021258 parts per billion

PRP:  
PRP Name: METROPOLITAN DISTRICT COMMISSION  
METROPOLITAN DISTRICT COMMISSION  
TOBE DEUTSCHMANN LABS, INC.  
TOBE DEUTSCHMANN LABS, INC.  
TOBE DEUTSCHMANN LABS, INC.

NY MANIFEST:  
Name: USEPA  
Address: 2391 WASHINGTON ST  
City,State,Zip: CANTON, MA 02021  
Country: USA  
EPA ID: MAD980503528  
Facility Status: Not reported  
Location Address 1: 2391 WASHINGTON ST  
Code: BP  
Location Address 2: Not reported  
Total Tanks: Not reported  
Location City: CANTON  
Location State: MA  
Location Zip: 02021  
Location Zip 4: Not reported

NY MANIFEST:  
EPAID: MAD980503528  
Mailing Name: USEPA  
Mailing Contact: GARY LIPSON  
Mailing Address 1: 60 WESTVIEW ST  
Mailing Address 2: Not reported  
Mailing City: LEXINGTON  
Mailing State: MA  
Mailing Zip: 02173  
Mailing Zip 4: Not reported  
Mailing Country: USA  
Mailing Phone: 6178604622

Name: JOSEPH FEDERICO  
Address: 2391 WASHINGTON STREET  
City,State,Zip: CANTON, MA 00000

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**INDIAN LINE FARM (FORMER) (Continued)**

**1000245490**

Country: USA  
 EPA ID: MAP000001237  
 Facility Status: Not reported  
 Location Address 1: 2391 WASHINGTON STREET  
 Code: BP  
 Location Address 2: Not reported  
 Total Tanks: Not reported  
 Location City: CANTON  
 Location State: MA  
 Location Zip: 00000  
 Location Zip 4: Not reported

**NY MANIFEST:**

EPAID: MAP000001237  
 Mailing Name: JOSEPH FEDERICO  
 Mailing Contact: JOSEPH FEDERICO  
 Mailing Address 1: 2391 WASHINGTON STREET  
 Mailing Address 2: Not reported  
 Mailing City: CANTON  
 Mailing State: MA  
 Mailing Zip: 00000  
 Mailing Zip 4: Not reported  
 Mailing Country: USA  
 Mailing Phone: 6175880088

[Click this hyperlink](#) while viewing on your computer to access  
 -1 additional NY MANIFEST: record(s) in the EDR Site Report.

**24**  
**ESE**  
**1/2-1**  
**0.829 mi.**  
**4376 ft.**

**T/T ACCIDENT - INTERSECTION**  
**190 TURNPIKE ST (RT 138)**  
**CANTON, MA**

**MA SHWS S113882764**  
**MA RELEASE N/A**

**Relative:**  
**Higher**  
**Actual:**  
**189 ft.**

**SHWS:**  
 Name: T/T ACCIDENT - INTERSECTION  
 Address: 190 TURNPIKE ST (RT 138)  
 City,State,Zip: CANTON, MA  
 Facility ID: 4-0024704  
 Source Type: FUEL TANK  
 Release Town: CANTON  
 Notification Date: 08/02/2013  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 09/25/2013  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

Name: T/T ACCIDENT - INTERSECTION  
 Address: 190 TURNPIKE ST (RT 138)  
 City,State,Zip: CANTON, MA  
 Facility ID: 4-0024704  
 Source Type: VEHICLE  
 Release Town: CANTON  
 Notification Date: 08/02/2013



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**T/T ACCIDENT - INTERSECTION (Continued)**

**S113882764**

Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 09/25/2013  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

**Release:**

Name: T/T ACCIDENT - INTERSECTION  
 Address: 190 TURNPIKE ST (RT 138)  
 City,State,Zip: CANTON, MA  
 Release Tracking Number/Current Status: 4-0024704 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 08/02/2013  
 Category: TWO HR  
 Status Date: 09/25/2013  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Response Action Outcome - RAO  
 Action Status: Level I - Technical Screen Audit  
 Action Date: 10/4/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: BOL  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 8/15/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: BOL  
 Action Status: SHPTMP  
 Action Date: 8/15/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RLFA  
 Action Status: FLDD1A  
 Action Date: 8/2/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 8/2/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**T/T ACCIDENT - INTERSECTION (Continued)**

**S113882764**

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 8/2/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RLFA  
 Action Status: FOLFLD  
 Action Date: 8/5/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RLFA  
 Action Status: FLDD1U  
 Action Date: 8/5/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: BOL  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 8/6/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: BOL  
 Action Status: SHPFAC  
 Action Date: 9/24/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNFE  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 9/25/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 9/25/2013  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:  
 Chemical: DIESEL FUEL  
 Quantity: 100 gallons  
 Location Type: STATE  
 Location Type: ROADWAY  
 Source: VEHICLE  
 Source: FUEL TANK

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>F25</b> <b>ENE</b> <b>1/2-1</b> <b>0.849 mi.</b> <b>4483 ft.</b>	<b>@ RTE 128</b> <b>WASHINGTON ST</b> <b>CANTON, MA 02021</b>  <b>Site 1 of 2 in cluster F</b>	<b>MA SHWS</b> <b>MA RELEASE</b>	<b>S103811772</b> <b>N/A</b>
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**Relative:** SHWS:  
**Higher** Name: @ RTE 128  
**Actual:** Address: WASHINGTON ST  
**198 ft.** City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3015106  
 Source Type: TANKER  
 Release Town: CANTON  
 Notification Date: 05/16/1997  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 11/07/1997  
 Phase: Not reported  
 Response Action Outcome: A1  
 Oil Or Haz Material: Oil

Release:  
 Name: @ RTE 128  
 Address: WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3015106 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 05/16/1997  
 Category: TWO HR  
 Status Date: 11/07/1997  
 Phase: Not reported  
 Response Action Outcome: A1 - A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type:	Compliance and Enforcement Action
Action Status:	Notice of Non-Compliance Issued
Action Date:	10/2/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.
Action Type:	Response Action Outcome - RAO
Action Status:	Fee Received - FMCRA Use Only
Action Date:	11/19/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.
Action Type:	Response Action Outcome - RAO
Action Status:	RAO Statement Received
Action Date:	11/7/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**@ RTE 128 (Continued)**

**S103811772**

Action Type: RNF  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 11/7/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
 Action Status: Completion Statement Received  
 Action Date: 11/7/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 5/16/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: FLDISS  
 Action Date: 5/16/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RLFA  
 Action Status: FOLFLD  
 Action Date: 5/16/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 5/16/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 5/19/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Chemicals:  
 Chemical: #2 FUEL OIL  
 Quantity: 10 gallons  
 Chemical: FUEL OIL #2  
 Quantity: Not reported  
 Chemical: OIL  
 Quantity: Not reported  
 Chemical: DIESEL  
 Quantity: Not reported  
 Location Type: ROADWAY  
 Source: TANKER

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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<b>F26</b> <b>ENE</b> <b>1/2-1</b> <b>0.849 mi.</b> <b>4483 ft.</b>	<b>CANTON HIGH SCHOOL</b> <b>WASHINGTON ST</b> <b>CANTON, MA 02021</b>  <b>Site 2 of 2 in cluster F</b>	<b>MA SHWS</b> <b>MA LUST</b> <b>MA RELEASE</b>	<b>S104545199</b> <b>N/A</b>
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**Relative:** SHWS:  
**Higher**

**Actual:**  
**198 ft.**

Name:	CANTON HIGH SCHOOL
Address:	WASHINGTON ST
City,State,Zip:	CANTON, MA 020210000
Facility ID:	4-3011219
Source Type:	PIPE
Release Town:	CANTON
Notification Date:	06/30/1994
Category:	TWO HR
Associated ID:	Not reported
Current Status:	RAO
Status Date:	03/25/2002
Phase:	Not reported
Response Action Outcome:	A2
Oil Or Haz Material:	Oil

Name:	CANTON HIGH SCHOOL
Address:	WASHINGTON ST
City,State,Zip:	CANTON, MA 020210000
Facility ID:	4-3011219
Source Type:	UNKNOWN
Release Town:	CANTON
Notification Date:	06/30/1994
Category:	TWO HR
Associated ID:	Not reported
Current Status:	RAO
Status Date:	03/25/2002
Phase:	Not reported
Response Action Outcome:	A2
Oil Or Haz Material:	Oil

**LUST:**

**Facility:**

Name:	CANTON HIGH SCHOOL
Address:	WASHINGTON ST
City,State,Zip:	CANTON, MA 020210000
<b>Current Status:</b>	<b>Response Action Outcome</b>
Release Tracking Number/Current Status:	4-3011219 / RAO
Status Date:	03/25/2002
Source Type:	UST
Release Town:	CANTON
Notification Date:	06/30/1994
Category:	TWO HR
Associated ID:	Not reported
Phase:	Not reported
Response Action Outcome:	A2 - A permanent solution has been achieved. Contamination has not been reduced to background.
Oil Or Haz Material:	Oil

**Location Type:** WATERBODY  
**Source:** PIPE  
**Source:** UNKNOWN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Source: UST

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: #2 FUEL OIL  
Quantity: Not reported  
Chemical: #4 FUEL OIL  
Quantity: Not reported  
Chemical: #2 FUEL OIL  
Quantity: 600 gallons

Actions:

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 10/20/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 10/30/1995  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
Action Status: Written Plan Received  
Action Date: 3/24/1997  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
Action Status: RAO Statement Received  
Action Date: 3/25/2002  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 5/1/1995  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 5/7/1996  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 6/30/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	6/30/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLFLD
Action Date:	6/30/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Partial RAO for this RTN
Action Status:	RAO Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	6/30/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLFLD
Action Date:	7/1/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Partial RAO for this RTN
Action Status:	Fee Received - FMCRA Use Only
Action Date:	7/10/1995

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Legal Notice Published
Action Date:	7/13/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 2
Action Status:	Completion Statement Received
Action Date:	7/25/2000
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	7/26/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	A Notice sent to a Potentially Responsible Party (PRP)
Action Status:	A MassDEP piece of correspondence was issued (approvals, NORs, etc.
Action Date:	7/27/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 2
Action Status:	Scope of Work Received
Action Date:	7/28/1998
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	8/1/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action
Action Status:	Written Plan Received
Action Date:	8/1/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RNF
Action Status:	Reportable Release under MGL 21E
Action Date:	8/8/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Partial RAO for this RTN
Action Status:	Fee Not Required - Fee Credited-FMCRA Use Only
Action Date:	9/11/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Action Type: Phase 3  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 9/11/2000  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Release:  
 Name: CANTON HIGH SCHOOL  
 Address: WASHINGTON ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3011219 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 06/30/1994  
 Category: TWO HR  
 Status Date: 03/25/2002  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 10/20/1994  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
 Action Status: Status or Interim Report Received  
 Action Date: 10/30/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Abatement Measure  
 Action Status: Written Plan Received  
 Action Date: 3/24/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 3/25/2002  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
 Action Status: Status or Interim Report Received  
 Action Date: 5/1/1995  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Action Status:	Completion Statement Received
Action Date:	5/7/1996
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Disposition
Action Status:	Reportable Release under MGL 21E
Action Date:	6/30/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action
Action Status:	Oral Approval of Plan or Action
Action Date:	6/30/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	RLFA
Action Status:	FOLFLD
Action Date:	6/30/1994
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Transmittal, Notice, or Notification Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Tier Classification
Action Status:	Tier 2 Classification
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Phase 1
Action Status:	Completion Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Immediate Response Action
Action Status:	Completion Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Partial RAO for this RTN
Action Status:	RAO Statement Received
Action Date:	6/30/1995
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been reduced to background.
Action Type:	Release Abatement Measure
Action Status:	Completion Statement Received
Action Date:	6/30/1997
Response Action Outcome:	A permanent solution has been achieved. Contamination has not been

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

reduced to background.

Action Type: RLFA  
Action Status: FOLFLD  
Action Date: 7/1/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Partial RAO for this RTN  
Action Status: Fee Received - FMCRA Use Only  
Action Date: 7/10/1995  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Tier Classification  
Action Status: Legal Notice Published  
Action Date: 7/13/1995  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 2  
Action Status: Completion Statement Received  
Action Date: 7/25/2000  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 7/26/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 7/27/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 2  
Action Status: Scope of Work Received  
Action Date: 7/28/1998  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 8/1/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 8/1/1994  
Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CANTON HIGH SCHOOL (Continued)**

**S104545199**

Action Status: Reportable Release under MGL 21E  
 Action Date: 8/8/1994  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Partial RAO for this RTN  
 Action Status: Fee Not Required - Fee Credited-FMCRA Use Only  
 Action Date: 9/11/1997  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Phase 3  
 Action Status: Notice of Delay in Meeting RA Deadline Received  
 Action Date: 9/11/2000  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Chemicals:  
 Chemical: #2 FUEL OIL  
 Quantity: Not reported  
 Chemical: #4 FUEL OIL  
 Quantity: Not reported  
 Chemical: #2 FUEL OIL  
 Quantity: 600 gallons  
 Location Type: WATERBODY  
 Source: PIPE  
 Source: UNKNOWN  
 Source: UST

27  
SSW  
1/2-1  
0.898 mi.  
4743 ft.  
  
Relative:  
Higher  
  
Actual:  
179 ft.

**DRAPER PROPERTIES INC**  
**28 DRAPER LN**  
**CANTON, MA 02021**

**MA SHWS 1000346002**  
**MA LUST N/A**  
**MA UST**  
**MA RELEASE**  
**MA SPILLS**  
**MA AIRS**  
**MA ASBESTOS**  
**MA HW GEN**

SHWS:  
 Name: NO LOCATION AID  
 Address: 28 DRAPER LN  
 City,State,Zip: CANTON, MA 020210000  
 Facility ID: 4-3018551  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 07/25/1999  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 09/30/1999  
 Phase: Not reported  
 Response Action Outcome: A2  
 Oil Or Haz Material: Oil

LUST:  
 Facility:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Name: DRAPER BROTHERS  
 Address: 28 DRAPER LN  
 City,State,Zip: CANTON, MA 020210000  
**Current Status: Response Action Outcome**  
 Release Tracking Number/Current Status: 4-3000653 / RAO  
 Status Date: 08/11/1997  
 Source Type: UST  
 Release Town: CANTON  
 Notification Date: 01/15/1990  
 Category: NONE  
 Associated ID: Not reported  
 Phase: Not reported  
 Response Action Outcome: B1 - Remedial actions have not been conducted because a level of No Significant Risk exists.  
 Oil Or Haz Material: Oil  
 Location Type: MANUFACT  
 Location Type: INDUSTRIAL  
 Source: UST

[Click here to access the MA DEP site for this facility:](#)

Chemicals:

Chemical: VOCS  
 Quantity: Not reported

Actions:

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 1/15/1990  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Compliance and Enforcement Action  
 Action Status: RFI  
 Action Date: 1/9/1992  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: TREGS  
 Action Status: RAOEQ  
 Action Date: 8/11/1997  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 8/11/1997  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

UST:

Facility:

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Name: DRAPER PROPERTIES INC  
Address: 28 DRAPER LN  
City,State,Zip: CANTON, MA 02021  
Facility ID: 11864  
Owner Id: 1964  
Owner: DRAPER PROPERTIES INC  
Owner Address: 28 DRAPER LN  
Owner City,St,Zip: CANTON, MA 02021  
Telephone: Not reported  
Description: Not reported  
Facility address 2: Not reported  
Owner address 2: Not reported  
Latitude: 42.17327  
Longitude: -71.14210  
Contact name: Not reported  
Contact address 1: Not reported  
Contact address 2: Not reported  
Contact city: Not reported  
Contact state: Not reported  
Contact zip: Not reported  
Contact email: Not reported  
Update: 2009-03-11 00:00:00  
Update by: Not reported  
Fac status: CLOSED

Tank ID: 2  
**Tank Status: Tank Removed**  
Status Date: 05/22/1992  
Date Installed: 05/08/1955  
Capacity: 10000.00000  
Contents: Unregulate  
Tank Usage: Not reported  
Tank Leak Detection: Not reported  
Pipe Leak Detection: Not reported  
Latitude: Not reported  
Longitude: Not reported  
Tank construct: Not reported  
Pipe construct: Not reported  
Ptype: Not reported  
Number of compartment: Not reported  
Pipe install date: Not reported  
Pipe leak install date: Not reported  
Submersible sump: N  
Submersible sump install date: Not reported  
Turbine sump: N  
Turbine sump sensor: N  
Intermediate sump: N  
Intermediate sump sensor: N  
Spill bucket installed date: Not reported  
Spill bucket sensor: N  
Overfill protect install: Not reported  
Overfill protect type: Not reported  
Automatic line leak detect: Not reported  
Tank corrosion type: Not reported  
Leak corrosion type: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Tank ID: 3  
**Tank Status: Tank Removed**  
 Status Date: 05/22/1992  
 Date Installed: 05/08/1955  
 Capacity: 10000.00000  
 Contents: Unregulate  
 Tank Usage: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Leak Detection: Not reported  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Not reported  
 Pipe construct: Not reported  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Tank ID: 4  
**Tank Status: Tank Removed**  
 Status Date: 05/22/1992  
 Date Installed: 05/08/1955  
 Capacity: 10000.00000  
 Contents: Unregulate  
 Tank Usage: Not reported  
 Tank Leak Detection: Not reported  
 Pipe Leak Detection: Not reported  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Not reported  
 Pipe construct: Not reported  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

Release:

Name: DRAPER BROTHERS  
 Address: 28 DRAPER LN  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3000653 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 01/15/1990  
 Category: NONE  
 Status Date: 08/11/1997  
 Phase: Not reported  
 Response Action Outcome: B1 - Remedial actions have not been conducted because a level of No Significant Risk exists.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 1/15/1990  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Compliance and Enforcement Action  
 Action Status: RFI  
 Action Date: 1/9/1992  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: TREGS  
 Action Status: RAOEQ  
 Action Date: 8/11/1997  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 8/11/1997  
 Response Action Outcome: Remedial actions have not been conducted because a level of No Significant Risk exists.

Chemicals:

Chemical: VOCS  
 Quantity: Not reported  
 Location Type: MANUFACT  
 Location Type: INDUSTRIAL  
 Source: UST

Name: NO LOCATION AID



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Address: 28 DRAPER LN  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3018551 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 07/25/1999  
 Category: TWO HR  
 Status Date: 09/30/1999  
 Phase: Not reported  
 Response Action Outcome: A2 - A permanent solution has been achieved. Contamination has not been reduced to background.  
 Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Immediate Response Action  
 Action Status: Oral Approval of Plan or Action  
 Action Date: 7/25/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 7/25/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
 Action Date: 8/24/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: RNF  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 9/24/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 9/30/1999  
 Response Action Outcome: A permanent solution has been achieved. Contamination has not been reduced to background.

**Chemicals:**

Chemical: FUEL OIL #6  
 Quantity: 20 gallons  
 Chemical: FUEL OIL #6  
 Quantity: 10 gallons  
 Location Type: INDUSTRIAL

**MA Spills:**

Facility ID: 0000 Spill ID: N89-0462  
 Staff Lead: ROBERSON, S Date Entered: 19890525

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Last Entered:	19890928	First Response:	19890330
Spill Date:	19890330	Spill Time:	Not reported
Report Date:	19890330	Report Time:	11:25AM
Case Closed:	YES	Mat Type:	PETROLEUM
Virgin Waste:	VIRGIN	Contam Soil:	Not reported
Env Impact:	SOIL	Other Impact:	Not reported
Material:	#6 FUEL OIL	Other Material:	Not reported
Qty Reported:	51-100	Qty Actual:	UNKNOWN
Qty Reported:	GALLONS	Qty Actual:	GALLONS
CAS No:	Not reported	PCB Lev (ppm):	NONE
Source:	U.S.T.	Other Source:	Not reported
Incident:	OVERFILL	Other Incdnt:	Not reported
Cleanup Type:	---	Contractor:	NOT USED
Referral:	NO	LUST Elig:	NO
Report Prep:	Not reported	Category:	Not reported
Notifier:	Not reported		
Notif Tel:	Not reported		
Days/Close:	-132		
Facility ID:	0000	Spill ID:	N87-0832
Staff Lead:	OTTENHEIMER, D	Date Entered:	Not reported
Last Entered:	Not reported	First Response:	Not reported
Spill Date:	19870622	Spill Time:	Not reported
Report Date:	Not reported	Report Time:	Not reported
Case Closed:	YES	Mat Type:	Not reported
Virgin Waste:	Not reported	Contam Soil:	Not reported
Env Impact:	Not reported	Other Impact:	Not reported
Material:	#6 FUEL	Other Material:	Not reported
Qty Reported:	UNK	Qty Actual:	Not reported
Qty Reported:	Not reported	Qty Actual:	Not reported
CAS No:	Not reported	PCB Lev (ppm):	Not reported
Source:	Not reported	Other Source:	Not reported
Incident:	Not reported	Other Incdnt:	Not reported
Cleanup Type:	Not reported	Contractor:	Not reported
Referral:	Not reported	LUST Elig:	Not reported
Report Prep:	Not reported	Category:	Not reported
Notifier:	Not reported		
Notif Tel:	Not reported		
Days/Close:	1		
Facility ID:	0000	Spill ID:	N91-0744
Staff Lead:	FONKEM, V	Date Entered:	19911004
Last Entered:	19920305	First Response:	19910530
Spill Date:	19910530	Spill Time:	Not reported
Report Date:	19910530	Report Time:	03:05PM
Case Closed:	YES	Mat Type:	PETROLEUM
Virgin Waste:	VIRGIN	Contam Soil:	Not reported
Env Impact:	SOIL	Other Impact:	Not reported
Material:	#4 FUEL OIL	Other Material:	Not reported
Qty Reported:	-----	Qty Actual:	-----
Qty Reported:	-----	Qty Actual:	-----
CAS No:	Not reported	PCB Lev (ppm):	NONE
Source:	U.S.T.	Other Source:	Not reported
Incident:	OVERFILL	Other Incdnt:	Not reported
Cleanup Type:	---	Contractor:	NOT USED
Referral:	NO	LUST Elig:	---
Report Prep:	Not reported	Category:	Not reported

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Notifier: D LOVING/DRAPER BROS CO  
 Notif Tel: Not reported  
 Days/Close: 1

**AIRS:**

AQID: 1190110  
 Name: DRAPER PROPERTIES INCORPORATED  
 Address: 28 DRAPER LN  
 Address 2: Not reported  
 City,State,Zip: CANTON, MA 02021  
 Branch: Not reported  
 Facility Status: Not reported  
 Permit Code: Not reported  
 Permit Name: Not reported  
 Owner Name: DRAPER BROTHERS INC  
 Region: Not reported  
 Application Tracking Number: Not reported  
 Facility Account: Not reported  
 Date Closed: Not reported  
 Applicant Name: Not reported  
 Applicant Address: Not reported  
 Applicant City: Not reported  
 Applicant State: Not reported  
 Applicant Zip: Not reported  
 Applicant Telephone: Not reported  
 Primary NAICS: Y  
 NAICS Code: 531120  
 NAICS Description: Lessors of Nonresidential Buildings (except Miniwarehouses)  
 Latitude: 42.172605  
 Longitude: -71.141713

**EMI:**

AQID: 1190110  
 Pollutant: Not reported  
 Actual Emission: Not reported  
 Emission Year: 2018  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2018
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	AMMONIA
Actual Emission:	0.0298
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported

AQID:	1190110
Pollutant:	CARBON MONOXIDE
Actual Emission:	0.7806
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	HALOGENATED ORGANIC COMPOUND
Actual Emission:	0
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	HYDROCARBON
Actual Emission:	0
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	NITROGEN OXIDES (NOx)
Actual Emission:	0.9292
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	PM10, FILTERABLE
Actual Emission:	0.0177
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported



MAP FINDINGS

Map ID  
Direction  
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Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	PM2.5, FILTERABLE
Actual Emission:	0.0177
Emission Year:	2015
DEP Number:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	SULFUR DIOXIDE
Actual Emission:	0.0056
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

P10 Annual Emission Restrictions: Not reported  
 P25 Annual Emission Restrictions: Not reported  
 SO2 Annual Emission Restrictions: Not reported  
 NO2 Annual Emission Restrictions: Not reported  
 CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

AQID: 1190110  
 Pollutant: VOLATILE ORGANIC COMPOUNDS (VOC)  
 Actual Emission: 0.0511  
 Emission Year: 2015  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported  
 Manufacturer: Not reported  
 Model Number: Not reported  
 Installed Date: Not reported  
 EU Decom Date: Not reported  
 Max Input Rating: Not reported  
 Approval Number: Not reported  
 Approval Date: Not reported  
 Q1 Operation Percent: Not reported  
 Q2 Operation Percent: Not reported  
 Q3 Operation Percent: Not reported  
 Q4 Operation Percent: Not reported  
 Hours Daily: Not reported  
 Days Weekly: Not reported  
 Weeks Yearly: Not reported  
 Type of Material: Not reported  
 Case Number: Not reported  
 Throughput Data: Not reported  
 Sulfur Content Percent: Not reported  
 Ash Content Percent: Not reported  
 Operating Restrictions: Not reported  
 SCC Code: Not reported  
 SCC Description: Not reported  
 Comments: Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
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Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
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Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1190110
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2015
DEP Number:	Not reported
Facility Contact:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
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Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

ASBESTOS:

Name: DRAPER BROTHERS  
Address: 28 DRAPER LANE  
City,State,Zip: CANTON, MA  
Notification: Not reported  
DEP Region: Not reported  
Notifiers Name: Not reported  
Start Date: 07/07/2014  
End Date: 07/11/2014  
Date Entered: Not reported  
Entry Date: 07/03/2014  
Quantity Material Removed SF: 1.00  
Quantity Material Removed LF: .00  
Project Description: Trns  
AR Tracking ID: 192563  
Super Lic Number: AS61476  
Monitor Lic Number: AA000128  
Lab Lic Number: AA000128  
Year: 2014  
Sticker Number: 100202744  
Form Type: ANF-001  
Fee Status: EXEMPT  
Facility Phone: 7813630805  
Sub Town: Not reported  
Worksite: BSMNT  
Occupied: 0  
Contractor: AC000627  
Contract Type: WRITTEN  
Hours: 3-4P  
Project Type: Repr  
Abatement Process: Giv  
Location: INDOORS  
Decon Process: WET METHODS  
Disposal Methods: WASTE WILL REMAIN WET AT ALL TIMES, PLACED IN DOUBLE 6MIL LBLD POLY BAGS  
Facility Usage: OFFICE  
Waiver Given: Not reported  
DEP Waiver Number: SE 12-242  
DLWD Waiver Number: 10027-2014  
Small Owner Occ: 0  
Owner Name: DRAPER BROS  
Owner Address: 28 DRAPER LANE  
Owner City: CANTON  
Owner State: MA  
On Site Manager Name: DAVE LOVING  
On Site Manager Phone: 0000000000  
Ins Comp: XYZ  
Policy Number: 777YYD  
EXP Date: 1/15/2015  
Facility Size: 800  
Transporter Name: BANNER ENVIRONMENTAL  
Transporter Address: 16 BACK RIVER WAY  
Transporter City: DUXBURY  
Transporter State: MA  
Final Site: Not reported  
Certified Name: BETH MCKINNON  
Cert Sign Date: 07/03/2014

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Certified Company:	BANNER ENVIRO
Certified Phone:	7819346873
Entered_by:	BETHMCK
Name:	DRAPER BROTHERS
Address:	28 DRAPER LANE
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	09/12/2006
End Date:	09/19/2006
Date Entered:	Not reported
Entry Date:	08/25/2006
Quantity Material Removed SF:	100.00
Quantity Material Removed LF:	.00
Project Description:	Trns
AR Tracking ID:	72418
Super Lic Number:	AS61476
Monitor Lic Number:	AM040778
Lab Lic Number:	AA000189
Year:	2006
Sticker Number:	100038002
Form Type:	ANF-001
Fee Status:	Fifty
Facility Phone:	7818280029
Sub Town:	Not reported
Worksite:	28 DRAPER LANE
Occupied:	-1
Contractor:	AC000627
Contract Type:	WRITTEN
Hours:	Week days: 8-4 Week end:
Project Type:	Oth:PACKAGE & DISPOSAL
Abatement Process:	Disp
Location:	Indoors
Decon Process:	DISPOSAL ONLY
Disposal Methods:	WRAPPED IN 2 LAYER, 6 MIL POLY LABELED AND SEALED W/ DUCT TAPE
Facility Usage:	COMMERCIAL
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	5
Owner Name:	DRAPER BROTHERS
Owner Address:	SAME
Owner City:	Not reported
Owner State:	MA
On Site Manager Name:	Not reported
On Site Manager Phone:	Not reported
Ins Comp:	Not reported
Policy Number:	Not reported
EXP Date:	Not reported
Facility Size:	Not reported
Transporter Name:	Not reported
Transporter Address:	Not reported
Transporter City:	Not reported
Transporter State:	Not reported
Final Site:	47

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Certified Name: DIANE NELSON  
 Cert Sign Date: 08/25/2006  
 Certified Company: BANNER ENVIRO  
 Certified Phone: 7819346873  
 Entered\_by: Not reported

Name: DRAPER BROTHERS  
 Address: 28 DRAPER LANE  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 06/10/2013  
 End Date: 06/14/2013  
 Date Entered: Not reported  
 Entry Date: 05/24/2013  
 Quantity Material Removed SF: 667.00  
 Quantity Material Removed LF: .00  
 Project Description: Trns  
 AR Tracking ID: 173625  
 Super Lic Number: AS61476  
 Monitor Lic Number: AA000128  
 Lab Lic Number: AA000128  
 Year: 2013  
 Sticker Number: 100178265  
 Form Type: ANF-001  
 Fee Status: Fifty  
 Facility Phone: Not reported  
 Sub Town: Not reported  
 Worksite: SAME  
 Occupied: -1  
 Contractor: AC000627  
 Contract Type: Off  
 Hours: Week days: 8-4 Week end:  
 Project Type: Rpr  
 Abatement Process: Disp  
 Location: Indoors  
 Decon Process: PACKAGE AND DISPOSAL  
 Disposal Methods: WRAPPED IN 2 LAYES 6 MIL POLY LABELED AND SEALED  
 Facility Usage: COMMERCIAL  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: 5  
 Owner Name: DAVE LOVING  
 Owner Address: SAME  
 Owner City: Not reported  
 Owner State: MA  
 On Site Manager Name: Not reported  
 On Site Manager Phone: Not reported  
 Ins Comp: Not reported  
 Policy Number: Not reported  
 EXP Date: Not reported  
 Facility Size: Not reported  
 Transporter Name: BANNER ENVIRONMENTAL SERVIES, INC.  
 Transporter Address: 16 BACK RIVER WAY  
 Transporter City: DUXBURY



Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Transporter State:	Not reported
Final Site:	39
Certified Name:	DIANE NELSON
Cert Sign Date:	05/24/2013
Certified Company:	BANNER ENVIRO
Certified Phone:	7819346873
Entered_by:	Not reported
Name:	DRAPER KNITTING
Address:	28 DRAPER LANE
City,State,Zip:	CANTON, MA
Notification:	Not reported
DEP Region:	Not reported
Notifiers Name:	Not reported
Start Date:	08/30/2021
End Date:	08/30/2021
Date Entered:	Not reported
Entry Date:	08/11/2021
Quantity Material Removed SF:	0
Quantity Material Removed LF:	120
Project Description:	PIPEINSUL
AR Tracking ID:	370664
Super Lic Number:	AS061825
Monitor Lic Number:	Not reported
Lab Lic Number:	Not reported
Year:	2021
Sticker Number:	100351074
Form Type:	ANF-001
Fee Status:	HUNDRED
Facility Phone:	0000000000
Sub Town:	Not reported
Worksite:	WAREHOUSE AREA
Occupied:	-1
Contractor:	AC000196
Contract Type:	WRITTEN
Hours:	8AM-4
Project Type:	Renv
Abatement Process:	Fcontain
Location:	INDOORS
Decon Process:	AS REQUIRED
Disposal Methods:	AS REQUIRED
Facility Usage:	MANUFACTURING PLANT
Waiver Given:	Not reported
DEP Waiver Number:	Not reported
DLWD Waiver Number:	Not reported
Small Owner Occ:	0
Owner Name:	DRAPER KNITTING
Owner Address:	28 DRAPER LANE
Owner City:	CANTON
Owner State:	MA
On Site Manager Name:	X
On Site Manager Phone:	0000000000
Ins Comp:	X
Policy Number:	X
EXP Date:	1/1/2022
Facility Size:	100000
Transporter Name:	NEW ENGLAND SURFACE MAINTENANCE, LLP

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s) EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

Transporter Address: Transporter City: Transporter State: Final Site: Certified Name: Cert Sign Date: Certified Company: Certified Phone: Entered_by:	850 WASHINGTON STREET WEYMOUTH MA Not reported KEN FURTNEY 08/11/2021 NESM, LLP 7813372117 JIMDOYLE
Name: Address: City,State,Zip: Notification: DEP Region: Notifiers Name: Start Date: End Date: Date Entered: Entry Date: Quantity Material Removed SF: Quantity Material Removed LF: Project Description: AR Tracking ID: Super Lic Number: Monitor Lic Number: Lab Lic Number: Year: Sticker Number: Form Type: Fee Status: Facility Phone: Sub Town: Worksite: Occupied: Contractor: Contract Type: Hours: Project Type: Abatement Process: Location: Decon Process: Disposal Methods:	COMMERCIAL BUILDING 28 DRAPER LANE CANTON, MA Not reported Not reported Not reported 08/03/2020 08/05/2020 Not reported 07/17/2020 900 0 OTHER ASPHALT ROOF 346692 AS901276 AM034107 AA000222 2020 100330896 ANF-001 HUNDRED 7818280029 Not reported EXTERIOR ROOF -1 AC000864 WRITTEN 7AM TO 330PM Dem oth:EXTERIOR ROOF- LAYOUT THE POLY OUTDOORS REMOTE 3 CHAMBER DECONTAMINATION SYSTEM. ASBESTOS WILL BE CONTAINERIZED, TRANSPORTED AND PROPERLY DISPOSED AT A CERTIFIED LANDFILL.
Facility Usage: Waiver Given: DEP Waiver Number: DLWD Waiver Number: Small Owner Occ: Owner Name: Owner Address: Owner City: Owner State: On Site Manager Name: On Site Manager Phone: Ins Comp: Policy Number:	PRIVATE BUILDING Not reported Not reported Not reported 0 DRAPER PROPERTIES COMPANY 28 DRAPER LANE CANTON MA N/A 0000000000 TRAVELERS 7PJUB-7H69146

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

EXP Date: 9/24/2021  
 Facility Size: 10000  
 Transporter Name: SERVICE TRANSPORT GROUP  
 Transporter Address: 28 PRIVILEGE STREET  
 Transporter City: WOONSOCKET  
 Transporter State: RI  
 Final Site: Not reported  
 Certified Name: KUNTHEANITA SONG  
 Cert Sign Date: 07/17/2020  
 Certified Company: ACME CONTRACTORS, INC  
 Certified Phone: 8606725133  
 Entered\_by: VEASNA02724  
  
 Name: COMMERCIAL BUILDING  
 Address: 28 DRAPER LANE  
 City,State,Zip: CANTON, MA  
 Notification: Not reported  
 DEP Region: Not reported  
 Notifiers Name: Not reported  
 Start Date: 08/05/2020  
 End Date: 08/10/2020  
 Date Entered: Not reported  
 Entry Date: 08/05/2020  
 Quantity Material Removed SF: 900  
 Quantity Material Removed LF: 0  
 Project Description: OTHER ASPHALT ROOF  
 AR Tracking ID: 347816  
 Super Lic Number: AS901276  
 Monitor Lic Number: AM034107  
 Lab Lic Number: AA000222  
 Year: 2020  
 Sticker Number: 100330896R  
 Form Type: ANF-001  
 Fee Status: THIRTY FIVE  
 Facility Phone: 7818280029  
 Sub Town: Not reported  
 Worksite: EXTERIOR ROOF  
 Occupied: -1  
 Contractor: AC000864  
 Contract Type: WRITTEN  
 Hours: 7AM TO 330PM  
 Project Type: Dem  
 Abatement Process: oth:EXTERIOR ROOF- LAYOUT THE POLY  
 Location: OUTDOORS  
 Decon Process: REMOTE 3 CHAMBER DECONTAMINATION SYSTEM.  
 Disposal Methods: ASBESTOS WILL BE CONTAINERIZED, TRANSPORTED AND PROPERLY DISPOSED AT A CERTIFIED LANDFILL.  
  
 Facility Usage: PRIVATE BUILDING  
 Waiver Given: Not reported  
 DEP Waiver Number: Not reported  
 DLWD Waiver Number: Not reported  
 Small Owner Occ: 0  
 Owner Name: DRAPER PROPERTIES COMPANY  
 Owner Address: 28 DRAPER LANE  
 Owner City: CANTON  
 Owner State: MA  
 On Site Manager Name: N/A

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s) EDR ID Number  
 EPA ID Number

**DRAPER PROPERTIES INC (Continued)**

**1000346002**

On Site Manager Phone: 0000000000  
 Ins Comp: TRAVELERS  
 Policy Number: 7PJUB-7H69146  
 EXP Date: 9/24/2021  
 Facility Size: 10000  
 Transporter Name: SERVICE TRANSPORT GROUP  
 Transporter Address: 28 PRIVILEGE STREET  
 Transporter City: WOONSOCKET  
 Transporter State: RI  
 Final Site: Not reported  
 Certified Name: KUNTHEANITA SONG  
 Cert Sign Date: 08/05/2020  
 Certified Company: ACME CONTRACTORS, INC  
 Certified Phone: 8606725133  
 Entered\_by: VEASNA02724

**HW GEN:**

Name: PAYNE ENGINEERING & FABRICATIONS INC  
 Address: 28 DRAPER LN  
 City,State,Zip: CANTON, MA 02021  
 EPA Id: MAC300102738  
 RCRA Generator Status: VSQG  
 State Generator Status: VQG-MA

**28**  
**WSW**  
**1/2-1**  
**0.909 mi.**  
**4802 ft.**

**CHILI CONSTRUCTION MILL**  
**50 HUDSON RD**  
**CANTON, MA 02021**

**MA SHWS** **S111022545**  
**MA RELEASE** **N/A**  
**MA HW GEN**

**Relative:**  
**Higher**  
**Actual:**  
**99 ft.**

**SHWS:**

Name: EQUIPNET, INC.  
 Address: 50 HUDSON ROAD  
 City,State,Zip: CANTON, MA  
 Facility ID: 4-0023248  
 Source Type: FUEL TANK  
 Release Town: CANTON  
 Notification Date: 05/02/2011  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 05/24/2011  
 Phase: Not reported  
 Response Action Outcome: A1  
 Oil Or Haz Material: Oil

Name: EQUIPNET, INC.  
 Address: 50 HUDSON ROAD  
 City,State,Zip: CANTON, MA  
 Facility ID: 4-0023248  
 Source Type: VEHICLE  
 Release Town: CANTON  
 Notification Date: 05/02/2011  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: RAO  
 Status Date: 05/24/2011

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**CHILI CONSTRUCTION MILL (Continued)**

**S111022545**

Phase: Not reported  
Response Action Outcome: A1  
Oil Or Haz Material: Oil

**Release:**

Name: EQUIPNET, INC.  
Address: 50 HUDSON ROAD  
City,State,Zip: CANTON, MA  
Release Tracking Number/Current Status: 4-0023248 / RAO  
Primary ID: Not reported  
Official City: CANTON  
Notification: 05/02/2011  
Category: TWO HR  
Status Date: 05/24/2011  
Phase: Not reported  
Response Action Outcome: A1 - A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

**Actions:**

Action Type: Response Action Outcome - RAO  
Action Status: Level I - Technical Screen Audit  
Action Date: 1/4/2012  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RLFA  
Action Status: FLDRUN  
Action Date: 1/5/2012  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Response Action Outcome - RAO  
Action Status: Level I - Technical Screen Audit  
Action Date: 11/23/2011  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 5/17/2011  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 5/2/2011  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RLFA  
Action Status: FLDD1U  
Action Date: 5/2/2011  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced

MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**CHILI CONSTRUCTION MILL (Continued)**

**S111022545**

to background or a threat of release has been eliminated.

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 5/2/2011  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Response Action Outcome - RAO  
 Action Status: RAO Statement Received  
 Action Date: 5/24/2011  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RNFE  
 Action Status: Transmittal, Notice, or Notification Received  
 Action Date: 5/24/2011  
 Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Chemicals:  
 Chemical: DIESEL FUEL  
 Quantity: 30 gallons  
 Location Type: INDUSTRIAL  
 Location Type: PRIVPROP  
 Source: VEHICLE  
 Source: FUEL TANK

HW GEN:  
 Name: CHILI CONSTRUCTION MILL  
 Address: 50 HUDSON RD  
 City, State, Zip: CANTON, MA 02021  
 EPA Id: MAR000596726  
 RCRA Generator Status: VSQG  
 State Generator Status: SQG-MA

**29**  
**West**  
**1/2-1**  
**0.915 mi.**  
**4831 ft.**

**SANOI PASTEUR BIOLOGICS**  
**90 SHAWMUT ROAD**  
**CANTON, MA 02021**

**MA SHWS** **S112552682**  
**MA RELEASE** **N/A**  
**MA AIRS**  
**MA HW GEN**

**Relative:** SHWS:  
**Lower** Name: SANOI PASTEUR BIOLOGICS  
**Actual:** Address: 90 SHAWMUT ROAD  
**65 ft.** City, State, Zip: CANTON, MA 020210000  
 Facility ID: 4-0026123  
 Source Type: TRANSFORM  
 Release Town: CANTON  
 Notification Date: 05/25/2016  
 Category: TWO HR  
 Associated ID: Not reported  
 Current Status: PSNC  
 Status Date: 03/28/2017  
 Phase: Not reported  
 Response Action Outcome: PN  
 Oil Or Haz Material: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Release:

Name: SANOFI PASTEUR BIOLOGICS  
 Address: 90 SHAWMUT ROAD  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-0026123 / PSNC  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 05/25/2016  
 Category: TWO HR  
 Status Date: 03/28/2017  
 Phase: Not reported  
 Response Action Outcome: PN - PN  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Immediate Response Action  
 Action Status: Status or Interim Report Received  
 Action Date: 10/3/2016  
 Response Action Outcome: PN

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
 Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.)  
 Action Date: 12/6/2016  
 Response Action Outcome: PN

Action Type: Immediate Response Action  
 Action Status: Completion Statement Received  
 Action Date: 3/28/2017  
 Response Action Outcome: PN

Action Type: Response Action Outcome - RAO  
 Action Status: PSNRCD  
 Action Date: 3/28/2017  
 Response Action Outcome: PN

Action Type: Immediate Response Action  
 Action Status: Level I - Technical Screen Audit  
 Action Date: 4/25/2017  
 Response Action Outcome: PN

Action Type: Response Action Outcome - RAO  
 Action Status: Fee Received - FMCRA Use Only  
 Action Date: 4/3/2017  
 Response Action Outcome: PN

Action Type: Release Disposition  
 Action Status: Reportable Release under MGL 21E  
 Action Date: 5/25/2016  
 Response Action Outcome: PN

Action Type: RLFA  
 Action Status: FLDRUN  
 Action Date: 6/27/2017  
 Response Action Outcome: PN

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Action Type: RNFE  
Action Status: Transmittal, Notice, or Notification Received  
Action Date: 7/15/2016  
Response Action Outcome: PN

Action Type: Immediate Response Action  
Action Status: Status or Interim Report Received  
Action Date: 7/25/2016  
Response Action Outcome: PN

Action Type: Immediate Response Action  
Action Status: Written Plan Received  
Action Date: 7/29/2016  
Response Action Outcome: PN

Action Type: Immediate Response Action  
Action Status: Level I - Technical Screen Audit  
Action Date: 9/13/2016  
Response Action Outcome: PN

Chemicals:  
Chemical: Not reported  
Quantity: Not reported  
Location Type: COMMERCIAL  
Source: TRANSFORM

AIRS:  
AQID: 1191836  
Name: EMERGENT BIOSOLUTIONS INC  
Address: 90 SHAWMUT RD  
Address 2: Not reported  
City,State,Zip: CANTON, MA 02021  
Branch: Not reported  
Facility Status: Not reported  
Permit Code: Not reported  
Permit Name: Not reported  
Owner Name: SANOI PASTEUR BIOLOGICS CANTON FACILITY  
Region: Not reported  
Application Tracking Number: Not reported  
Facility Account: Not reported  
Date Closed: Not reported  
Applicant Name: Not reported  
Applicant Address: Not reported  
Applicant City: Not reported  
Applicant State: Not reported  
Applicant Zip: Not reported  
Applicant Telephone: Not reported  
Primary NAICS: Y  
NAICS Code: 325414  
NAICS Description: Biological Product (except Diagnostic) Manufacturing  
Latitude: 42.183575  
Longitude: -71.151824

EMI:  
AQID: 1191836  
Pollutant: AMMONIA  
Actual Emission: 0.0496



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOBI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**SANOI PASTEUR BIOLOGICS (Continued)**

**S112552682**

NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	CARBON MONOXIDE
Actual Emission:	1.302
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	HALOGENATED ORGANIC COMPOUND
Actual Emission:	0
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
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Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Category Type: Not reported  
 Emergency Gen: Not reported  
 EU Combined Units: Not reported  
 Chemical Name: Not reported  
 Max Hourly Fuel Rating: Not reported  
 Max UOM: Not reported  
 Segment Decom Date: Not reported  
 Actual Material Used: Not reported  
 Actual Material Used UOM: Not reported  
 P10 Annual Emission Restrictions: Not reported  
 P25 Annual Emission Restrictions: Not reported  
 SO2 Annual Emission Restrictions: Not reported  
 NO2 Annual Emission Restrictions: Not reported  
 CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

AQID: 1191836  
 Pollutant: HYDROCARBON  
 Actual Emission: 0  
 Emission Year: 2013  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported  
 Manufacturer: Not reported  
 Model Number: Not reported  
 Installed Date: Not reported  
 EU Decom Date: Not reported  
 Max Input Rating: Not reported  
 Approval Number: Not reported  
 Approval Date: Not reported  
 Q1 Operation Percent: Not reported  
 Q2 Operation Percent: Not reported  
 Q3 Operation Percent: Not reported  
 Q4 Operation Percent: Not reported  
 Hours Daily: Not reported  
 Days Weekly: Not reported  
 Weeks Yearly: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Object ID: Not reported  
 NAICS Code Count: Not reported  
 Primary NAICS: Not reported  
 Release Point: Not reported  
 Stack Combined Units: Not reported  
 Stack Decom Date: Not reported  
 DEP Segment Number: Not reported  
 Category Type: Not reported  
 Emergency Gen: Not reported  
 EU Combined Units: Not reported  
 Chemical Name: Not reported  
 Max Hourly Fuel Rating: Not reported  
 Max UOM: Not reported  
 Segment Decom Date: Not reported  
 Actual Material Used: Not reported  
 Actual Material Used UOM: Not reported  
 P10 Annual Emission Restrictions: Not reported  
 P25 Annual Emission Restrictions: Not reported  
 SO2 Annual Emission Restrictions: Not reported  
 NO2 Annual Emission Restrictions: Not reported  
 CO Annual Emission Restrictions: Not reported  
 PB Annual Emission Restrictions: Not reported  
 NH3 Annual Emission Restrictions: Not reported  
 VOC Annual Emission Restrictions: Not reported

AQID: 1191836  
 Pollutant: NITROGEN OXIDES (NOx)  
 Actual Emission: 1.55  
 Emission Year: 2013  
 DEP Number: Not reported  
 Facility Contact: Not reported  
 Contact Telephone: Not reported  
 Contact Email: Not reported  
 Region Code: Not reported  
 FMF ID: Not reported  
 ORIS Code: Not reported  
 AQ Class: Not reported  
 NAICS Code: Not reported  
 NAICS Description: Not reported  
 DEP Stack Number: Not reported  
 Stack Height: Not reported  
 Stack Diameter: Not reported  
 Stack Liner: Not reported  
 Stack Max Temp: Not reported  
 Stack Max Velocity: Not reported  
 Stack Flow: Not reported  
 DEP EU Number: Not reported  
 Segment Number: Not reported  
 Is Exempt From 702: Not reported  
 Equipment Type Name: Not reported  
 Manufacturer: Not reported  
 Model Number: Not reported  
 Installed Date: Not reported  
 EU Decom Date: Not reported  
 Max Input Rating: Not reported  
 Approval Number: Not reported  
 Approval Date: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	PM10, FILTERABLE
Actual Emission:	0.0295
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported

AQID:	1191836
Pollutant:	PM2.5, FILTERABLE
Actual Emission:	0.0295
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	SULFUR DIOXIDE
Actual Emission:	0.0093
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	VOLATILE ORGANIC COMPOUNDS (VOC)
Actual Emission:	0.0853
Emission Year:	2013

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOI PASTEUR BIOLOGICS (Continued)**

**S112552682**

NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOBI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
S02 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported

MAP FINDINGS

Map ID	Direction	Distance	Elevation	Site	Database(s)	EDR ID Number	EPA ID Number
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**SANOI PASTEUR BIOLOGICS (Continued)**

**S112552682**

NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOPI PASTEUR BIOLOGICS (Continued)**

**S112552682**

NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported
Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported
VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported
AQID:	1191836
Pollutant:	Not reported
Actual Emission:	Not reported
Emission Year:	2013
DEP Number:	Not reported
Facility Contact:	Not reported
Contact Telephone:	Not reported
Contact Email:	Not reported
Region Code:	Not reported
FMF ID:	Not reported
ORIS Code:	Not reported
AQ Class:	Not reported
NAICS Code:	Not reported
NAICS Description:	Not reported
DEP Stack Number:	Not reported
Stack Height:	Not reported
Stack Diameter:	Not reported
Stack Liner:	Not reported
Stack Max Temp:	Not reported

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**SANOFI PASTEUR BIOLOGICS (Continued)**

**S112552682**

Stack Max Velocity:	Not reported
Stack Flow:	Not reported
DEP EU Number:	Not reported
Segment Number:	Not reported
Is Exempt From 702:	Not reported
Equipment Type Name:	Not reported
Manufacturer:	Not reported
Model Number:	Not reported
Installed Date:	Not reported
EU Decom Date:	Not reported
Max Input Rating:	Not reported
Approval Number:	Not reported
Approval Date:	Not reported
Q1 Operation Percent:	Not reported
Q2 Operation Percent:	Not reported
Q3 Operation Percent:	Not reported
Q4 Operation Percent:	Not reported
Hours Daily:	Not reported
Days Weekly:	Not reported
Weeks Yearly:	Not reported
Type of Material:	Not reported
Case Number:	Not reported
Throughput Data:	Not reported
Sulfur Content Percent:	Not reported
Ash Content Percent:	Not reported
Operating Restrictions:	Not reported
SCC Code:	Not reported
SCC Description:	Not reported
Comments:	Not reported
P10 Act Amount:	Not reported
P10 Act UOM:	Not reported
P10 POT Amount:	Not reported
P10 POT UOM:	Not reported
P10 Per Amount:	Not reported
P10 Per UOM:	Not reported
SO2 Act Amount:	Not reported
SO2 Act UOM:	Not reported
SO2 POT Amount:	Not reported
SO2 POT UOM:	Not reported
SO2 Per Amount:	Not reported
SO2 Per UOM:	Not reported
NO2 Act Amount:	Not reported
NO2 Act UOM:	Not reported
NO2 POT Amount:	Not reported
NO2 POT UOM:	Not reported
NO2 Per Amount:	Not reported
NO2 Per UOM:	Not reported
CO Act Amount:	Not reported
CO Act UOM:	Not reported
CO POT Amount:	Not reported
CO POT UOM:	Not reported
CO Per Amount:	Not reported
CO Per UOM:	Not reported
VOC Act Amount:	Not reported
VOC Act UOM:	Not reported
VOC POT Amount:	Not reported
VOC POT UOM:	Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Database(s)      EDR ID Number  
 EPA ID Number

**SANOI PASTEUR BIOLOGICS (Continued)**

**S112552682**

VOC Per Amount:	Not reported
VOC Per UOM:	Not reported
PB Act Amount:	Not reported
PB Act UOM:	Not reported
PB POT Amount:	Not reported
PB POT UOM:	Not reported
PB Per Amount:	Not reported
PB Per UOM:	Not reported
P25 Act Amount:	Not reported
P25 Act UOM:	Not reported
P25 POT Amount:	Not reported
P25 POT UOM:	Not reported
P25 Per Amount:	Not reported
P25 Per UOM:	Not reported
NH3 Act Amount:	Not reported
NH3 Act UOM:	Not reported
NH3 POT Amount:	Not reported
NH3 POT UOM:	Not reported
NH3 Per Amount:	Not reported
NH3 Per UOM:	Not reported
Object ID:	Not reported
NAICS Code Count:	Not reported
Primary NAICS:	Not reported
Release Point:	Not reported
Stack Combined Units:	Not reported
Stack Decom Date:	Not reported
DEP Segment Number:	Not reported
Category Type:	Not reported
Emergency Gen:	Not reported
EU Combined Units:	Not reported
Chemical Name:	Not reported
Max Hourly Fuel Rating:	Not reported
Max UOM:	Not reported
Segment Decom Date:	Not reported
Actual Material Used:	Not reported
Actual Material Used UOM:	Not reported
P10 Annual Emission Restrictions:	Not reported
P25 Annual Emission Restrictions:	Not reported
SO2 Annual Emission Restrictions:	Not reported
NO2 Annual Emission Restrictions:	Not reported
CO Annual Emission Restrictions:	Not reported
PB Annual Emission Restrictions:	Not reported
NH3 Annual Emission Restrictions:	Not reported
VOC Annual Emission Restrictions:	Not reported

HW GEN:  
 Name: EMERGENT BIOSOLUTIONS INC  
 Address: 90 SHAWMUT RD  
 City,State,Zip: CANTON, MA 02021  
 EPA Id: MAD981887029  
 RCRA Generator Status: SQG  
 State Generator Status: VQG-MA



MAP FINDINGS

Map ID Direction Distance Elevation	Site	Database(s)	EDR ID Number EPA ID Number
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**30**  
**ESE**  
**1/2-1**  
**0.917 mi.**  
**4841 ft.**

**Relative:**  
**Higher**  
**Actual:**  
**198 ft.**

**JIFFY LUBE 1137**  
**239 TURNPIKE ST**  
**CANTON, MA 02021**

**MA SHWS 1000231159**  
**MA UST MAD982710725**  
**MA AST**  
**MA RELEASE**  
**RCRA NonGen / NLR**  
**RI MANIFEST**

**SHWS:**  
Name: JIFFY LUBE  
Address: 239 TURNPIKE ST  
City,State,Zip: CANTON, MA 020210000  
Facility ID: 4-3018664  
Source Type: DRUMS  
Release Town: CANTON  
Notification Date: 08/19/1999  
Category: TWO HR  
Associated ID: Not reported  
Current Status: RAO  
Status Date: 12/15/1999  
Phase: Not reported  
Response Action Outcome: A1  
Oil Or Haz Material: Oil

**UST:**

**Facility:**  
Name: JIFFY LUBE STORE #1137  
Address: 239 TURNPIKE ST  
City,State,Zip: CANTON, MA 02021  
Facility ID: 20203  
Owner Id: 9525  
Owner: JIFFY LUBE INTERNATIONAL INC  
Owner Address: 700 MILAM  
Owner City,St,Zip: HOUSTON, TX 77210  
Telephone: Not reported  
Description: Not reported  
Facility address 2: Not reported  
Owner address 2: PO BOX 4427  
Latitude: 42.17836  
Longitude: -71.11382  
Contact name: Not reported  
Contact address1: Not reported  
Contact address2: Not reported  
Contact city: Not reported  
Contact state: Not reported  
Contact zip: Not reported  
Contact email: Not reported  
Update: 2013-05-29 00:00:00  
Update by: Not reported  
Fac status: CLOSED

Tank ID: 1  
**Tank Status: Tank Removed**  
Status Date: 04/07/2003  
Date Installed: 03/01/1989  
Capacity: 500.00000  
Contents: Unregulate  
Tank Usage: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)****1000231159**

Tank Leak Detection: Continuous Interstitial Monitoring  
 Pipe Leak Detection: Not reported  
 Latitude: Not reported  
 Longitude: Not reported  
 Tank construct: Double-walled metal tank (cathodic protection required)  
 Pipe construct: Single-walled metal (Corrosion protection required)  
 Ptype: Not reported  
 Number of compartment: Not reported  
 Pipe install date: Not reported  
 Pipe leak install date: Not reported  
 Submersible sump: N  
 Submersible sump install date: Not reported  
 Turbine sump: N  
 Turbine sump sensor: N  
 Intermediate sump: N  
 Intermediate sump sensor: N  
 Spill bucket installed date: Not reported  
 Spill bucket sensor: N  
 Overfill protect install: Not reported  
 Overfill protect type: Not reported  
 Automatic line leak detect: Not reported  
 Tank corrosion type: Not reported  
 Leak corrosion type: Not reported

**AST:**

Facility ID: 20203  
 Name: JIFFY LUBE STORE #1137  
 Address: 239 TURNPIKE ST  
 City, State, Zip: CANTON, MA 02021  
 Owner ID: 44814  
 Owner Address: PO BOX 2967  
 Owner City: HOUSTON  
 Owner State: TX  
 Owner Zip: 77252  
 Owner Name: JIFFY LUBE INTERNATIONAL INC  
 Tank Type: Not reported  
 Class: Not reported  
 Stage I Type: Not reported  
 CARB # or System Type: Not reported  
 Test Cycle: Not reported  
 Date Form Mailed: Not reported  
 Test Date: Not reported  
 Postmark Date: Not reported  
 Due Date: Not reported  
 Product Type: Not reported  
 Vapor Type: Not reported  
 Form: Not reported  
 Form Rcvd and Complete: Not reported  
 Description: Quick Lube Oil Change  
 Telephone: (781) 858-3951  
 Fire Department: 21050  
 Date of Inspection: Not reported  
 Inspector: Not reported  
 Overfill Prevention: Not reported  
 Tank ID: 4  
 Serial Number: Not reported  
 Spill Prevention: Not reported

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**JIFFY LUBE 1137 (Continued)**

**1000231159**

Tank Status:	In Use
Capacity:	2000
Contents:	Waste Oil
Tank Use:	Other
Tank Material:	Steel
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel
Pipe Construction:	1 Wall
Pipe Leak Detection:	Not reported
Aboveground:	Y
Facility ID:	20203
Name:	JIFFY LUBE STORE #1137
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
Owner ID:	44814
Owner Address:	PO BOX 2967
Owner City:	HOUSTON
Owner State:	TX
Owner Zip:	77252
Owner Name:	JIFFY LUBE INTERNATIONAL INC
Tank Type:	Not reported
Class:	Not reported
Stage I Type:	Not reported
CARB # or System Type:	Not reported
Test Cycle:	Not reported
Date Form Mailed:	Not reported
Test Date:	Not reported
Postmark Date:	Not reported
Due Date:	Not reported
Product Type:	Not reported
Vapor Type:	Not reported
Form:	Not reported
Form Rcvd and Complete:	Not reported
Description:	Quick Lube Oil Change
Telephone:	(781) 858-3951
Fire Department:	21050
Date of Inspection:	Not reported
Inspector:	Not reported
Overfill Prevention:	Not reported
Tank ID:	2
Serial Number:	Not reported
Spill Prevention:	Not reported
Tank Status:	In Use
Capacity:	2000
Contents:	New Oil
Tank Use:	Other
Tank Material:	Steel
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel
Pipe Construction:	1 Wall
Pipe Leak Detection:	Not reported
Aboveground:	Y
Facility ID:	20203

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Name:	JIFFY LUBE STORE #1137
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
Owner ID:	44814
Owner Address:	PO BOX 2967
Owner City:	HOUSTON
Owner State:	TX
Owner Zip:	77252
Owner Name:	JIFFY LUBE INTERNATIONAL INC
Tank Type:	Not reported
Class:	Not reported
Stage I Type:	Not reported
CARB # or System Type:	Not reported
Test Cycle:	Not reported
Date Form Mailed:	Not reported
Test Date:	Not reported
Postmark Date:	Not reported
Due Date:	Not reported
Product Type:	Not reported
Vapor Type:	Not reported
Form:	Not reported
Form Rcvd and Complete:	Not reported
Description:	Quick Lube Oil Change
Telephone:	(781) 858-3951
Fire Department:	21050
Date of Inspection:	Not reported
Inspector:	Not reported
Overfill Prevention:	Not reported
Tank ID:	3
Serial Number:	Not reported
Spill Prevention:	Not reported
Tank Status:	In Use
Capacity:	2000
Contents:	New Oil
Tank Use:	Other
Tank Material:	Steel
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel
Pipe Construction:	1 Wall
Pipe Leak Detection:	Not reported
Aboveground:	Y
Facility ID:	20203
Name:	JIFFY LUBE STORE #1137
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
Owner ID:	44814
Owner Address:	PO BOX 2967
Owner City:	HOUSTON
Owner State:	TX
Owner Zip:	77252
Owner Name:	JIFFY LUBE INTERNATIONAL INC
Tank Type:	Not reported
Class:	Not reported
Stage I Type:	Not reported
CARB # or System Type:	Not reported

MAP FINDINGS

Map ID Direction Distance Elevation		Database(s)	EDR ID Number EPA ID Number
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**JIFFY LUBE 1137 (Continued)**

**1000231159**

Test Cycle:	Not reported
Date Form Mailed:	Not reported
Test Date:	Not reported
Postmark Date:	Not reported
Due Date:	Not reported
Product Type:	Not reported
Vapor Type:	Not reported
Form:	Not reported
Form Rcvd and Complete:	Not reported
Description:	Quick Lube Oil Change
Telephone:	(781) 858-3951
Fire Department:	21050
Date of Inspection:	Not reported
Inspector:	Not reported
Overfill Prevention:	Not reported
Tank ID:	5
Serial Number:	Not reported
Spill Prevention:	Not reported
Tank Status:	In Use
Capacity:	235
Contents:	New Oil
Tank Use:	Other
Tank Material:	Steel
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel
Pipe Construction:	1 Wall
Pipe Leak Detection:	Not reported
Aboveground:	Y
Facility ID:	20203
Name:	JIFFY LUBE STORE #1137
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
Owner ID:	44814
Owner Address:	PO BOX 2967
Owner City:	HOUSTON
Owner State:	TX
Owner Zip:	77252
Owner Name:	JIFFY LUBE INTERNATIONAL INC
Tank Type:	Not reported
Class:	Not reported
Stage I Type:	Not reported
CARB # or System Type:	Not reported
Test Cycle:	Not reported
Date Form Mailed:	Not reported
Test Date:	Not reported
Postmark Date:	Not reported
Due Date:	Not reported
Product Type:	Not reported
Vapor Type:	Not reported
Form:	Not reported
Form Rcvd and Complete:	Not reported
Description:	Quick Lube Oil Change
Telephone:	(781) 858-3951
Fire Department:	21050
Date of Inspection:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Inspector:	Not reported
Overfill Prevention:	Not reported
Tank ID:	7
Serial Number:	Not reported
Spill Prevention:	Not reported
Tank Status:	In Use
Capacity:	235
Contents:	ATF
Tank Use:	Not reported
Tank Material:	Steel
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel
Pipe Construction:	1 Wall
Pipe Leak Detection:	Not reported
Aboveground:	Y
Facility ID:	20203
Name:	JIFFY LUBE STORE #1137
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
Owner ID:	44814
Owner Address:	PO BOX 2967
Owner City:	HOUSTON
Owner State:	TX
Owner Zip:	77252
Owner Name:	JIFFY LUBE INTERNATIONAL INC
Tank Type:	Not reported
Class:	Not reported
Stage I Type:	Not reported
CARB # or System Type:	Not reported
Test Cycle:	Not reported
Date Form Mailed:	Not reported
Test Date:	Not reported
Postmark Date:	Not reported
Due Date:	Not reported
Product Type:	Not reported
Vapor Type:	Not reported
Form:	Not reported
Form Rcvd and Complete:	Not reported
Description:	Quick Lube Oil Change
Telephone:	(781) 858-3951
Fire Department:	21050
Date of Inspection:	Not reported
Inspector:	Not reported
Overfill Prevention:	Not reported
Tank ID:	8
Serial Number:	Not reported
Spill Prevention:	Not reported
Tank Status:	In Use
Capacity:	240
Contents:	Other
Tank Use:	Not reported
Tank Material:	Rigid Plas
Tank Construction:	1 Wall
Tank Leak Detection:	Not reported
Pipe Material:	Steel

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Pipe Construction: 1 Wall  
 Pipe Leak Detection: Not reported  
 Aboveground: Y

Facility ID: 20203  
 Name: JIFFY LUBE STORE #1137  
 Address: 239 TURNPIKE ST  
 City,State,Zip: CANTON, MA 02021  
 Owner ID: 44814  
 Owner Address: PO BOX 2967  
 Owner City: HOUSTON  
 Owner State: TX  
 Owner Zip: 77252  
 Owner Name: JIFFY LUBE INTERNATIONAL INC  
 Tank Type: Not reported  
 Class: Not reported  
 Stage I Type: Not reported  
 CARB # or System Type: Not reported  
 Test Cycle: Not reported  
 Date Form Mailed: Not reported  
 Test Date: Not reported  
 Postmark Date: Not reported  
 Due Date: Not reported  
 Product Type: Not reported  
 Vapor Type: Not reported  
 Form: Not reported  
 Form Rcvd and Complete: Not reported  
 Description: Quick Lube Oil Change  
 Telephone: (781) 858-3951  
 Fire Department: 21050  
 Date of Inspection: Not reported  
 Inspector: Not reported  
 Overfill Prevention: Not reported  
 Tank ID: 6  
 Serial Number: Not reported  
 Spill Prevention: Not reported  
 Tank Status: In Use  
 Capacity: 235  
 Contents: Used Antif  
 Tank Use: Other  
 Tank Material: Steel  
 Tank Construction: 1 Wall  
 Tank Leak Detection: Not reported  
 Pipe Material: Steel  
 Pipe Construction: 1 Wall  
 Pipe Leak Detection: Not reported  
 Aboveground: Y

Release:  
 Name: JIFFY LUBE  
 Address: 239 TURNPIKE ST  
 City,State,Zip: CANTON, MA 020210000  
 Release Tracking Number/Current Status: 4-3018664 / RAO  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 08/19/1999  
 Category: TWO HR

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Status Date: 12/15/1999  
Phase: Not reported  
Response Action Outcome: A1 - A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.  
Oil / Haz Material Type: Oil

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: A MassDEP piece of correspondence was issued (approvals, NORs, etc.  
Action Date: 10/5/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 11/1/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Response Action Outcome - RAO  
Action Status: RAO Statement Received  
Action Date: 12/15/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
Action Status: Completion Statement Received  
Action Date: 12/15/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Immediate Response Action  
Action Status: Oral Approval of Plan or Action  
Action Date: 8/19/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: A Notice sent to a Potentially Responsible Party (PRP)  
Action Status: FLDISS  
Action Date: 8/19/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: Release Disposition  
Action Status: Reportable Release under MGL 21E  
Action Date: 8/19/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.

Action Type: RNF  
Action Status: Reportable Release under MGL 21E  
Action Date: 9/16/1999  
Response Action Outcome: A permanent solution has been achieved. Contamination has been reduced to background or a threat of release has been eliminated.



MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Chemicals:

Chemical:	WASTE OIL
Quantity:	15 gallons
Chemical:	WASTE OIL
Quantity:	30 gallons
Chemical:	WASTE OIL
Quantity:	20 gallons
Location Type:	ROADWAY
Source:	DRUMS

RCRA Listings:

Date Form Received by Agency:	20151207
Handler Name:	Jiffy Lube 1137
Handler Address:	239 TURNPIKE ST
Handler City,State,Zip:	CANTON, MA 02021
EPA ID:	MAD982710725
Contact Name:	CHRIS HANAK
Contact Address:	105 DECKER CT
Contact City,State,Zip:	IRVING, TX 75062-0000
Contact Telephone:	781-828-7477
Contact Fax:	Not reported
Contact Email:	Not reported
Contact Title:	Not reported
EPA Region:	01
Land Type:	Private
Federal Waste Generator Description:	Not a generator, verified
Non-Notifier:	Not reported
Biennial Report Cycle:	Not reported
Accessibility:	Not reported
Active Site Indicator:	State-specific Activities
State District Owner:	Ma
State District:	S
Mailing Address:	105 DECKER CT
Mailing City,State,Zip:	IRVING, TX 75062-0000
Owner Name:	Jabe Partners Llc
Owner Type:	Private
Operator Name:	Heartland Automotive Services ll Inc
Operator Type:	Private
Short-Term Generator Activity:	No
Importer Activity:	No
Mixed Waste Generator:	No
Transporter Activity:	No
Transfer Facility Activity:	No
Recycler Activity with Storage:	No
Small Quantity On-Site Burner Exemption:	No
Smelting Melting and Refining Furnace Exemption:	No
Underground Injection Control:	No
Off-Site Waste Receipt:	No
Universal Waste Indicator:	No
Universal Waste Destination Facility:	No
Federal Universal Waste:	No
Active Site State-Reg Handler:	--Y
Federal Facility Indicator:	Not reported
Hazardous Secondary Material Indicator:	N
Sub-Part K Indicator:	Not reported
2018 GPRA Permit Baseline:	Not on the Baseline

Map ID  
 Direction  
 Distance  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

2018 GPRA Renewals Baseline:	Not on the Baseline
202 GPRA Corrective Action Baseline:	No
Subject to Corrective Action Universe:	No
Non-TSDFs Where RCRA CA has Been Imposed Universe:	No
Corrective Action Priority Ranking:	No NCAPS ranking
Environmental Control Indicator:	No
Institutional Control Indicator:	No
Human Exposure Controls Indicator:	N/A
Groundwater Controls Indicator:	N/A
Significant Non-Complier Universe:	No
Unaddressed Significant Non-Complier Universe:	No
Addressed Significant Non-Complier Universe:	No
Significant Non-Complier With a Compliance Schedule Universe:	No
Financial Assurance Required:	Not reported
Handler Date of Last Change:	20171020
Recognized Trader-Importer:	No
Recognized Trader-Exporter:	No
Importer of Spent Lead Acid Batteries:	No
Exporter of Spent Lead Acid Batteries:	No
Recycler Activity Without Storage:	No
Manifest Broker:	No
Sub-Part P Indicator:	No

Hazardous Waste Summary:

Waste Code:	D001
Waste Description:	Ignitable Waste

Handler - Owner Operator:

Owner/Operator Indicator:	Operator
Owner/Operator Name:	JIFFY LUBE
Legal Status:	Private
Date Became Current:	19830301
Date Ended Current:	Not reported
Owner/Operator Address:	135 WOOD RD
Owner/Operator City, State, Zip:	BRAINTREE, MA 02184
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	BAY STATE VENTURES, LLC
Legal Status:	Private
Date Became Current:	20080501
Date Ended Current:	Not reported
Owner/Operator Address:	239 TURNPIKE ST
Owner/Operator City, State, Zip:	CANTON, MA 02021-0000
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	AMERICAN OIL CHANGE CORP
Legal Status:	Private

MAP FINDINGS

Map ID  
Direction  
Distance  
Elevation

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Date Became Current:	20041016
Date Ended Current:	Not reported
Owner/Operator Address:	135 WOOD RD
Owner/Operator City,State,Zip:	BRAINTREE, MA 02184
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	MRI REALTY
Legal Status:	Private
Date Became Current:	19890309
Date Ended Current:	Not reported
Owner/Operator Address:	239 TURNPIKE ST
Owner/Operator City,State,Zip:	CANTON, MA 02021-0000
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Operator
Owner/Operator Name:	HEARTLAND AUTOMOTIVE SERVICES II INC
Legal Status:	Private
Date Became Current:	20120222
Date Ended Current:	Not reported
Owner/Operator Address:	105 DECKER CT
Owner/Operator City,State,Zip:	IRVING, TX 75062-0000
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Owner/Operator Indicator:	Owner
Owner/Operator Name:	JABE PARTNERS LLC
Legal Status:	Private
Date Became Current:	19930930
Date Ended Current:	Not reported
Owner/Operator Address:	105 DECKER CT
Owner/Operator City,State,Zip:	IRVING, TX 75062-0000
Owner/Operator Telephone:	Not reported
Owner/Operator Telephone Ext:	Not reported
Owner/Operator Fax:	Not reported
Owner/Operator Email:	Not reported
Historic Generators:	
Receive Date:	19890410
Handler Name:	JIFFY LUBE 1137
Federal Waste Generator Description:	Conditionally Exempt Small Quantity Generator
State District Owner:	Ma
Large Quantity Handler of Universal Waste:	No
Recognized Trader Importer:	No
Recognized Trader Exporter:	No
Spent Lead Acid Battery Importer:	No
Spent Lead Acid Battery Exporter:	No
Current Record:	No
Non Storage Recycler Activity:	Not reported

Map ID  
Direction  
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Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Electronic Manifest Broker: Not reported

Receive Date: 20080705

Handler Name: JIFFY LUBE 1137

Federal Waste Generator Description: Not a generator, verified

State District Owner: Ma

Large Quantity Handler of Universal Waste: No

Recognized Trader Importer: No

Recognized Trader Exporter: No

Spent Lead Acid Battery Importer: No

Spent Lead Acid Battery Exporter: No

Current Record: No

Non Storage Recycler Activity: Not reported

Electronic Manifest Broker: Not reported

Receive Date: 20151207

Handler Name: JIFFY LUBE 1137

Federal Waste Generator Description: Not a generator, verified

State District Owner: Ma

Large Quantity Handler of Universal Waste: No

Recognized Trader Importer: No

Recognized Trader Exporter: No

Spent Lead Acid Battery Importer: No

Spent Lead Acid Battery Exporter: No

Current Record: Yes

Non Storage Recycler Activity: Not reported

Electronic Manifest Broker: Not reported

List of NAICS Codes and Descriptions:

NAICS Code: 811111

NAICS Description: GENERAL AUTOMOTIVE REPAIR

NAICS Code: 811191

NAICS Description: AUTOMOTIVE OIL CHANGE AND LUBRICATION SHOPS

Has the Facility Received Notices of Violations:

Found Violation: Yes

Agency Which Determined Violation: State

Violation Short Description: Generators - General

Date Violation was Determined: 19920527

Actual Return to Compliance Date: 19921210

Return to Compliance Qualifier: Observed

Violation Responsible Agency: State

Scheduled Compliance Date: 19921102

Enforcement Identifier: 000

Date of Enforcement Action: 19921014

Enforcement Responsible Agency: State

Enforcement Docket Number: Not reported

Enforcement Attorney: Not reported

Corrective Action Component: No

Appeal Initiated Date: Not reported

Appeal Resolution Date: Not reported

Disposition Status Date: Not reported

Disposition Status: Not reported

Disposition Status Description: Not reported

Consent/Final Order Sequence Number: Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19921102
Enforcement Identifier:	000
Date of Enforcement Action:	19921014
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920527
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19921102
Enforcement Identifier:	000
Date of Enforcement Action:	19921014
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19920527
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19920421
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Agency Which Determined Violation:	State
Violation Short Description:	Generators - Manifest
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19920527
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19920421
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported



Map ID  
 Direction  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19920527
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19920421
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Database(s) EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920527
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19921102
Enforcement Identifier:	000
Date of Enforcement Action:	19921014
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19921210
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19921102
Enforcement Identifier:	000
Date of Enforcement Action:	19921014
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	Yes
Agency Which Determined Violation:	State
Violation Short Description:	Generators - General
Date Violation was Determined:	19920213
Actual Return to Compliance Date:	19920527
Return to Compliance Qualifier:	Observed
Violation Responsible Agency:	State
Scheduled Compliance Date:	19920421
Enforcement Identifier:	000
Date of Enforcement Action:	19920330
Enforcement Responsible Agency:	State
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	No
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	WRITTEN INFORMAL
Enforcement Responsible Person:	R1KAA
Enforcement Responsible Sub-Organization:	NE
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported
Found Violation:	No

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)****1000231159**

Agency Which Determined Violation:	Not reported
Violation Short Description:	Not reported
Date Violation was Determined:	Not reported
Actual Return to Compliance Date:	Not reported
Return to Compliance Qualifier:	Not reported
Violation Responsible Agency:	Not reported
Scheduled Compliance Date:	Not reported
Enforcement Identifier:	Not reported
Date of Enforcement Action:	Not reported
Enforcement Responsible Agency:	Not reported
Enforcement Docket Number:	Not reported
Enforcement Attorney:	Not reported
Corrective Action Component:	Not reported
Appeal Initiated Date:	Not reported
Appeal Resolution Date:	Not reported
Disposition Status Date:	Not reported
Disposition Status:	Not reported
Disposition Status Description:	Not reported
Consent/Final Order Sequence Number:	Not reported
Consent/Final Order Respondent Name:	Not reported
Consent/Final Order Lead Agency:	Not reported
Enforcement Type:	Not reported
Enforcement Responsible Person:	Not reported
Enforcement Responsible Sub-Organization:	Not reported
SEP Sequence Number:	Not reported
SEP Expenditure Amount:	Not reported
SEP Scheduled Completion Date:	Not reported
SEP Actual Date:	Not reported
SEP Defaulted Date:	Not reported
SEP Type:	Not reported
SEP Type Description:	Not reported
Proposed Amount:	Not reported
Final Monetary Amount:	Not reported
Paid Amount:	Not reported
Final Count:	Not reported
Final Amount:	Not reported

## Evaluation Action Summary:

Evaluation Date:	19920527
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE SCHEDULE EVALUATION
Evaluation Responsible Person Identifier:	R1KAA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	19921102
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE

Map ID  
Direction  
Distance  
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MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	19921102
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920527
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE SCHEDULE EVALUATION
Evaluation Responsible Person Identifier:	R1KAA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	19921102
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19920527
Scheduled Compliance Date:	19920421
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19920527
Scheduled Compliance Date:	19920421
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19920527
Scheduled Compliance Date:	19920421
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920527
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE SCHEDULE EVALUATION
Evaluation Responsible Person Identifier:	R1KAA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	19921102
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes
Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19921210
Scheduled Compliance Date:	19921102
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported
Evaluation Date:	19920213
Evaluation Responsible Agency:	State
Found Violation:	Yes

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Evaluation Type Description:	COMPLIANCE EVALUATION INSPECTION ON-SITE
Evaluation Responsible Person Identifier:	R1KLA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	19920527
Scheduled Compliance Date:	19920421
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

Evaluation Date:	19921210
Evaluation Responsible Agency:	State
Found Violation:	No
Evaluation Type Description:	COMPLIANCE SCHEDULE EVALUATION
Evaluation Responsible Person Identifier:	R1KAA
Evaluation Responsible Sub-Organization:	NE
Actual Return to Compliance Date:	Not reported
Scheduled Compliance Date:	Not reported
Date of Request:	Not reported
Date Response Received:	Not reported
Request Agency:	Not reported
Former Citation:	Not reported

**RI MANIFEST:**

Name:	Not reported
Address:	239 TURNPIKE ST
City,State,Zip:	CANTON, MA 02021
EPA Id:	MAD982710725
GEN Cert Date:	10/13/1993
Manifest Document Number:	CTF0269784
Waste Description:	ANTIFREEZE
TSDf Id:	CTD018844050
TSDf Name:	CT WASTE OIL INC
Qty:	165
WT/Vol Units:	G
TSDf Date:	Not reported
Transporter 2 Id:	Not reported
Item Number:	1
Transporter 2 Name:	Not reported
Transporter Name 2:	CT WASTE OIL INC
Transporter EPAID:	CTD018844050
Transporter Receipt Date:	Not reported
Number Of Containers:	0
Container Type:	Not reported
Waste Code1:	CR04
Waste Code2:	Not reported
Waste Code3:	Not reported
Waste Code4:	Not reported
Waste Code5:	Not reported
Waste Code6:	Not reported
Fee Exempt Code:	Not reported
Comment:	Not reported
Transporter Name 2:	Not reported
Company Permit Number:	Not reported
Year:	Not reported
Quarter:	Not reported

Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS
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Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)****1000231159**

Transporter Contact Name:	Not reported
Transporter Contact Email:	Not reported
Filing Date:	Not reported
Total Fee:	Not reported
Billing Name:	Not reported
Paid Date:	Not reported
Paid Time:	Not reported
Facility Receipt Date:	Not reported
Fee:	Not reported
Manifest Created Date:	Not reported
Manifest Updated Date:	Not reported

**RI MANIFEST:**

Transporter Receipt Date:	Not reported
Number Of Containers:	0
Container Type:	Not reported
Waste Code1:	CR04
Waste Code2:	Not reported
Waste Code3:	Not reported
Waste Code4:	Not reported
Waste Code5:	Not reported
Waste Code6:	Not reported
Comment:	Not reported
Fee Exempt Code:	Not reported
TSDf Name:	CT WASTE OIL INC
TSDf Id:	CTD018844050
Transporter Name 2:	Not reported
Company Permit Number:	Not reported
Year:	Not reported
EPA ID:	MAD982710725
Manifest Docket Number:	CTF0269784
Quarter:	Not reported
Waste Description:	ANTIFREEZE
Transporter Contact Name:	Not reported
Quantity:	165
Transporter Contact Email:	Not reported
WT/Vol Units:	G
Filing Date:	Not reported
Total Fee:	Not reported
Item Number:	1
Transporter Name:	CT WASTE OIL INC
Billing Name:	Not reported
Transporter EPA ID:	CTD018844050
Date Paid:	Not reported
Time Paid:	Not reported
GEN Cert Date:	10/13/1993
Facility Receipt Date:	Not reported
Fee:	Not reported
Transporter 2 Receipt Date:	Not reported
Manifest Created Date:	Not reported
TSDf Receipt Date:	Not reported
Transporter 2 ID:	Not reported
Manifest Updated Date:	Not reported

Transporter Receipt Date:	Not reported
Number Of Containers:	0
Container Type:	Not reported
Waste Code1:	CR04



Map ID  
Direction  
Distance  
Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
EPA ID Number

**JIFFY LUBE 1137 (Continued)**

**1000231159**

Waste Code2: Not reported  
 Waste Code3: Not reported  
 Waste Code4: Not reported  
 Waste Code5: Not reported  
 Waste Code6: Not reported  
 Comment: Not reported  
 Fee Exempt Code: Not reported  
 TSDF Name: CT WASTE OIL INC  
 TSDF Id: CTD018844050  
 Transporter Name 2: Not reported  
 Company Permit Number: Not reported  
 Year: Not reported  
 EPA ID: MAD982710725  
 Manifest Docket Number: CTF0269784  
 Quarter: Not reported  
 Waste Description: ANTIFREEZE  
 Transporter Contact Name: Not reported  
 Quantity: 165  
 Transporter Contact Email: Not reported  
 WT/Vol Units: G  
 Filing Date: Not reported  
 Total Fee: Not reported  
 Item Number: 1  
 Transporter Name: CT WASTE OIL INC  
 Billing Name: Not reported  
 Transporter EPA ID: CTD018844050  
 Date Paid: Not reported  
 Time Paid: Not reported  
 GEN Cert Date: 10/13/1993  
 Facility Receipt Date: Not reported  
 Fee: Not reported  
 Transporter 2 Receipt Date: Not reported  
 Manifest Created Date: Not reported  
 TSDF Receipt Date: Not reported  
 Transporter 2 ID: Not reported  
 Manifest Updated Date: Not reported

**31**  
**West**  
**1/2-1**  
**0.928 mi.**  
**4902 ft.**

**SALAH PECCI CO**  
**100 HUDSON RD**  
**CANTON, MA 02021**

**MA SHWS S101019092**  
**MA RELEASE N/A**  
**MA SPILLS**

**Relative:**  
**Higher**  
**Actual:**  
**76 ft.**

SHWS:  
 Name: SALAH PECCI CO  
 Address: 100 HUDSON RD  
 City,State,Zip: CANTON, MA 02021  
 Facility ID: 4-3002246  
 Source Type: Not reported  
 Release Town: CANTON  
 Notification Date: 10/15/1989  
 Category: NONE  
 Associated ID: Not reported  
 Current Status: PENNFA  
 Status Date: 07/16/1996  
 Phase: Not reported  
 Response Action Outcome: Not reported

Map ID  
 Direction  
 Distance  
 Elevation

MAP FINDINGS

Site

Database(s)

EDR ID Number  
 EPA ID Number

**SALAH PECCI CO (Continued)**

**S101019092**

Oil Or Haz Material: Not reported

Release:

Name: SALAH PECCI CO  
 Address: 100 HUDSON RD  
 City,State,Zip: CANTON, MA 02021  
 Release Tracking Number/Current Status: 4-3002246 / PENNFA  
 Primary ID: Not reported  
 Official City: CANTON  
 Notification: 10/15/1989  
 Category: NONE  
 Status Date: 07/16/1996  
 Phase: Not reported  
 Response Action Outcome: -  
 Oil / Haz Material Type: Not reported

[Click here to access the MA DEP site for this facility:](#)

Actions:

Action Type: Release Disposition  
 Action Status: Valid Transition Site  
 Action Date: 10/15/1989  
 Response Action Outcome: Not reported

Action Type: TREGS  
 Action Status: PENNFA  
 Action Date: 7/16/1996  
 Response Action Outcome: Not reported

Chemicals:

Chemical: UNKNOWN  
 Quantity: Not reported

MA Spills:

Facility ID:	3-2246	Spill ID:	N88-1156
Staff Lead:	GORRASI, M	Date Entered:	19880924
Last Entered:	19931108	First Response:	19880804
Spill Date:	Not reported	Spill Time:	Not reported
Report Date:	19880804	Report Time:	01:35PM
Case Closed:	YES	Mat Type:	PETROLEUM
Virgin Waste:	VIRGIN	Contam Soil:	Not reported
Env Impact:	-----	Other Impact:	Not reported
Material:	GASOLINE	Other Material:	Not reported
Qty Reported:	NONE	Qty Actual:	NONE
Qty Reported:	-----	Qty Actual:	-----
CAS No:	Not reported	PCB Lev (ppm):	-----
Source:	U.S.T.	Other Source:	Not reported
Incident:	-----	Other Incdnt:	Not reported
Cleanup Type:	Not reported	Contractor:	NOT USED
Referral:	SA	LUST Elig:	---
Report Prep:	Not reported	Category:	Not reported
Notifier:	Not reported		
Notif Tel:	Not reported		
Days/Close:	0		

ORPHAN SUMMARY

ID	Site Name	Site Address	Z
034533	NO LOCATION AID	I-95	0
024924	DIESEL FUEL RELEASE	IVO 600 CHAPMAN STREET	
678295	NO LOCATION AID	RANDOLPH ST AESSORMAP106 LT28	0
516868	NEAR ST MARY'S CEMETERY	RANDOLPH ST	0
411937	CANTON DPW STORAGE YARD	VIC 25 PECUNIT STREET	0
337428	RT 138 ROADWAY	VIC 1040 TURNPIKE STREET	0
640741	POLE #37	WASHINGTON ST	0
774319	BLUE HILLS SKI AREA	4001 WASHINGTON ST	0
953959	TO BLUEHILL AVE, MILTON TO EAST FI	WASHINGTON STREET TPKE	0

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

To maintain currency of the following federal and state databases, EDR contacts the appropriate governmental agency on a monthly or quarterly basis, as required.

**Number of Days to Update:** Provides confirmation that EDR is reporting records that have been updated within 90 days from the date the government agency made the information available to the public.

### **STANDARD ENVIRONMENTAL RECORDS**

#### ***Lists of Federal NPL (Superfund) sites***

##### **NPL: National Priority List**

National Priorities List (Superfund). The NPL is a subset of CERCLIS and identifies over 1,200 sites for priority cleanup under the Superfund Program. NPL sites may encompass relatively large areas. As such, EDR provides polygon coverage for over 1,000 NPL site boundaries produced by EPA's Environmental Photographic Interpretation Center (EPIC) and regional EPA offices.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: N/A
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Quarterly

##### **NPL Site Boundaries**

###### **Sources:**

EPA's Environmental Photographic Interpretation Center (EPIC)  
Telephone: 202-564-7333

EPA Region 1  
Telephone 617-918-1143

EPA Region 6  
Telephone: 214-655-6659

EPA Region 3  
Telephone 215-814-5418

EPA Region 7  
Telephone: 913-551-7247

EPA Region 4  
Telephone 404-562-8033

EPA Region 8  
Telephone: 303-312-6774

EPA Region 5  
Telephone 312-886-6686

EPA Region 9  
Telephone: 415-947-4246

EPA Region 10  
Telephone 206-553-8665

##### **Proposed NPL: Proposed National Priority List Sites**

A site that has been proposed for listing on the National Priorities List through the issuance of a proposed rule in the Federal Register. EPA then accepts public comments on the site, responds to the comments, and places on the NPL those sites that continue to meet the requirements for listing.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: N/A
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Quarterly

##### **NPL LIENS: Federal Superfund Liens**

Federal Superfund Liens. Under the authority granted the USEPA by CERCLA of 1980, the USEPA has the authority to file liens against real property in order to recover remedial action expenditures or when the property owner received notification of potential liability. USEPA compiles a listing of filed notices of Superfund Liens.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 10/15/1991	Source: EPA
Date Data Arrived at EDR: 02/02/1994	Telephone: 202-564-4267
Date Made Active in Reports: 03/30/1994	Last EDR Contact: 08/15/2011
Number of Days to Update: 56	Next Scheduled EDR Contact: 11/28/2011
	Data Release Frequency: No Update Planned

***Lists of Federal Delisted NPL sites***

Delisted NPL: National Priority List Deletions

The National Oil and Hazardous Substances Pollution Contingency Plan (NCP) establishes the criteria that the EPA uses to delete sites from the NPL. In accordance with 40 CFR 300.425.(e), sites may be deleted from the NPL where no further response is appropriate.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: N/A
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Quarterly

***Lists of Federal sites subject to CERCLA removals and CERCLA orders***

FEDERAL FACILITY: Federal Facility Site Information listing

A listing of National Priority List (NPL) and Base Realignment and Closure (BRAC) sites found in the Comprehensive Environmental Response, Compensation and Liability Information System (CERCLIS) Database where EPA Federal Facilities Restoration and Reuse Office is involved in cleanup activities.

Date of Government Version: 03/26/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/28/2023	Telephone: 703-603-8704
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/23/2023
Number of Days to Update: 63	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Varies

SEMS: Superfund Enterprise Management System

SEMS (Superfund Enterprise Management System) tracks hazardous waste sites, potentially hazardous waste sites, and remedial activities performed in support of EPA's Superfund Program across the United States. The list was formerly know as CERCLIS, renamed to SEMS by the EPA in 2015. The list contains data on potentially hazardous waste sites that have been reported to the USEPA by states, municipalities, private companies and private persons, pursuant to Section 103 of the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA). This dataset also contains sites which are either proposed to or on the National Priorities List (NPL) and the sites which are in the screening and assessment phase for possible inclusion on the NPL.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: 800-424-9346
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Quarterly

***Lists of Federal CERCLA sites with NFRAP***

SEMS-ARCHIVE: Superfund Enterprise Management System Archive

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

SEMS-ARCHIVE (Superfund Enterprise Management System Archive) tracks sites that have no further interest under the Federal Superfund Program based on available information. The list was formerly known as the CERCLIS-NFRAP, renamed to SEMS ARCHIVE by the EPA in 2015. EPA may perform a minimal level of assessment work at a site while it is archived if site conditions change and/or new information becomes available. Archived sites have been removed and archived from the inventory of SEMS sites. Archived status indicates that, to the best of EPA's knowledge, assessment at a site has been completed and that EPA has determined no further steps will be taken to list the site on the National Priorities List (NPL), unless information indicates this decision was not appropriate or other considerations require a recommendation for listing at a later time. The decision does not necessarily mean that there is no hazard associated with a given site; it only means that, based upon available information, the location is not judged to be potential NPL site.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: 800-424-9346
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Quarterly

### ***Lists of Federal RCRA facilities undergoing Corrective Action***

**CORRACTS:** Corrective Action Report  
CORRACTS identifies hazardous waste handlers with RCRA corrective action activity.

Date of Government Version: 03/06/2023	Source: EPA
Date Data Arrived at EDR: 03/09/2023	Telephone: 800-424-9346
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

### ***Lists of Federal RCRA TSD facilities***

**RCRA-TSDF:** RCRA - Treatment, Storage and Disposal  
RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Transporters are individuals or entities that move hazardous waste from the generator offsite to a facility that can recycle, treat, store, or dispose of the waste. TSDFs treat, store, or dispose of the waste.

Date of Government Version: 03/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2023	Telephone: (888) 372-7341
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

### ***Lists of Federal RCRA generators***

**RCRA-LQG:** RCRA - Large Quantity Generators  
RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Large quantity generators (LQGs) generate over 1,000 kilograms (kg) of hazardous waste, or over 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2023	Telephone: (888) 372-7341
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**RCRA-SQG: RCRA - Small Quantity Generators**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Small quantity generators (SQGs) generate between 100 kg and 1,000 kg of hazardous waste per month.

Date of Government Version: 03/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2023	Telephone: (888) 372-7341
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

**RCRA-VSQG: RCRA - Very Small Quantity Generators (Formerly Conditionally Exempt Small Quantity Generators)**

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Very small quantity generators (VSQGs) generate less than 100 kg of hazardous waste, or less than 1 kg of acutely hazardous waste per month.

Date of Government Version: 03/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2023	Telephone: (888) 372-7341
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

***Federal institutional controls / engineering controls registries***

**LUCIS: Land Use Control Information System**

LUCIS contains records of land use control information pertaining to the former Navy Base Realignment and Closure properties.

Date of Government Version: 02/08/2023	Source: Department of the Navy
Date Data Arrived at EDR: 02/09/2023	Telephone: 843-820-7326
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 05/23/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 08/21/2023
	Data Release Frequency: Varies

**US ENG CONTROLS: Engineering Controls Sites List**

A listing of sites with engineering controls in place. Engineering controls include various forms of caps, building foundations, liners, and treatment methods to create pathway elimination for regulated substances to enter environmental media or effect human health.

Date of Government Version: 02/20/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/21/2023	Telephone: 703-603-0695
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 05/23/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

**US INST CONTROLS: Institutional Controls Sites List**

A listing of sites with institutional controls in place. Institutional controls include administrative measures, such as groundwater use restrictions, construction restrictions, property use restrictions, and post remediation care requirements intended to prevent exposure to contaminants remaining on site. Deed restrictions are generally required as part of the institutional controls.

Date of Government Version: 02/20/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/21/2023	Telephone: 703-603-0695
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 05/23/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### ***Federal ERNS list***

#### **ERNS: Emergency Response Notification System**

Emergency Response Notification System. ERNS records and stores information on reported releases of oil and hazardous substances.

Date of Government Version: 03/20/2023	Source: National Response Center, United States Coast Guard
Date Data Arrived at EDR: 03/21/2023	Telephone: 202-267-2180
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

### ***Lists of state- and tribal hazardous waste facilities***

#### **SHWS: Site Transition List**

Contains information on releases of oil and hazardous materials that have been reported to DEP.

Date of Government Version: 04/05/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5990
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

### ***Lists of state and tribal landfills and solid waste disposal facilities***

#### **SWF/LF: Solid Waste Facility Database/Transfer Stations**

Solid Waste Facilities/Landfill Sites. SWF/LF type records typically contain an inventory of solid waste disposal facilities or landfills in a particular state. Depending on the state, these may be active or inactive facilities or open dumps that failed to meet RCRA Subtitle D Section 4004 criteria for solid waste landfills or disposal sites.

Date of Government Version: 05/02/2022	Source: Department of Environmental Protection
Date Data Arrived at EDR: 05/03/2022	Telephone: 617-292-5989
Date Made Active in Reports: 07/22/2022	Last EDR Contact: 06/26/2023
Number of Days to Update: 80	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Annually

#### **LF PROFILES: Landfill Profiles Listing**

This spreadsheet describes landfills that have actively accepted waste or have closed under MassDEP Solid Waste Regulations first adopted in 1971 (310 CMR 16.00 and 310 CMR 19.00). The list does not include landfills that closed before 1971 (and which never had a MassDEP permit or approval), or for which agency data is incomplete.

Date of Government Version: 07/01/2015	Source: Department of Environmental Protection
Date Data Arrived at EDR: 10/27/2015	Telephone: 617-292-5868
Date Made Active in Reports: 12/14/2015	Last EDR Contact: 06/29/2023
Number of Days to Update: 48	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Varies

### ***Lists of state and tribal leaking storage tanks***

#### **LUST: Leaking Underground Storage Tank Listing**

Sites within the Leaking Underground Storage Tank Listing that have a UST listed as its source.

Date of Government Version: 04/05/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5990
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### LAST: Leaking Aboveground Storage Tank Sites

Sites within the Releases Database that have a AST listed as its source.

Date of Government Version: 04/05/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5500
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

### INDIAN LUST R7: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Iowa, Kansas, and Nebraska

Date of Government Version: 10/14/2022	Source: EPA Region 7
Date Data Arrived at EDR: 12/06/2022	Telephone: 913-551-7003
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN LUST R8: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Colorado, Montana, North Dakota, South Dakota, Utah and Wyoming.

Date of Government Version: 11/23/2022	Source: EPA Region 8
Date Data Arrived at EDR: 12/06/2022	Telephone: 303-312-6271
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/08/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN LUST R6: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in New Mexico and Oklahoma.

Date of Government Version: 11/23/2022	Source: EPA Region 6
Date Data Arrived at EDR: 12/06/2022	Telephone: 214-665-6597
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN LUST R5: Leaking Underground Storage Tanks on Indian Land

Leaking underground storage tanks located on Indian Land in Michigan, Minnesota and Wisconsin.

Date of Government Version: 10/14/2022	Source: EPA, Region 5
Date Data Arrived at EDR: 12/06/2022	Telephone: 312-886-7439
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN LUST R9: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Arizona, California, New Mexico and Nevada

Date of Government Version: 11/23/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/06/2022	Telephone: 415-972-3372
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN LUST R4: Leaking Underground Storage Tanks on Indian Land

LUSTs on Indian land in Florida, Mississippi and North Carolina.

Date of Government Version: 11/26/2022	Source: EPA Region 4
Date Data Arrived at EDR: 12/06/2022	Telephone: 404-562-8677
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**INDIAN LUST R10: Leaking Underground Storage Tanks on Indian Land**  
LUSTs on Indian land in Alaska, Idaho, Oregon and Washington.

Date of Government Version: 11/23/2022	Source: EPA Region 10
Date Data Arrived at EDR: 12/06/2022	Telephone: 206-553-2857
Date Made Active in Reports: 04/19/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 134	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

**INDIAN LUST R1: Leaking Underground Storage Tanks on Indian Land**  
A listing of leaking underground storage tank locations on Indian Land.

Date of Government Version: 10/19/2022	Source: EPA Region 1
Date Data Arrived at EDR: 12/06/2022	Telephone: 617-918-1313
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### ***Lists of state and tribal registered storage tanks***

**FEMA UST: Underground Storage Tank Listing**  
A listing of all FEMA owned underground storage tanks.

Date of Government Version: 03/08/2023	Source: FEMA
Date Data Arrived at EDR: 03/09/2023	Telephone: 202-646-5797
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/27/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**UST: Summary Listing of all the Tanks Registered in the State of Massachusetts**  
Registered Underground Storage Tanks. UST's are regulated under Subtitle I of the Resource Conservation and Recovery Act (RCRA) and must be registered with the state department responsible for administering the UST program. Available information varies by state program.

Date of Government Version: 03/08/2023	Source: Department of Fire Services, Office of the Public Safety
Date Data Arrived at EDR: 03/10/2023	Telephone: 617-556-1035
Date Made Active in Reports: 05/26/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Quarterly

**AST: Aboveground Storage Tank Database**  
Registered Aboveground Storage Tanks.

Date of Government Version: 03/24/2023	Source: Department of Public Safety
Date Data Arrived at EDR: 04/13/2023	Telephone: 617-556-1035
Date Made Active in Reports: 06/30/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 78	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: No Update Planned

**AST 2: Aboveground Storage Tanks**  
Aboveground storage tanks

Date of Government Version: 04/10/2023	Source: Department of Fire Services
Date Data Arrived at EDR: 04/13/2023	Telephone: 978-567-3181
Date Made Active in Reports: 06/30/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 78	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

**INDIAN UST R4: Underground Storage Tanks on Indian Land**  
The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 4 (Alabama, Florida, Georgia, Kentucky, Mississippi, North Carolina, South Carolina, Tennessee and Tribal Nations)

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/23/2022	Source: EPA Region 4
Date Data Arrived at EDR: 12/06/2022	Telephone: 404-562-9424
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R9: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 9 (Arizona, California, Hawaii, Nevada, the Pacific Islands, and Tribal Nations).

Date of Government Version: 11/23/2022	Source: EPA Region 9
Date Data Arrived at EDR: 12/06/2022	Telephone: 415-972-3368
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R8: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 8 (Colorado, Montana, North Dakota, South Dakota, Utah, Wyoming and 27 Tribal Nations).

Date of Government Version: 11/23/2022	Source: EPA Region 8
Date Data Arrived at EDR: 12/06/2022	Telephone: 303-312-6137
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R7: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 7 (Iowa, Kansas, Missouri, Nebraska, and 9 Tribal Nations).

Date of Government Version: 10/14/2022	Source: EPA Region 7
Date Data Arrived at EDR: 12/06/2022	Telephone: 913-551-7003
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R1: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 1 (Connecticut, Maine, Massachusetts, New Hampshire, Rhode Island, Vermont and ten Tribal Nations).

Date of Government Version: 10/19/2022	Source: EPA, Region 1
Date Data Arrived at EDR: 12/06/2022	Telephone: 617-918-1313
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R5: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 5 (Michigan, Minnesota and Wisconsin and Tribal Nations).

Date of Government Version: 10/14/2022	Source: EPA Region 5
Date Data Arrived at EDR: 12/06/2022	Telephone: 312-886-6136
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R6: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 6 (Louisiana, Arkansas, Oklahoma, New Mexico, Texas and 65 Tribes).

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/23/2022	Source: EPA Region 6
Date Data Arrived at EDR: 12/06/2022	Telephone: 214-665-7591
Date Made Active in Reports: 03/03/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### INDIAN UST R10: Underground Storage Tanks on Indian Land

The Indian Underground Storage Tank (UST) database provides information about underground storage tanks on Indian land in EPA Region 10 (Alaska, Idaho, Oregon, Washington, and Tribal Nations).

Date of Government Version: 11/23/2022	Source: EPA Region 10
Date Data Arrived at EDR: 12/06/2022	Telephone: 206-553-2857
Date Made Active in Reports: 04/19/2023	Last EDR Contact: 05/09/2023
Number of Days to Update: 134	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### ***State and tribal institutional control / engineering control registries***

#### INST CONTROL: Sites With Activity and Use Limitation

Activity and Use Limitations establish limits and conditions on the future use of contaminated property, and therefore allow cleanups to be tailored to these uses.

Date of Government Version: 04/05/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5990
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

### ***Lists of state and tribal voluntary cleanup sites***

#### INDIAN VCP R7: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 7.

Date of Government Version: 03/20/2008	Source: EPA, Region 7
Date Data Arrived at EDR: 04/22/2008	Telephone: 913-551-7365
Date Made Active in Reports: 05/19/2008	Last EDR Contact: 07/08/2021
Number of Days to Update: 27	Next Scheduled EDR Contact: 07/20/2009
	Data Release Frequency: Varies

#### INDIAN VCP R1: Voluntary Cleanup Priority Listing

A listing of voluntary cleanup priority sites located on Indian Land located in Region 1.

Date of Government Version: 07/27/2015	Source: EPA, Region 1
Date Data Arrived at EDR: 09/29/2015	Telephone: 617-918-1102
Date Made Active in Reports: 02/18/2016	Last EDR Contact: 06/13/2023
Number of Days to Update: 142	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Varies

### ***Lists of state and tribal brownfield sites***

#### BROWNFIELDS 2: Potential Brownfields Listing

A listing of potential brownfields site locations in the state.

Date of Government Version: 12/03/2019	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/29/2021	Telephone: 617-556-1007
Date Made Active in Reports: 04/21/2021	Last EDR Contact: 04/27/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**BROWNFIELDS: Completed Brownfields Covenants Listing**

Under Massachusetts law, M.G.L. c. 21E is the statute that governs the cleanup of releases of oil and/or hazardous material to the environment. The Brownfields Act of 1998 amended M.G.L. c. 21E by establishing significant liability relief and financial incentives to spur the redevelopment of brownfields, while ensuring that the Commonwealth's environmental standards are met. Most brownfields are redeveloped with the benefit of liability protections that operate automatically under M.G.L. c. 21E.

Date of Government Version: 04/05/2017	Source: Office of the Attorney General
Date Data Arrived at EDR: 08/03/2017	Telephone: 617-963-2423
Date Made Active in Reports: 10/10/2017	Last EDR Contact: 04/27/2023
Number of Days to Update: 68	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Annually

**ADDITIONAL ENVIRONMENTAL RECORDS**

***Local Brownfield lists***

**US BROWNFIELDS: A Listing of Brownfields Sites**

Brownfields are real property, the expansion, redevelopment, or reuse of which may be complicated by the presence or potential presence of a hazardous substance, pollutant, or contaminant. Cleaning up and reinvesting in these properties takes development pressures off of undeveloped, open land, and both improves and protects the environment. Assessment, Cleanup and Redevelopment Exchange System (ACRES) stores information reported by EPA Brownfields grant recipients on brownfields properties assessed or cleaned up with grant funding as well as information on Targeted Brownfields Assessments performed by EPA Regions. A listing of ACRES Brownfield sites is obtained from Cleanups in My Community. Cleanups in My Community provides information on Brownfields properties for which information is reported back to EPA, as well as areas served by Brownfields grant programs.

Date of Government Version: 04/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/13/2023	Telephone: 202-566-2777
Date Made Active in Reports: 04/19/2023	Last EDR Contact: 06/08/2023
Number of Days to Update: 6	Next Scheduled EDR Contact: 09/25/2023
	Data Release Frequency: Semi-Annually

***Local Lists of Landfill / Solid Waste Disposal Sites***

**INDIAN ODI: Report on the Status of Open Dumps on Indian Lands**

Location of open dumps on Indian land.

Date of Government Version: 12/31/1998	Source: Environmental Protection Agency
Date Data Arrived at EDR: 12/03/2007	Telephone: 703-308-8245
Date Made Active in Reports: 01/24/2008	Last EDR Contact: 04/19/2023
Number of Days to Update: 52	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Varies

**ODI: Open Dump Inventory**

An open dump is defined as a disposal facility that does not comply with one or more of the Part 257 or Part 258 Subtitle D Criteria.

Date of Government Version: 06/30/1985	Source: Environmental Protection Agency
Date Data Arrived at EDR: 08/09/2004	Telephone: 800-424-9346
Date Made Active in Reports: 09/17/2004	Last EDR Contact: 06/09/2004
Number of Days to Update: 39	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

**DEBRIS REGION 9: Torres Martinez Reservation Illegal Dump Site Locations**

A listing of illegal dump sites location on the Torres Martinez Indian Reservation located in eastern Riverside County and northern Imperial County, California.

Date of Government Version: 01/12/2009	Source: EPA, Region 9
Date Data Arrived at EDR: 05/07/2009	Telephone: 415-947-4219
Date Made Active in Reports: 09/21/2009	Last EDR Contact: 04/12/2023
Number of Days to Update: 137	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: No Update Planned

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### IHS OPEN DUMPS: Open Dumps on Indian Land

A listing of all open dumps located on Indian Land in the United States.

Date of Government Version: 04/01/2014	Source: Department of Health & Human Services, Indian Health Service
Date Data Arrived at EDR: 08/06/2014	Telephone: 301-443-1452
Date Made Active in Reports: 01/29/2015	Last EDR Contact: 04/27/2023
Number of Days to Update: 176	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Varies

### **Local Lists of Hazardous waste / Contaminated Sites**

#### US HIST CDL: National Clandestine Laboratory Register

A listing of clandestine drug lab locations that have been removed from the DEAs National Clandestine Laboratory Register.

Date of Government Version: 05/22/2023	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 05/23/2023	Telephone: 202-307-1000
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 05/23/2023
Number of Days to Update: 48	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: No Update Planned

#### US CDL: Clandestine Drug Labs

A listing of clandestine drug lab locations. The U.S. Department of Justice ("the Department") provides this web site as a public service. It contains addresses of some locations where law enforcement agencies reported they found chemicals or other items that indicated the presence of either clandestine drug laboratories or dumpsites. In most cases, the source of the entries is not the Department, and the Department has not verified the entry and does not guarantee its accuracy. Members of the public must verify the accuracy of all entries by, for example, contacting local law enforcement and local health departments.

Date of Government Version: 05/22/2023	Source: Drug Enforcement Administration
Date Data Arrived at EDR: 05/23/2023	Telephone: 202-307-1000
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 05/23/2023
Number of Days to Update: 48	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Quarterly

### **Local Land Records**

#### LIENS: Liens Information Listing

A listing of environmental liens.

Date of Government Version: 03/07/2018	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/09/2018	Telephone: 617-292-5628
Date Made Active in Reports: 06/21/2018	Last EDR Contact: 05/10/2023
Number of Days to Update: 104	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Varies

#### LIENS 2: CERCLA Lien Information

A Federal CERCLA ('Superfund') lien can exist by operation of law at any site or property at which EPA has spent Superfund monies. These monies are spent to investigate and address releases and threatened releases of contamination. CERCLIS provides information as to the identity of these sites and properties.

Date of Government Version: 04/26/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/02/2023	Telephone: 202-564-6023
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Semi-Annually

### **Records of Emergency Release Reports**

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### HMIRS: Hazardous Materials Information Reporting System

Hazardous Materials Incident Report System. HMIRS contains hazardous material spill incidents reported to DOT.

Date of Government Version: 03/19/2023	Source: U.S. Department of Transportation
Date Data Arrived at EDR: 03/21/2023	Telephone: 202-366-4555
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

### MA SPILLS: Historical Spill List

The Spills Database was the release notification tracking system for spills that occurred prior to October 1, 1993. This information should be considered to be primarily of historical interest since all of the listed spills have either been cleaned up or assigned new tracking numbers and moved to the Reportable Releases or Sites Transition List databases.

Date of Government Version: 09/30/1993	Source: Department of Environmental Protection
Date Data Arrived at EDR: 12/03/2003	Telephone: 617-292-5720
Date Made Active in Reports: 12/31/2003	Last EDR Contact: 12/03/2003
Number of Days to Update: 28	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### RELEASE: Reportable Releases

Contains information on all releases of oil and hazardous materials that have been reported to DEP

Date of Government Version: 04/05/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5990
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

### SPILLS 90: SPILLS90 data from FirstSearch

Spills 90 includes those spill and release records available exclusively from FirstSearch databases. Typically, they may include chemical, oil and/or hazardous substance spills recorded after 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 90.

Date of Government Version: 12/11/2012	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 02/08/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### SPILLS 80: SPILLS80 data from FirstSearch

Spills 80 includes those spill and release records available from FirstSearch databases prior to 1990. Typically, they may include chemical, oil and/or hazardous substance spills recorded before 1990. Duplicate records that are already included in EDR incident and release records are not included in Spills 80.

Date of Government Version: 03/10/1998	Source: FirstSearch
Date Data Arrived at EDR: 01/03/2013	Telephone: N/A
Date Made Active in Reports: 03/05/2013	Last EDR Contact: 01/03/2013
Number of Days to Update: 61	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### **Other Ascertainable Records**

#### RCRA NonGen / NLR: RCRA - Non Generators / No Longer Regulated

RCRAInfo is EPA's comprehensive information system, providing access to data supporting the Resource Conservation and Recovery Act (RCRA) of 1976 and the Hazardous and Solid Waste Amendments (HSWA) of 1984. The database includes selective information on sites which generate, transport, store, treat and/or dispose of hazardous waste as defined by the Resource Conservation and Recovery Act (RCRA). Non-Generators do not presently generate hazardous waste.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/06/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/09/2023	Telephone: (888) 372-7341
Date Made Active in Reports: 03/20/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 11	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly

### FUDS: Formerly Used Defense Sites

The listing includes locations of Formerly Used Defense Sites properties where the US Army Corps of Engineers is actively working or will take necessary cleanup actions.

Date of Government Version: 05/08/2023	Source: U.S. Army Corps of Engineers
Date Data Arrived at EDR: 05/16/2023	Telephone: 202-528-4285
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 05/16/2023
Number of Days to Update: 55	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Varies

### DOD: Department of Defense Sites

This data set consists of federally owned or administered lands, administered by the Department of Defense, that have any area equal to or greater than 640 acres of the United States, Puerto Rico, and the U.S. Virgin Islands.

Date of Government Version: 06/07/2021	Source: USGS
Date Data Arrived at EDR: 07/13/2021	Telephone: 888-275-8747
Date Made Active in Reports: 03/09/2022	Last EDR Contact: 07/10/2023
Number of Days to Update: 239	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### FEDLAND: Federal and Indian Lands

Federally and Indian administrated lands of the United States. Lands included are administrated by: Army Corps of Engineers, Bureau of Reclamation, National Wild and Scenic River, National Wildlife Refuge, Public Domain Land, Wilderness, Wilderness Study Area, Wildlife Management Area, Bureau of Indian Affairs, Bureau of Land Management, Department of Justice, Forest Service, Fish and Wildlife Service, National Park Service.

Date of Government Version: 04/02/2018	Source: U.S. Geological Survey
Date Data Arrived at EDR: 04/11/2018	Telephone: 888-275-8747
Date Made Active in Reports: 11/06/2019	Last EDR Contact: 07/05/2023
Number of Days to Update: 574	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: N/A

### SCRD DRYCLEANERS: State Coalition for Remediation of Drycleaners Listing

The State Coalition for Remediation of Drycleaners was established in 1998, with support from the U.S. EPA Office of Superfund Remediation and Technology Innovation. It is comprised of representatives of states with established drycleaner remediation programs. Currently the member states are Alabama, Connecticut, Florida, Illinois, Kansas, Minnesota, Missouri, North Carolina, Oregon, South Carolina, Tennessee, Texas, and Wisconsin.

Date of Government Version: 07/30/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 02/03/2023	Telephone: 615-532-8599
Date Made Active in Reports: 02/10/2023	Last EDR Contact: 05/11/2023
Number of Days to Update: 7	Next Scheduled EDR Contact: 08/21/2023
	Data Release Frequency: Varies

### US FIN ASSUR: Financial Assurance Information

All owners and operators of facilities that treat, store, or dispose of hazardous waste are required to provide proof that they will have sufficient funds to pay for the clean up, closure, and post-closure care of their facilities.

Date of Government Version: 03/13/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2023	Telephone: 202-566-1917
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/20/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Quarterly



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### EPA WATCH LIST: EPA WATCH LIST

EPA maintains a "Watch List" to facilitate dialogue between EPA, state and local environmental agencies on enforcement matters relating to facilities with alleged violations identified as either significant or high priority. Being on the Watch List does not mean that the facility has actually violated the law only that an investigation by EPA or a state or local environmental agency has led those organizations to allege that an unproven violation has in fact occurred. Being on the Watch List does not represent a higher level of concern regarding the alleged violations that were detected, but instead indicates cases requiring additional dialogue between EPA, state and local agencies - primarily because of the length of time the alleged violation has gone unaddressed or unresolved.

Date of Government Version: 08/30/2013	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/21/2014	Telephone: 617-520-3000
Date Made Active in Reports: 06/17/2014	Last EDR Contact: 05/01/2023
Number of Days to Update: 88	Next Scheduled EDR Contact: 08/14/2023
	Data Release Frequency: Quarterly

### 2020 COR ACTION: 2020 Corrective Action Program List

The EPA has set ambitious goals for the RCRA Corrective Action program by creating the 2020 Corrective Action Universe. This RCRA cleanup baseline includes facilities expected to need corrective action. The 2020 universe contains a wide variety of sites. Some properties are heavily contaminated while others were contaminated but have since been cleaned up. Still others have not been fully investigated yet, and may require little or no remediation. Inclusion in the 2020 Universe does not necessarily imply failure on the part of a facility to meet its RCRA obligations.

Date of Government Version: 09/30/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/08/2018	Telephone: 703-308-4044
Date Made Active in Reports: 07/20/2018	Last EDR Contact: 05/04/2023
Number of Days to Update: 73	Next Scheduled EDR Contact: 08/14/2023
	Data Release Frequency: Varies

### TSCA: Toxic Substances Control Act

Toxic Substances Control Act. TSCA identifies manufacturers and importers of chemical substances included on the TSCA Chemical Substance Inventory list. It includes data on the production volume of these substances by plant site.

Date of Government Version: 12/31/2020	Source: EPA
Date Data Arrived at EDR: 06/14/2022	Telephone: 202-260-5521
Date Made Active in Reports: 03/24/2023	Last EDR Contact: 06/16/2023
Number of Days to Update: 283	Next Scheduled EDR Contact: 09/25/2023
	Data Release Frequency: Every 4 Years

### TRIS: Toxic Chemical Release Inventory System

Toxic Release Inventory System. TRIS identifies facilities which release toxic chemicals to the air, water and land in reportable quantities under SARA Title III Section 313.

Date of Government Version: 12/31/2021	Source: EPA
Date Data Arrived at EDR: 02/16/2023	Telephone: 202-566-0250
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 05/19/2023
Number of Days to Update: 75	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Annually

### SSTS: Section 7 Tracking Systems

Section 7 of the Federal Insecticide, Fungicide and Rodenticide Act, as amended (92 Stat. 829) requires all registered pesticide-producing establishments to submit a report to the Environmental Protection Agency by March 1st each year. Each establishment must report the types and amounts of pesticides, active ingredients and devices being produced, and those having been produced and sold or distributed in the past year.

Date of Government Version: 04/17/2023	Source: EPA
Date Data Arrived at EDR: 04/18/2023	Telephone: 202-564-4203
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 04/18/2023
Number of Days to Update: 83	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Annually

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### ROD: Records Of Decision

Record of Decision. ROD documents mandate a permanent remedy at an NPL (Superfund) site containing technical and health information to aid in the cleanup.

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: 703-416-0223
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 09/11/2023
	Data Release Frequency: Annually

### RMP: Risk Management Plans

When Congress passed the Clean Air Act Amendments of 1990, it required EPA to publish regulations and guidance for chemical accident prevention at facilities using extremely hazardous substances. The Risk Management Program Rule (RMP Rule) was written to implement Section 112(r) of these amendments. The rule, which built upon existing industry codes and standards, requires companies of all sizes that use certain flammable and toxic substances to develop a Risk Management Program, which includes a(n): Hazard assessment that details the potential effects of an accidental release, an accident history of the last five years, and an evaluation of worst-case and alternative accidental releases; Prevention program that includes safety precautions and maintenance, monitoring, and employee training measures; and Emergency response program that spells out emergency health care, employee training measures and procedures for informing the public and response agencies (e.g the fire department) should an accident occur.

Date of Government Version: 04/27/2022	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/04/2022	Telephone: 202-564-8600
Date Made Active in Reports: 05/10/2022	Last EDR Contact: 06/12/2023
Number of Days to Update: 6	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Varies

### RAATS: RCRA Administrative Action Tracking System

RCRA Administration Action Tracking System. RAATS contains records based on enforcement actions issued under RCRA pertaining to major violators and includes administrative and civil actions brought by the EPA. For administration actions after September 30, 1995, data entry in the RAATS database was discontinued. EPA will retain a copy of the database for historical records. It was necessary to terminate RAATS because a decrease in agency resources made it impossible to continue to update the information contained in the database.

Date of Government Version: 04/17/1995	Source: EPA
Date Data Arrived at EDR: 07/03/1995	Telephone: 202-564-4104
Date Made Active in Reports: 08/07/1995	Last EDR Contact: 06/02/2008
Number of Days to Update: 35	Next Scheduled EDR Contact: 09/01/2008
	Data Release Frequency: No Update Planned

### PRP: Potentially Responsible Parties

A listing of verified Potentially Responsible Parties

Date of Government Version: 04/26/2023	Source: EPA
Date Data Arrived at EDR: 05/02/2023	Telephone: 202-564-6023
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 15	Next Scheduled EDR Contact: 08/14/2023
	Data Release Frequency: Quarterly

### PADS: PCB Activity Database System

PCB Activity Database. PADS Identifies generators, transporters, commercial storers and/or brokers and disposers of PCB's who are required to notify the EPA of such activities.

Date of Government Version: 03/20/2023	Source: EPA
Date Data Arrived at EDR: 04/04/2023	Telephone: 202-566-0500
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 07/07/2023
Number of Days to Update: 66	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Annually

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**ICIS: Integrated Compliance Information System**

The Integrated Compliance Information System (ICIS) supports the information needs of the national enforcement and compliance program as well as the unique needs of the National Pollutant Discharge Elimination System (NPDES) program.

Date of Government Version: 11/18/2016	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/23/2016	Telephone: 202-564-2501
Date Made Active in Reports: 02/10/2017	Last EDR Contact: 06/27/2023
Number of Days to Update: 79	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

**FTTS: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**

FTTS tracks administrative cases and pesticide enforcement actions and compliance activities related to FIFRA, TSCA and EPCRA (Emergency Planning and Community Right-to-Know Act). To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 04/09/2009	Source: EPA/Office of Prevention, Pesticides and Toxic Substances
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

**FTTS INSP: FIFRA/ TSCA Tracking System - FIFRA (Federal Insecticide, Fungicide, & Rodenticide Act)/TSCA (Toxic Substances Control Act)**

A listing of FIFRA/TSCA Tracking System (FTTS) inspections and enforcements.

Date of Government Version: 04/09/2009	Source: EPA
Date Data Arrived at EDR: 04/16/2009	Telephone: 202-566-1667
Date Made Active in Reports: 05/11/2009	Last EDR Contact: 08/18/2017
Number of Days to Update: 25	Next Scheduled EDR Contact: 12/04/2017
	Data Release Frequency: No Update Planned

**MLTS: Material Licensing Tracking System**

MLTS is maintained by the Nuclear Regulatory Commission and contains a list of approximately 8,100 sites which possess or use radioactive materials and which are subject to NRC licensing requirements. To maintain currency, EDR contacts the Agency on a quarterly basis.

Date of Government Version: 03/15/2023	Source: Nuclear Regulatory Commission
Date Data Arrived at EDR: 03/21/2023	Telephone: 301-415-7169
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 04/13/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 07/31/2023
	Data Release Frequency: Quarterly

**COAL ASH DOE: Steam-Electric Plant Operation Data**

A listing of power plants that store ash in surface ponds.

Date of Government Version: 12/31/2021	Source: Department of Energy
Date Data Arrived at EDR: 04/14/2023	Telephone: 202-586-8719
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 05/25/2023
Number of Days to Update: 87	Next Scheduled EDR Contact: 09/11/2023
	Data Release Frequency: Varies

**COAL ASH EPA: Coal Combustion Residues Surface Impoundments List**

A listing of coal combustion residues surface impoundments with high hazard potential ratings.

Date of Government Version: 01/12/2017	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/05/2019	Telephone: N/A
Date Made Active in Reports: 11/11/2019	Last EDR Contact: 05/25/2023
Number of Days to Update: 251	Next Scheduled EDR Contact: 09/11/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### PCB TRANSFORMER: PCB Transformer Registration Database

The database of PCB transformer registrations that includes all PCB registration submittals.

Date of Government Version: 09/13/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 11/06/2019	Telephone: 202-566-0517
Date Made Active in Reports: 02/10/2020	Last EDR Contact: 05/04/2023
Number of Days to Update: 96	Next Scheduled EDR Contact: 08/14/2023
	Data Release Frequency: Varies

### RADINFO: Radiation Information Database

The Radiation Information Database (RADINFO) contains information about facilities that are regulated by U.S. Environmental Protection Agency (EPA) regulations for radiation and radioactivity.

Date of Government Version: 07/01/2019	Source: Environmental Protection Agency
Date Data Arrived at EDR: 07/01/2019	Telephone: 202-343-9775
Date Made Active in Reports: 09/23/2019	Last EDR Contact: 06/22/2023
Number of Days to Update: 84	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Quarterly

### HIST FTTS: FIFRA/TSCA Tracking System Administrative Case Listing

A complete administrative case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2007
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

### HIST FTTS INSP: FIFRA/TSCA Tracking System Inspection & Enforcement Case Listing

A complete inspection and enforcement case listing from the FIFRA/TSCA Tracking System (FTTS) for all ten EPA regions. The information was obtained from the National Compliance Database (NCDB). NCDB supports the implementation of FIFRA (Federal Insecticide, Fungicide, and Rodenticide Act) and TSCA (Toxic Substances Control Act). Some EPA regions are now closing out records. Because of that, and the fact that some EPA regions are not providing EPA Headquarters with updated records, it was decided to create a HIST FTTS database. It included records that may not be included in the newer FTTS database updates. This database is no longer updated.

Date of Government Version: 10/19/2006	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/01/2007	Telephone: 202-564-2501
Date Made Active in Reports: 04/10/2007	Last EDR Contact: 12/17/2008
Number of Days to Update: 40	Next Scheduled EDR Contact: 03/17/2008
	Data Release Frequency: No Update Planned

### DOT OPS: Incident and Accident Data

Department of Transportation, Office of Pipeline Safety Incident and Accident data.

Date of Government Version: 01/02/2020	Source: Department of Transportation, Office of Pipeline Safety
Date Data Arrived at EDR: 01/28/2020	Telephone: 202-366-4595
Date Made Active in Reports: 04/17/2020	Last EDR Contact: 04/25/2023
Number of Days to Update: 80	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Quarterly

### CONSENT: Superfund (CERCLA) Consent Decrees

Major legal settlements that establish responsibility and standards for cleanup at NPL (Superfund) sites. Released periodically by United States District Courts after settlement by parties to litigation matters.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 03/31/2023 Date Data Arrived at EDR: 04/20/2023 Date Made Active in Reports: 07/10/2023 Number of Days to Update: 81	Source: Department of Justice, Consent Decree Library Telephone: Varies Last EDR Contact: 06/27/2023 Next Scheduled EDR Contact: 10/16/2023 Data Release Frequency: Varies
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**BRS: Biennial Reporting System**

The Biennial Reporting System is a national system administered by the EPA that collects data on the generation and management of hazardous waste. BRS captures detailed data from two groups: Large Quantity Generators (LQG) and Treatment, Storage, and Disposal Facilities.

Date of Government Version: 12/31/2021 Date Data Arrived at EDR: 03/09/2023 Date Made Active in Reports: 03/20/2023 Number of Days to Update: 11	Source: EPA/NTIS Telephone: 800-424-9346 Last EDR Contact: 06/20/2023 Next Scheduled EDR Contact: 10/02/2023 Data Release Frequency: Biennially
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**INDIAN RESERV: Indian Reservations**

This map layer portrays Indian administered lands of the United States that have any area equal to or greater than 640 acres.

Date of Government Version: 12/31/2014 Date Data Arrived at EDR: 07/14/2015 Date Made Active in Reports: 01/10/2017 Number of Days to Update: 546	Source: USGS Telephone: 202-208-3710 Last EDR Contact: 07/05/2023 Next Scheduled EDR Contact: 10/16/2023 Data Release Frequency: Semi-Annually
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**FUSRAP: Formerly Utilized Sites Remedial Action Program**

DOE established the Formerly Utilized Sites Remedial Action Program (FUSRAP) in 1974 to remediate sites where radioactive contamination remained from Manhattan Project and early U.S. Atomic Energy Commission (AEC) operations.

Date of Government Version: 03/03/2023 Date Data Arrived at EDR: 03/03/2023 Date Made Active in Reports: 06/09/2023 Number of Days to Update: 98	Source: Department of Energy Telephone: 202-586-3559 Last EDR Contact: 04/26/2023 Next Scheduled EDR Contact: 08/14/2023 Data Release Frequency: Varies
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**UMTRA: Uranium Mill Tailings Sites**

Uranium ore was mined by private companies for federal government use in national defense programs. When the mills shut down, large piles of the sand-like material (mill tailings) remain after uranium has been extracted from the ore. Levels of human exposure to radioactive materials from the piles are low; however, in some cases tailings were used as construction materials before the potential health hazards of the tailings were recognized.

Date of Government Version: 08/30/2019 Date Data Arrived at EDR: 11/15/2019 Date Made Active in Reports: 01/28/2020 Number of Days to Update: 74	Source: Department of Energy Telephone: 505-845-0011 Last EDR Contact: 05/24/2023 Next Scheduled EDR Contact: 08/28/2023 Data Release Frequency: Varies
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**LEAD SMELTER 1: Lead Smelter Sites**

A listing of former lead smelter site locations.

Date of Government Version: 04/26/2023 Date Data Arrived at EDR: 05/02/2023 Date Made Active in Reports: 05/17/2023 Number of Days to Update: 15	Source: Environmental Protection Agency Telephone: 703-603-8787 Last EDR Contact: 07/06/2023 Next Scheduled EDR Contact: 10/09/2023 Data Release Frequency: Varies
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**LEAD SMELTER 2: Lead Smelter Sites**

A list of several hundred sites in the U.S. where secondary lead smelting was done from 1931 and 1964. These sites may pose a threat to public health through ingestion or inhalation of contaminated soil or dust

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/05/2001	Source: American Journal of Public Health
Date Data Arrived at EDR: 10/27/2010	Telephone: 703-305-6451
Date Made Active in Reports: 12/02/2010	Last EDR Contact: 12/02/2009
Number of Days to Update: 36	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

### US AIRS (AFS): Aerometric Information Retrieval System Facility Subsystem (AFS)

The database is a sub-system of Aerometric Information Retrieval System (AIRS). AFS contains compliance data on air pollution point sources regulated by the U.S. EPA and/or state and local air regulatory agencies. This information comes from source reports by various stationary sources of air pollution, such as electric power plants, steel mills, factories, and universities, and provides information about the air pollutants they produce. Action, air program, air program pollutant, and general level plant data. It is used to track emissions and compliance data from industrial plants.

Date of Government Version: 10/12/2016	Source: EPA
Date Data Arrived at EDR: 10/26/2016	Telephone: 202-564-2496
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 09/26/2017
Number of Days to Update: 100	Next Scheduled EDR Contact: 01/08/2018
	Data Release Frequency: Annually

### US AIRS MINOR: Air Facility System Data

A listing of minor source facilities.

Date of Government Version: 10/12/2016	Source: EPA
Date Data Arrived at EDR: 10/26/2016	Telephone: 202-564-2496
Date Made Active in Reports: 02/03/2017	Last EDR Contact: 09/26/2017
Number of Days to Update: 100	Next Scheduled EDR Contact: 01/08/2018
	Data Release Frequency: Annually

### MINES VIOLATIONS: MSHA Violation Assessment Data

Mines violation and assessment information. Department of Labor, Mine Safety & Health Administration.

Date of Government Version: 04/03/2023	Source: DOL, Mine Safety & Health Admi
Date Data Arrived at EDR: 04/04/2023	Telephone: 202-693-9424
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 66	Next Scheduled EDR Contact: 09/11/2023
	Data Release Frequency: Quarterly

### US MINES: Mines Master Index File

Contains all mine identification numbers issued for mines active or opened since 1971. The data also includes violation information.

Date of Government Version: 02/02/2023	Source: Department of Labor, Mine Safety and Health Administration
Date Data Arrived at EDR: 02/22/2023	Telephone: 303-231-5959
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 05/24/2023
Number of Days to Update: 84	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Semi-Annually

### US MINES 2: Ferrous and Nonferrous Metal Mines Database Listing

This map layer includes ferrous (ferrous metal mines are facilities that extract ferrous metals, such as iron ore or molybdenum) and nonferrous (Nonferrous metal mines are facilities that extract nonferrous metals, such as gold, silver, copper, zinc, and lead) metal mines in the United States.

Date of Government Version: 01/07/2022	Source: USGS
Date Data Arrived at EDR: 02/24/2023	Telephone: 703-648-7709
Date Made Active in Reports: 05/17/2023	Last EDR Contact: 05/25/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**US MINES 3: Active Mines & Mineral Plants Database Listing**

Active Mines and Mineral Processing Plant operations for commodities monitored by the Minerals Information Team of the USGS.

Date of Government Version: 04/14/2011	Source: USGS
Date Data Arrived at EDR: 06/08/2011	Telephone: 703-648-7709
Date Made Active in Reports: 09/13/2011	Last EDR Contact: 05/25/2023
Number of Days to Update: 97	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

**ABANDONED MINES: Abandoned Mines**

An inventory of land and water impacted by past mining (primarily coal mining) is maintained by OSMRE to provide information needed to implement the Surface Mining Control and Reclamation Act of 1977 (SMCRA). The inventory contains information on the location, type, and extent of AML impacts, as well as, information on the cost associated with the reclamation of those problems. The inventory is based upon field surveys by State, Tribal, and OSMRE program officials. It is dynamic to the extent that it is modified as new problems are identified and existing problems are reclaimed.

Date of Government Version: 03/17/2023	Source: Department of Interior
Date Data Arrived at EDR: 03/17/2023	Telephone: 202-208-2609
Date Made Active in Reports: 05/30/2023	Last EDR Contact: 06/13/2023
Number of Days to Update: 74	Next Scheduled EDR Contact: 09/18/2023
	Data Release Frequency: Quarterly

**FINDS: Facility Index System/Facility Registry System**

Facility Index System. FINDS contains both facility information and 'pointers' to other sources that contain more detail. EDR includes the following FINDS databases in this report: PCS (Permit Compliance System), AIRS (Aerometric Information Retrieval System), DOCKET (Enforcement Docket used to manage and track information on civil judicial enforcement cases for all environmental statutes), FURS (Federal Underground Injection Control), C-DOCKET (Criminal Docket System used to track criminal enforcement actions for all environmental statutes), FFIS (Federal Facilities Information System), STATE (State Environmental Laws and Statutes), and PADS (PCB Activity Data System).

Date of Government Version: 02/02/2023	Source: EPA
Date Data Arrived at EDR: 02/28/2023	Telephone: (617) 918-1111
Date Made Active in Reports: 03/24/2023	Last EDR Contact: 05/25/2023
Number of Days to Update: 24	Next Scheduled EDR Contact: 09/11/2023
	Data Release Frequency: Quarterly

**DOCKET HWC: Hazardous Waste Compliance Docket Listing**

A complete list of the Federal Agency Hazardous Waste Compliance Docket Facilities.

Date of Government Version: 05/06/2021	Source: Environmental Protection Agency
Date Data Arrived at EDR: 05/21/2021	Telephone: 202-564-0527
Date Made Active in Reports: 08/11/2021	Last EDR Contact: 05/17/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

**ECHO: Enforcement & Compliance History Information**

ECHO provides integrated compliance and enforcement information for about 800,000 regulated facilities nationwide.

Date of Government Version: 03/25/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/31/2023	Telephone: 202-564-2280
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 06/29/2023
Number of Days to Update: 70	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Quarterly

**UXO: Unexploded Ordnance Sites**

A listing of unexploded ordnance site locations

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/09/2021	Source: Department of Defense
Date Data Arrived at EDR: 10/20/2022	Telephone: 703-704-1564
Date Made Active in Reports: 01/10/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 82	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### FUELS PROGRAM: EPA Fuels Program Registered Listing

This listing includes facilities that are registered under the Part 80 (Code of Federal Regulations) EPA Fuels Programs. All companies now are required to submit new and updated registrations.

Date of Government Version: 05/15/2023	Source: EPA
Date Data Arrived at EDR: 05/17/2023	Telephone: 800-385-6164
Date Made Active in Reports: 07/10/2023	Last EDR Contact: 05/17/2023
Number of Days to Update: 54	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Quarterly

### PFAS NPL: Superfund Sites with PFAS Detections Information

EPA's Office of Land and Emergency Management and EPA Regional Offices maintain data describing what is known about site investigations, contamination, and remedial actions under the Comprehensive Environmental Response, Compensation, and Liability Act (CERCLA) where PFAS is present in the environment.

Date of Government Version: 06/07/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/08/2023	Telephone: 703-603-8895
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 1	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### PFAS FEDERAL SITES: Federal Sites PFAS Information

Several federal entities, such as the federal Superfund program, Department of Defense, National Aeronautics and Space Administration, Department of Transportation, and Department of Energy provided information for sites with known or suspected detections at federal facilities.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 04/07/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 8	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### PFAS TSCA: PFAS Manufacture and Imports Information

EPA issued the Chemical Data Reporting (CDR) Rule under the Toxic Substances Control Act (TSCA) and requires chemical manufacturers and facilities that manufacture or import chemical substances to report data to EPA. EPA publishes non-confidential business information (non-CBI) and includes descriptive information about each site, corporate parent, production volume, other manufacturing information, and processing and use information.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 71	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### PFAS RCRA MANIFEST: PFAS Transfers Identified In the RCRA Database Listing

To work around the lack of PFAS waste codes in the RCRA database, EPA developed the PFAS Transfers dataset by mining e-Manifest records containing at least one of these common PFAS keywords: PFAS, PFOA, PFOS, PERFL, AFFF, GENX, GEN-X (plus the VT waste codes). These keywords were searched for in the following text fields: Manifest handling instructions (MANIFEST\_HANDLING\_INSTR), Non-hazardous waste description (NON\_HAZ\_WASTE\_DESCRIPTION), DOT printed information (DOT\_PRINTED\_INFORMATION), Waste line handling instructions (WASTE\_LINE\_HANDLING\_INSTR), Waste residue comments (WASTE\_RESIDUE\_COMMENTS).

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 33	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

**PFAS ATSDR: PFAS Contamination Site Location Listing**

PFAS contamination site locations from the Department of Health & Human Services, Center for Disease Control & Prevention. ATSDR is involved at a number of PFAS-related sites, either directly or through assisting state and federal partners. As of now, most sites are related to drinking water contamination connected with PFAS production facilities or fire training areas where aqueous film-forming firefighting foam (AFFF) was regularly used.

Date of Government Version: 06/24/2020	Source: Department of Health & Human Services
Date Data Arrived at EDR: 03/17/2021	Telephone: 202-741-5770
Date Made Active in Reports: 11/08/2022	Last EDR Contact: 04/20/2023
Number of Days to Update: 601	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Varies

**PFAS WQP: Ambient Environmental Sampling for PFAS**

The Water Quality Portal (WQP) is a part of a modernized repository storing ambient sampling data for all environmental media and tissue samples. A wide range of federal, state, tribal and local governments, academic and non-governmental organizations and individuals submit project details and sampling results to this public repository. The information is commonly used for research and assessments of environmental quality.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 33	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**PFAS NPDES: Clean Water Act Discharge Monitoring Information**

Any discharger of pollutants to waters of the United States from a point source must have a National Pollutant Discharge Elimination System (NPDES) permit. The process for obtaining limits involves the regulated entity (permittee) disclosing releases in a NPDES permit application and the permitting authority (typically the state but sometimes EPA) deciding whether to require monitoring or monitoring with limits.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 04/07/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 8	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**PFAS ECHO: Facilities in Industries that May Be Handling PFAS Listing**

Regulators and the public have expressed interest in knowing which regulated entities may be using PFAS. EPA has developed a dataset from various sources that show which industries may be handling PFAS. Approximately 120,000 facilities subject to federal environmental programs have operated or currently operate in industry sectors with processes that may involve handling and/or release of PFAS.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 04/03/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 4	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**PFAS ECHO FIRE TRAINING: Facilities in Industries that May Be Handling PFAS Listing**

A list of fire training sites was added to the Industry Sectors dataset using a keyword search on the permitted facilities name to identify sites where fire-fighting foam may have been used in training exercises. Additionally, you may view an example spreadsheet of the subset of fire training facility data, as well as the keywords used in selecting or deselecting a facility for the subset. as well as the keywords used in selecting or deselecting a facility for the subset. These keywords were tested to maximize accuracy in selecting facilities that may use fire-fighting foam in training exercises, however, due to the lack of a required reporting field in the data systems for designating fire training sites, this methodology may not identify all fire training sites or may potentially misidentify them.

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 04/03/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 4	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### PFAS PART 139 AIRPORT: All Certified Part 139 Airports PFAS Information Listing

Since July 1, 2006, all certified part 139 airports are required to have fire-fighting foam onsite that meet military specifications (MIL-F-24385) (14 CFR 139.317). To date, these military specification fire-fighting foams are fluorinated and have been historically used for training and extinguishing. The 2018 FAA Reauthorization Act has a provision stating that no later than October 2021, FAA shall not require the use of fluorinated AFFF. This provision does not prohibit the use of fluorinated AFFF at Part 139 civilian airports; it only prohibits FAA from mandating its use. The Federal Aviation Administration's document AC 150/5210-6D - Aircraft Fire Extinguishing Agents provides guidance on Aircraft Fire Extinguishing Agents, which includes Aqueous Film Forming Foam (AFFF).

Date of Government Version: 03/30/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 03/30/2023	Telephone: 202-272-0167
Date Made Active in Reports: 04/03/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 4	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### AQUEOUS FOAM NRC: Aqueous Foam Related Incidents Listing

The National Response Center (NRC) serves as an emergency call center that fields initial reports for pollution and railroad incidents and forwards that information to appropriate federal/state agencies for response. The spreadsheets posted to the NRC website contain initial incident data that has not been validated or investigated by a federal/state response agency. Response center calls from 1990 to the most recent complete calendar year where there was indication of Aqueous Film Forming Foam (AFFF) usage are included in this dataset. NRC calls may reference AFFF usage in the "Material Involved" or "Incident Description" fields.

Date of Government Version: 04/27/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 04/27/2023	Telephone: 202-272-0167
Date Made Active in Reports: 05/02/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 5	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### PFAS: PFAS Contaminated Sites Listing

Detection of Per- and Polyfluoroalkyl Substances (PFAS) in drinking water.

Date of Government Version: 12/09/2022	Source: Department of Environmental Protection
Date Data Arrived at EDR: 12/12/2022	Telephone: 617-292-6770
Date Made Active in Reports: 03/06/2023	Last EDR Contact: 06/22/2023
Number of Days to Update: 84	Next Scheduled EDR Contact: 10/09/2023
	Data Release Frequency: Varies

### AIRS: Permitted Facilities Listing

A listing of Air Quality permit applications.

Date of Government Version: 04/07/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/11/2023	Telephone: 617-292-5789
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 72	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### ASBESTOS: Asbestos Notification Listing

Asbestos sites

Date of Government Version: 05/16/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 05/17/2023	Telephone: 617-292-5982
Date Made Active in Reports: 05/25/2023	Last EDR Contact: 05/10/2023
Number of Days to Update: 8	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Varies

### DRYCLEANERS: Regulated Drycleaning Facilities

A listing of Department of Environmental Protection regulated drycleaning facilities that use perchloroethylene under the Environmental Results Program.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 04/19/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 04/20/2023	Telephone: 617-292-5633
Date Made Active in Reports: 05/25/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 35	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### ENFORCEMENT: Enforcement Action Cases

A listing of enforcement action cases tracked by Department of Environmental Protection programs, including Solid Waste and Hazardous Waste.

Date of Government Version: 04/05/2023	Source: Department of Environmental Quality
Date Data Arrived at EDR: 04/06/2023	Telephone: 617-292-5979
Date Made Active in Reports: 06/22/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### Financial Assurance 1: Financial Assurance Information Listing

Information for hazardous waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 12/01/2010	Source: Department of Environmental Protection
Date Data Arrived at EDR: 12/23/2010	Telephone: 617-292-5970
Date Made Active in Reports: 02/03/2011	Last EDR Contact: 05/31/2023
Number of Days to Update: 42	Next Scheduled EDR Contact: 09/18/2023
	Data Release Frequency: Varies

### Financial Assurance 2: Financial Assurance Information Listing

A listing of financial assurance information for underground storage tanks. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay.

Date of Government Version: 03/08/2023	Source: Office of State Fire Marshal
Date Data Arrived at EDR: 03/10/2023	Telephone: 978-567-3100
Date Made Active in Reports: 05/26/2023	Last EDR Contact: 07/06/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Varies

### Financial Assurance 3: Financial Assurance Information listing

Information for solid waste facilities. Financial assurance is intended to ensure that resources are available to pay for the cost of closure, post-closure care, and corrective measures if the owner or operator of a regulated facility is unable or unwilling to pay

Date of Government Version: 10/24/2022	Source: Department of Environmental Protection
Date Data Arrived at EDR: 01/12/2023	Telephone: 617-292-5970
Date Made Active in Reports: 03/07/2023	Last EDR Contact: 06/27/2023
Number of Days to Update: 54	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

### GWDP: Ground Water Discharge Permits

The Ground Water Discharge Permits datalayer (formerly known as Groundwater Discharge Points) is a statewide point dataset containing approximate locations of permitted discharges to groundwater.

Date of Government Version: 11/03/2022	Source: MassGIS
Date Data Arrived at EDR: 01/24/2023	Telephone: 617-556-1150
Date Made Active in Reports: 04/12/2023	Last EDR Contact: 04/25/2023
Number of Days to Update: 78	Next Scheduled EDR Contact: 08/07/2023
	Data Release Frequency: Varies

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### HW GEN: List of Massachusetts Hazardous Waste Generators

Permanent generator identification numbers for all Massachusetts generators of hazardous waste and waste oil that have registered with or notified MassDEP of their hazardous waste activities.

Date of Government Version: 03/17/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/21/2023	Telephone: 617-292-5500
Date Made Active in Reports: 06/06/2023	Last EDR Contact: 06/15/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Semi-Annually

### MERCURY: Mercury Product Recycling Drop-Off Locations Listing

A listing of locations, collecting and recycling for mercury-added products. Mercury is toxic to the human nervous system, as well as fish and animals. Mercury can enter the body either through skin absorption or through inhalation of mercury vapors. At room temperature, small beads of mercury will vaporize.

Date of Government Version: 09/26/2022	Source: Department of Environmental Protection
Date Data Arrived at EDR: 09/26/2022	Telephone: 617-292-5632
Date Made Active in Reports: 12/09/2022	Last EDR Contact: 05/10/2023
Number of Days to Update: 74	Next Scheduled EDR Contact: 08/28/2023
	Data Release Frequency: Varies

### NPDES: NPDES Permit Listing

Listing of treatment plants in Massachusetts that hold permits to discharge to groundwater.

Date of Government Version: 12/16/2022	Source: Department of Environmental Protection
Date Data Arrived at EDR: 02/07/2023	Telephone: 508-767-2781
Date Made Active in Reports: 02/14/2023	Last EDR Contact: 05/11/2023
Number of Days to Update: 7	Next Scheduled EDR Contact: 08/21/2023
	Data Release Frequency: Varies

### TIER 2: Tier 2 Information Listing

A listing of facilities which store or manufacture hazardous materials and submit a chemical inventory report

Date of Government Version: 12/31/2019	Source: Massachusetts Emergency Management Agency
Date Data Arrived at EDR: 07/19/2021	Telephone: 508-820-2019
Date Made Active in Reports: 08/17/2021	Last EDR Contact: 07/06/2023
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/23/2023
	Data Release Frequency: Annually

### TSD: TSD Facility

List of Licensed Hazardous Waste Treatment, Storage Disposal Facilities (TSDFs) in Massachusetts.

Date of Government Version: 03/17/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 03/21/2023	Telephone: 617-292-5580
Date Made Active in Reports: 06/06/2023	Last EDR Contact: 06/15/2023
Number of Days to Update: 77	Next Scheduled EDR Contact: 10/02/2023
	Data Release Frequency: Varies

### UIC: Underground Injection Control Listing

A list of UIC registration data and their locations

Date of Government Version: 02/13/2023	Source: Department of Environmental Protection
Date Data Arrived at EDR: 02/15/2023	Telephone: 617-566-1172
Date Made Active in Reports: 05/11/2023	Last EDR Contact: 05/03/2023
Number of Days to Update: 85	Next Scheduled EDR Contact: 08/21/2023
	Data Release Frequency: Varies

### PCS ENF: Enforcement data

No description is available for this data

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 12/31/2014	Source: EPA
Date Data Arrived at EDR: 02/05/2015	Telephone: 202-564-2497
Date Made Active in Reports: 03/06/2015	Last EDR Contact: 06/27/2023
Number of Days to Update: 29	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**MINES MRDS: Mineral Resources Data System**  
Mineral Resources Data System

Date of Government Version: 08/23/2022	Source: USGS
Date Data Arrived at EDR: 11/22/2022	Telephone: 703-648-6533
Date Made Active in Reports: 02/28/2023	Last EDR Contact: 05/25/2023
Number of Days to Update: 98	Next Scheduled EDR Contact: 09/04/2023
	Data Release Frequency: Varies

**PFAS TRIS: List of PFAS Added to the TRI**

Section 7321 of the National Defense Authorization Act for Fiscal Year 2020 (NDAA) immediately added certain per- and polyfluoroalkyl substances (PFAS) to the list of chemicals covered by the Toxics Release Inventory (TRI) under Section 313 of the Emergency Planning and Community Right-to-Know Act (EPCRA) and provided a framework for additional PFAS to be added to TRI on an annual basis.

Date of Government Version: 06/07/2023	Source: Environmental Protection Agency
Date Data Arrived at EDR: 06/08/2023	Telephone: 202-566-0250
Date Made Active in Reports: 06/09/2023	Last EDR Contact: 07/05/2023
Number of Days to Update: 1	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: Varies

**PCS: Permit Compliance System**

PCS is a computerized management information system that contains data on National Pollutant Discharge Elimination System (NPDES) permit holding facilities. PCS tracks the permit, compliance, and enforcement status of NPDES facilities.

Date of Government Version: 07/14/2011	Source: EPA, Office of Water
Date Data Arrived at EDR: 08/05/2011	Telephone: 202-564-2496
Date Made Active in Reports: 09/29/2011	Last EDR Contact: 06/27/2023
Number of Days to Update: 55	Next Scheduled EDR Contact: 10/16/2023
	Data Release Frequency: No Update Planned

**EDR HIGH RISK HISTORICAL RECORDS**

***EDR Exclusive Records***

**EDR MGP: EDR Proprietary Manufactured Gas Plants**

The EDR Proprietary Manufactured Gas Plant Database includes records of coal gas plants (manufactured gas plants) compiled by EDR's researchers. Manufactured gas sites were used in the United States from the 1800's to 1950's to produce a gas that could be distributed and used as fuel. These plants used whale oil, rosin, coal, or a mixture of coal, oil, and water that also produced a significant amount of waste. Many of the byproducts of the gas production, such as coal tar (oily waste containing volatile and non-volatile chemicals), sludges, oils and other compounds are potentially hazardous to human health and the environment. The byproduct from this process was frequently disposed of directly at the plant site and can remain or spread slowly, serving as a continuous source of soil and groundwater contamination.

Date of Government Version: N/A	Source: EDR, Inc.
Date Data Arrived at EDR: N/A	Telephone: N/A
Date Made Active in Reports: N/A	Last EDR Contact: N/A
Number of Days to Update: N/A	Next Scheduled EDR Contact: N/A
	Data Release Frequency: No Update Planned

**EDR Hist Auto: EDR Exclusive Historical Auto Stations**

EDR has searched selected national collections of business directories and has collected listings of potential gas station/filling station/service station sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include gas station/filling station/service station establishments. The categories reviewed included, but were not limited to gas, gas station, gasoline station, filling station, auto, automobile repair, auto service station, service station, etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: N/A  
 Date Data Arrived at EDR: N/A  
 Date Made Active in Reports: N/A  
 Number of Days to Update: N/A

Source: EDR, Inc.  
 Telephone: N/A  
 Last EDR Contact: N/A  
 Next Scheduled EDR Contact: N/A  
 Data Release Frequency: Varies

### EDR Hist Cleaner: EDR Exclusive Historical Cleaners

EDR has searched selected national collections of business directories and has collected listings of potential dry cleaner sites that were available to EDR researchers. EDR's review was limited to those categories of sources that might, in EDR's opinion, include dry cleaning establishments. The categories reviewed included, but were not limited to dry cleaners, cleaners, laundry, laundromat, cleaning/laundry, wash & dry etc. This database falls within a category of information EDR classifies as "High Risk Historical Records", or HRHR. EDR's HRHR effort presents unique and sometimes proprietary data about past sites and operations that typically create environmental concerns, but may not show up in current government records searches.

Date of Government Version: N/A  
 Date Data Arrived at EDR: N/A  
 Date Made Active in Reports: N/A  
 Number of Days to Update: N/A

Source: EDR, Inc.  
 Telephone: N/A  
 Last EDR Contact: N/A  
 Next Scheduled EDR Contact: N/A  
 Data Release Frequency: Varies

### EDR RECOVERED GOVERNMENT ARCHIVES

#### *Exclusive Recovered Govt. Archives*

#### RGA HWS: Recovered Government Archive State Hazardous Waste Facilities List

The EDR Recovered Government Archive State Hazardous Waste database provides a list of SHWS incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Protection in Massachusetts.

Date of Government Version: N/A  
 Date Data Arrived at EDR: 07/01/2013  
 Date Made Active in Reports: 12/24/2013  
 Number of Days to Update: 176

Source: Department of Environmental Protection  
 Telephone: N/A  
 Last EDR Contact: 06/01/2012  
 Next Scheduled EDR Contact: N/A  
 Data Release Frequency: Varies

#### RGA LUST: Recovered Government Archive Leaking Underground Storage Tank

The EDR Recovered Government Archive Leaking Underground Storage Tank database provides a list of LUST incidents derived from historical databases and includes many records that no longer appear in current government lists. Compiled from Records formerly available from the Department of Environmental Protection in Massachusetts.

Date of Government Version: N/A  
 Date Data Arrived at EDR: 07/01/2013  
 Date Made Active in Reports: 12/24/2013  
 Number of Days to Update: 176

Source: Department of Environmental Protection  
 Telephone: N/A  
 Last EDR Contact: 06/01/2012  
 Next Scheduled EDR Contact: N/A  
 Data Release Frequency: Varies

### OTHER DATABASE(S)

Depending on the geographic area covered by this report, the data provided in these specialty databases may or may not be complete. For example, the existence of wetlands information data in a specific report does not mean that all wetlands in the area covered by the report are included. Moreover, the absence of any reported wetlands information does not necessarily mean that wetlands do not exist in the area covered by the report.

#### CT MANIFEST: Hazardous Waste Manifest Data

Facility and manifest data. Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a tsd facility.

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Date of Government Version: 11/16/2022  
Date Data Arrived at EDR: 11/16/2022  
Date Made Active in Reports: 02/06/2023  
Number of Days to Update: 82

Source: Department of Energy & Environmental Protection  
Telephone: 860-424-3375  
Last EDR Contact: 05/11/2023  
Next Scheduled EDR Contact: 08/21/2023  
Data Release Frequency: No Update Planned

### NJ MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 12/31/2018  
Date Data Arrived at EDR: 04/10/2019  
Date Made Active in Reports: 05/16/2019  
Number of Days to Update: 36

Source: Department of Environmental Protection  
Telephone: N/A  
Last EDR Contact: 06/27/2023  
Next Scheduled EDR Contact: 10/16/2023  
Data Release Frequency: Annually

### NY MANIFEST: Facility and Manifest Data

Manifest is a document that lists and tracks hazardous waste from the generator through transporters to a TSD facility.

Date of Government Version: 01/01/2019  
Date Data Arrived at EDR: 10/29/2021  
Date Made Active in Reports: 01/19/2022  
Number of Days to Update: 82

Source: Department of Environmental Conservation  
Telephone: 518-402-8651  
Last EDR Contact: 04/27/2023  
Next Scheduled EDR Contact: 08/07/2023  
Data Release Frequency: Quarterly

### PA MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 06/30/2018  
Date Data Arrived at EDR: 07/19/2019  
Date Made Active in Reports: 09/10/2019  
Number of Days to Update: 53

Source: Department of Environmental Protection  
Telephone: 717-783-8990  
Last EDR Contact: 07/06/2023  
Next Scheduled EDR Contact: 10/23/2023  
Data Release Frequency: Annually

### RI MANIFEST: Manifest information

Hazardous waste manifest information

Date of Government Version: 12/31/2020  
Date Data Arrived at EDR: 11/30/2021  
Date Made Active in Reports: 02/18/2022  
Number of Days to Update: 80

Source: Department of Environmental Management  
Telephone: 401-222-2797  
Last EDR Contact: 05/10/2022  
Next Scheduled EDR Contact: 08/28/2023  
Data Release Frequency: Annually

### VT MANIFEST: Hazardous Waste Manifest Data

Hazardous waste manifest information.

Date of Government Version: 10/28/2019  
Date Data Arrived at EDR: 10/29/2019  
Date Made Active in Reports: 01/09/2020  
Number of Days to Update: 72

Source: Department of Environmental Conservation  
Telephone: 802-241-3443  
Last EDR Contact: 07/06/2023  
Next Scheduled EDR Contact: 10/23/2023  
Data Release Frequency: Annually

### WI MANIFEST: Manifest Information

Hazardous waste manifest information.

Date of Government Version: 05/31/2018  
Date Data Arrived at EDR: 06/19/2019  
Date Made Active in Reports: 09/03/2019  
Number of Days to Update: 76

Source: Department of Natural Resources  
Telephone: N/A  
Last EDR Contact: 06/01/2023  
Next Scheduled EDR Contact: 09/18/2023  
Data Release Frequency: Annually

## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

### Oil/Gas Pipelines

Source: Endeavor Business Media

Petroleum Bundle (Crude Oil, Refined Products, Petrochemicals, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)) N = Natural Gas Bundle (Natural Gas, Gas Liquids (LPG/NGL), and Specialty Gases (Miscellaneous)). This map includes information copyrighted by Endeavor Business Media. This information is provided on a best effort basis and Endeavor Business Media does not guarantee its accuracy nor warrant its fitness for any particular purpose. Such information has been reprinted with the permission of Endeavor Business Media.

### Electric Power Transmission Line Data

Source: Endeavor Business Media

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**Sensitive Receptors:** There are individuals deemed sensitive receptors due to their fragile immune systems and special sensitivity to environmental discharges. These sensitive receptors typically include the elderly, the sick, and children. While the location of all sensitive receptors cannot be determined, EDR indicates those buildings and facilities - schools, daycares, hospitals, medical centers, and nursing homes - where individuals who are sensitive receptors are likely to be located.

### AHA Hospitals:

Source: American Hospital Association, Inc.

Telephone: 312-280-5991

The database includes a listing of hospitals based on the American Hospital Association's annual survey of hospitals.

### Medical Centers: Provider of Services Listing

Source: Centers for Medicare & Medicaid Services

Telephone: 410-786-3000

A listing of hospitals with Medicare provider number, produced by Centers of Medicare & Medicaid Services, a federal agency within the U.S. Department of Health and Human Services.

### Nursing Homes

Source: National Institutes of Health

Telephone: 301-594-6248

Information on Medicare and Medicaid certified nursing homes in the United States.

### Public Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on elementary and secondary public education in the United States. It is a comprehensive, annual, national statistical database of all public elementary and secondary schools and school districts, which contains data that are comparable across all states.

### Private Schools

Source: National Center for Education Statistics

Telephone: 202-502-7300

The National Center for Education Statistics' primary database on private school locations in the United States.

**Flood Zone Data:** This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005, 2010 and 2015 from the U.S. Fish and Wildlife Service.

### State Wetlands Data: Wetland Inventory

Source: MassDEP

Telephone: 617-292-5907



## GOVERNMENT RECORDS SEARCHED / DATA CURRENCY TRACKING

Current USGS 7.5 Minute Topographic Map  
Source: U.S. Geological Survey

### STREET AND ADDRESS INFORMATION

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## **GEOCHECK<sup>®</sup> - PHYSICAL SETTING SOURCE ADDENDUM**

### **TARGET PROPERTY ADDRESS**

GALVIN MIDDLE SCHOOL  
55 PECUNIT STREET  
CANTON, MA 02021

### **TARGET PROPERTY COORDINATES**

Latitude (North):	42.185964 - 42° 11' 9.47"
Longitude (West):	71.13216 - 71° 7' 55.78"
Universal Transverse Mercator:	Zone 19
UTM X (Meters):	323925.7
UTM Y (Meters):	4672410.5
Elevation:	70 ft. above sea level

### **USGS TOPOGRAPHIC MAP**

Target Property Map:	11762181 NORWOOD, MA
Version Date:	2018
East Map:	11762157 BLUE HILLS, MA
Version Date:	2018

EDR's GeoCheck Physical Setting Source Addendum is provided to assist the environmental professional in forming an opinion about the impact of potential contaminant migration.

Assessment of the impact of contaminant migration generally has two principle investigative components:

1. Groundwater flow direction, and
2. Groundwater flow velocity.

Groundwater flow direction may be impacted by surface topography, hydrology, hydrogeology, characteristics of the soil, and nearby wells. Groundwater flow velocity is generally impacted by the nature of the geologic strata.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

**GROUNDWATER FLOW DIRECTION INFORMATION**

Groundwater flow direction for a particular site is best determined by a qualified environmental professional using site-specific well data. If such data is not reasonably ascertainable, it may be necessary to rely on other sources of information, such as surface topographic information, hydrologic information, hydrogeologic data collected on nearby properties, and regional groundwater flow information (from deep aquifers).

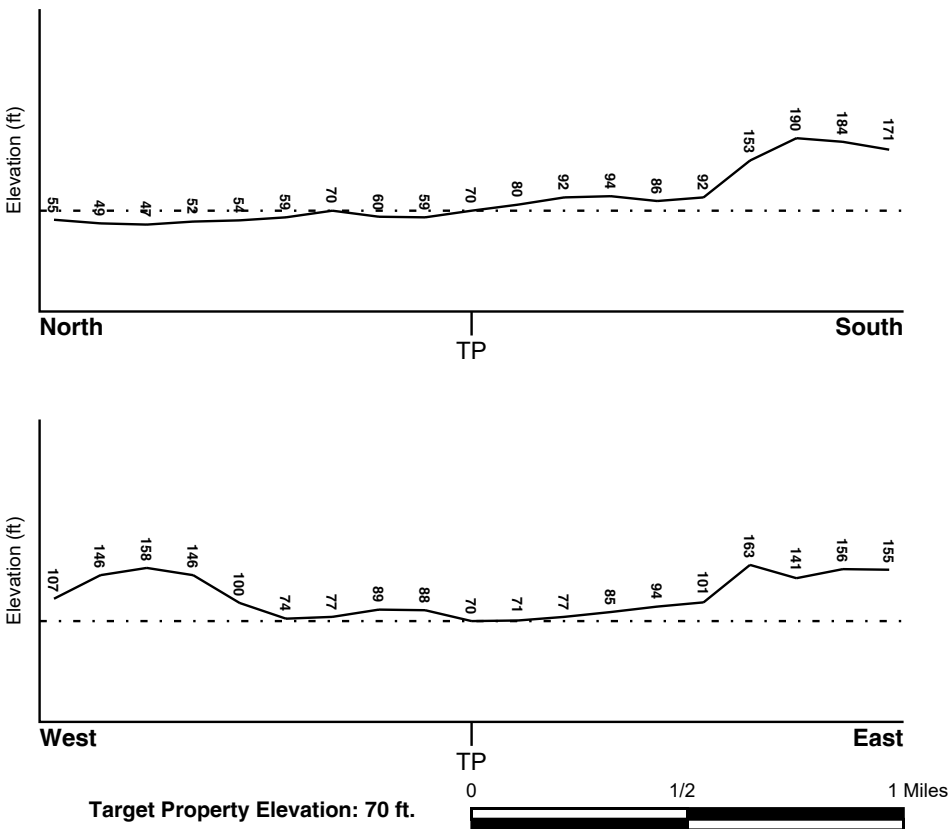
**TOPOGRAPHIC INFORMATION**

Surface topography may be indicative of the direction of surficial groundwater flow. This information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

**TARGET PROPERTY TOPOGRAPHY**

General Topographic Gradient: General NNE

**SURROUNDING TOPOGRAPHY: ELEVATION PROFILES**



Source: Topography has been determined from the USGS 7.5' Digital Elevation Model and should be evaluated on a relative (not an absolute) basis. Relative elevation information between sites of close proximity should be field verified.

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

**HYDROLOGIC INFORMATION**

Surface water can act as a hydrologic barrier to groundwater flow. Such hydrologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

Refer to the Physical Setting Source Map following this summary for hydrologic information (major waterways and bodies of water).

**FEMA FLOOD ZONE**

<u>Flood Plain Panel at Target Property</u>	<u>FEMA Source Type</u>
2502350002B	FEMA Q3 Flood data
<u>Additional Panels in search area:</u>	<u>FEMA Source Type</u>
25021C0203E	FEMA FIRM Flood data
25021C0184E	FEMA FIRM Flood data
2502350005B	FEMA Q3 Flood data

**NATIONAL WETLAND INVENTORY**

<u>NWI Quad at Target Property</u>	<u>NWI Electronic Data Coverage</u>
NORWOOD	YES - refer to the Overview Map and Detail Map

**HYDROGEOLOGIC INFORMATION**

Hydrogeologic information obtained by installation of wells on a specific site can often be an indicator of groundwater flow direction in the immediate area. Such hydrogeologic information can be used to assist the environmental professional in forming an opinion about the impact of nearby contaminated properties or, should contamination exist on the target property, what downgradient sites might be impacted.

**AQUIFLOW®**

Search Radius: 1.000 Mile.

EDR has developed the AQUIFLOW Information System to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted by environmental professionals to regulatory authorities at select sites and has extracted the date of the report, groundwater flow direction as determined hydrogeologically, and the depth to water table.

<u>MAP ID</u>	<u>LOCATION FROM TP</u>	<u>GENERAL DIRECTION GROUNDWATER FLOW</u>
9	1/2 - 1 Mile East	SE
1G	1/2 - 1 Mile East	SE

For additional site information, refer to Physical Setting Source Map Findings.

## **GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY**

### **GROUNDWATER FLOW VELOCITY INFORMATION**

Groundwater flow velocity information for a particular site is best determined by a qualified environmental professional using site specific geologic and soil strata data. If such data are not reasonably ascertainable, it may be necessary to rely on other sources of information, including geologic age identification, rock stratigraphic unit and soil characteristics data collected on nearby properties and regional soil information. In general, contaminant plumes move more quickly through sandy-gravelly types of soils than silty-clayey types of soils.

### **GEOLOGIC INFORMATION IN GENERAL AREA OF TARGET PROPERTY**

Geologic information can be used by the environmental professional in forming an opinion about the relative speed at which contaminant migration may be occurring.

#### **ROCK STRATIGRAPHIC UNIT**

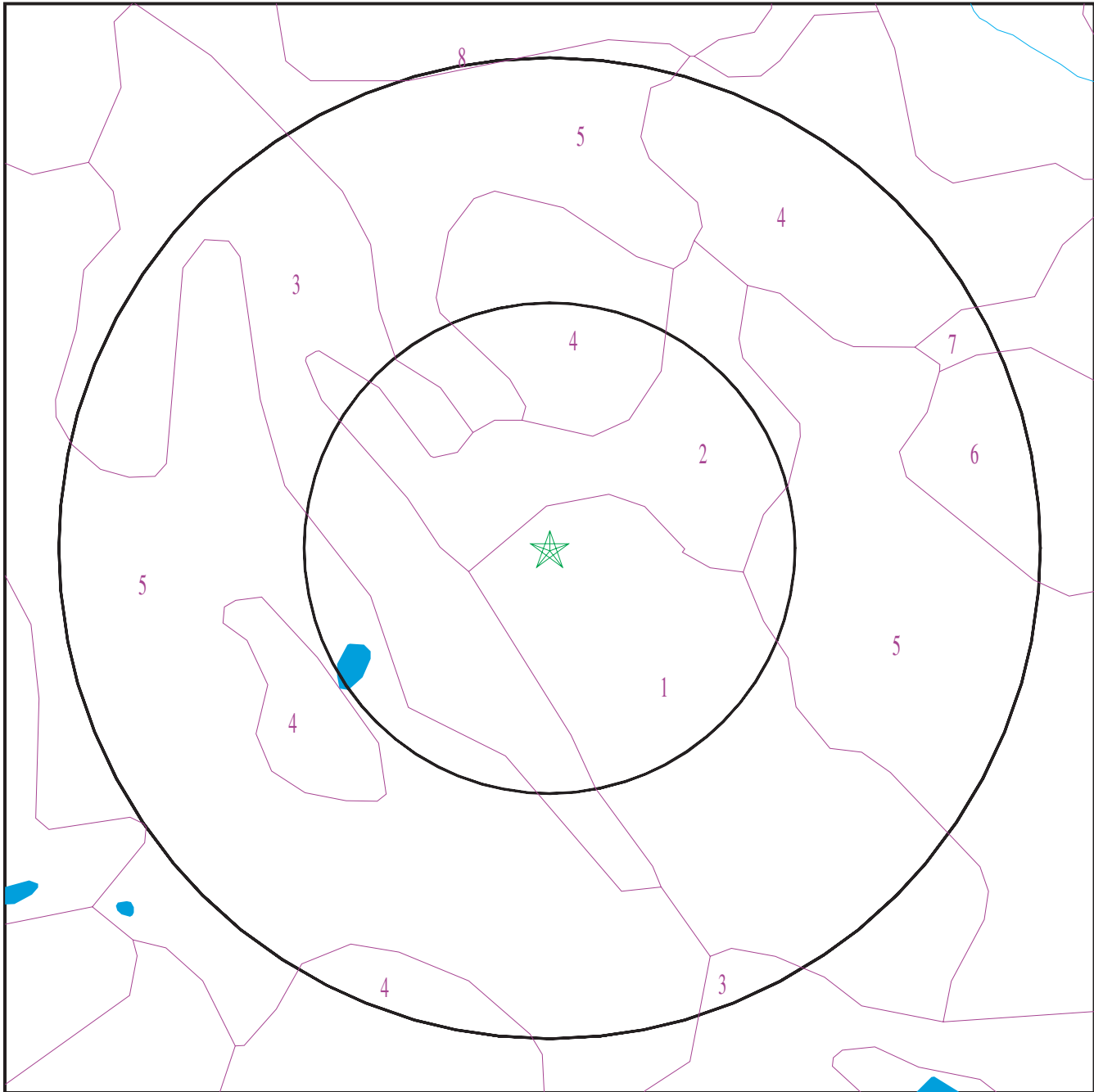
Era:	Paleozoic
System:	Pennsylvanian
Series:	Pennsylvanian
Code:	PP <i>(decoded above as Era, System &amp; Series)</i>

#### **GEOLOGIC AGE IDENTIFICATION**

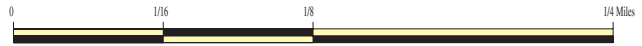
Category: Stratified Sequence

Geologic Age and Rock Stratigraphic Unit Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - a digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

### SSURGO SOIL MAP - 7387007.2s



- ★ Target Property
- ∕ SSURGO Soil
- ∕ Water



<b>SITE NAME:</b> Galvin Middle School <b>ADDRESS:</b> 55 Pecunit Street Canton MA 02021 <b>LAT/LONG:</b> 42.185964 / 71.13216	<b>CLIENT:</b> The Vertex Companies, Inc. <b>CONTACT:</b> Nicollette Bethoney <b>INQUIRY #:</b> 7387007.2s <b>DATE:</b> July 11, 2023 4:06 pm
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## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

### DOMINANT SOIL COMPOSITION IN GENERAL AREA OF TARGET PROPERTY

The U.S. Department of Agriculture's (USDA) Soil Conservation Service (SCS) leads the National Cooperative Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. The following information is based on Soil Conservation Service SSURGO data.

---

#### Soil Map ID: 1

Soil Component Name: Urban land

Soil Surface Texture:  
Hydrologic Group: Not reported

Soil Drainage Class:  
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

No Layer Information available.

---

#### Soil Map ID: 2

Soil Component Name: Udorthents

Soil Surface Texture: variable

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class:  
Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	variable	Not reported	Not reported	Max: 141.14 Min: 0.42	Max: Min:
2	5 inches	59 inches	variable	Not reported	Not reported	Max: 141.14 Min: 0.42	Max: Min:

### Soil Map ID: 3

Soil Component Name: Hinckley

Soil Surface Texture: loamy sand

Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.

Soil Drainage Class: Excessively drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	loamy sand	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6
2	9 inches	14 inches	gravelly loamy sand	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6
3	14 inches	59 inches	sr to very gravelly loamy fine sand to cobbly coarse sand	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6



**GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY**

**Soil Map ID: 4**

Soil Component Name: Freetown  
 Soil Surface Texture: muck  
 Hydrologic Group: Class D - Very slow infiltration rates. Soils are clayey, have a high water table, or are shallow to an impervious layer.  
 Soil Drainage Class: Very poorly drained  
 Hydric Status: All hydric  
 Corrosion Potential - Uncoated Steel: High  
 Depth to Bedrock Min: > 0 inches  
 Depth to Watertable Min: > 15 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	14 inches	muck	Not reported	Not reported	Max: 42.34 Min: 4.23	Max: Min:
2	14 inches	59 inches	muck	Not reported	Not reported	Max: 42.34 Min: 4.23	Max: Min:

**Soil Map ID: 5**

Soil Component Name: Hinckley  
 Soil Surface Texture: sandy loam  
 Hydrologic Group: Class A - High infiltration rates. Soils are deep, well drained to excessively drained sands and gravels.  
 Soil Drainage Class: Excessively drained  
 Hydric Status: Not hydric  
 Corrosion Potential - Uncoated Steel: Low  
 Depth to Bedrock Min: > 0 inches  
 Depth to Watertable Min: > 0 inches

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	9 inches	sandy loam	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6
2	9 inches	14 inches	gravelly loamy sand	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6
3	14 inches	59 inches	sr to very gravelly loamy fine sand to cobbly coarse sand	Not reported	Not reported	Max: 705 Min: 141.14	Max: 6 Min: 3.6

### Soil Map ID: 6

Soil Component Name: Canton

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class: Well drained

Hydric Status: Not hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	3 inches	fine sandy loam	Not reported	Not reported	Max: 141.14 Min: 42.34	Max: 6 Min: 3.6
2	3 inches	18 inches	fine sandy loam	Not reported	Not reported	Max: 141.14 Min: 42.34	Max: 6 Min: 3.6
3	18 inches	59 inches	gravelly loamy sand	Not reported	Not reported	Max: 141.14 Min: 42.34	Max: 6 Min: 3.6

## GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY

**Soil Map ID: 7**

Soil Component Name: Woodbridge

Soil Surface Texture: fine sandy loam

Hydrologic Group: Class C - Slow infiltration rates. Soils with layers impeding downward movement of water, or soils with moderately fine or fine textures.

Soil Drainage Class: Moderately well drained

Hydric Status: Partially hydric

Corrosion Potential - Uncoated Steel: Low

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 61 inches

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	7 inches	fine sandy loam	Not reported	Not reported	Max: 1.41 Min: 0	Max: 6 Min: 4.5
2	7 inches	25 inches	fine sandy loam	Not reported	Not reported	Max: 1.41 Min: 0	Max: 6 Min: 4.5
3	25 inches	59 inches	fine sandy loam	Not reported	Not reported	Max: 1.41 Min: 0	Max: 6 Min: 4.5

**Soil Map ID: 8**

Soil Component Name: Udorthents

Soil Surface Texture: variable

Hydrologic Group: Class B - Moderate infiltration rates. Deep and moderately deep, moderately well and well drained soils with moderately coarse textures.

Soil Drainage Class:  
Hydric Status: Unknown

Corrosion Potential - Uncoated Steel: Not Reported

Depth to Bedrock Min: > 0 inches

Depth to Watertable Min: > 0 inches

**GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY**

Soil Layer Information							
Layer	Boundary		Soil Texture Class	Classification		Saturated hydraulic conductivity micro m/sec	Soil Reaction (pH)
	Upper	Lower		AASHTO Group	Unified Soil		
1	0 inches	5 inches	variable	Not reported	Not reported	Max: 141.14 Min: 0.42	Max: Min:
2	5 inches	59 inches	variable	Not reported	Not reported	Max: 141.14 Min: 0.42	Max: Min:

**LOCAL / REGIONAL WATER AGENCY RECORDS**

EDR Local/Regional Water Agency records provide water well information to assist the environmental professional in assessing sources that may impact ground water flow direction, and in forming an opinion about the impact of contaminant migration on nearby drinking water wells.

**WELL SEARCH DISTANCE INFORMATION**

<u>DATABASE</u>	<u>SEARCH DISTANCE (miles)</u>
Federal USGS	1.000
Federal FRDS PWS	Nearest PWS within 1 mile
State Database	1.000

**FEDERAL USGS WELL INFORMATION**

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
1	USGS40000469002	1/8 - 1/4 Mile SSE
A2	USGS40000468981	1/4 - 1/2 Mile SW
7	USGS40000469061	1/4 - 1/2 Mile WSW
8	USGS40000469336	1/4 - 1/2 Mile NNW
10	USGS40000469402	1/2 - 1 Mile NW
11	USGS40000468947	1/2 - 1 Mile ESE
12	USGS40000468588	1/2 - 1 Mile South
13	USGS40000469275	1/2 - 1 Mile ENE
14	USGS40000469136	1/2 - 1 Mile East
15	USGS40000468614	1/2 - 1 Mile SSE

**FEDERAL FRDS PUBLIC WATER SUPPLY SYSTEM INFORMATION**

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A6	MA3050000	1/4 - 1/2 Mile SW

Note: PWS System location is not always the same as well location.

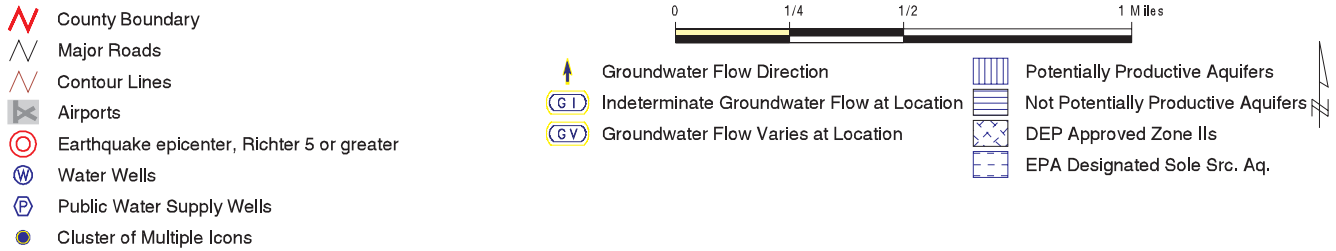
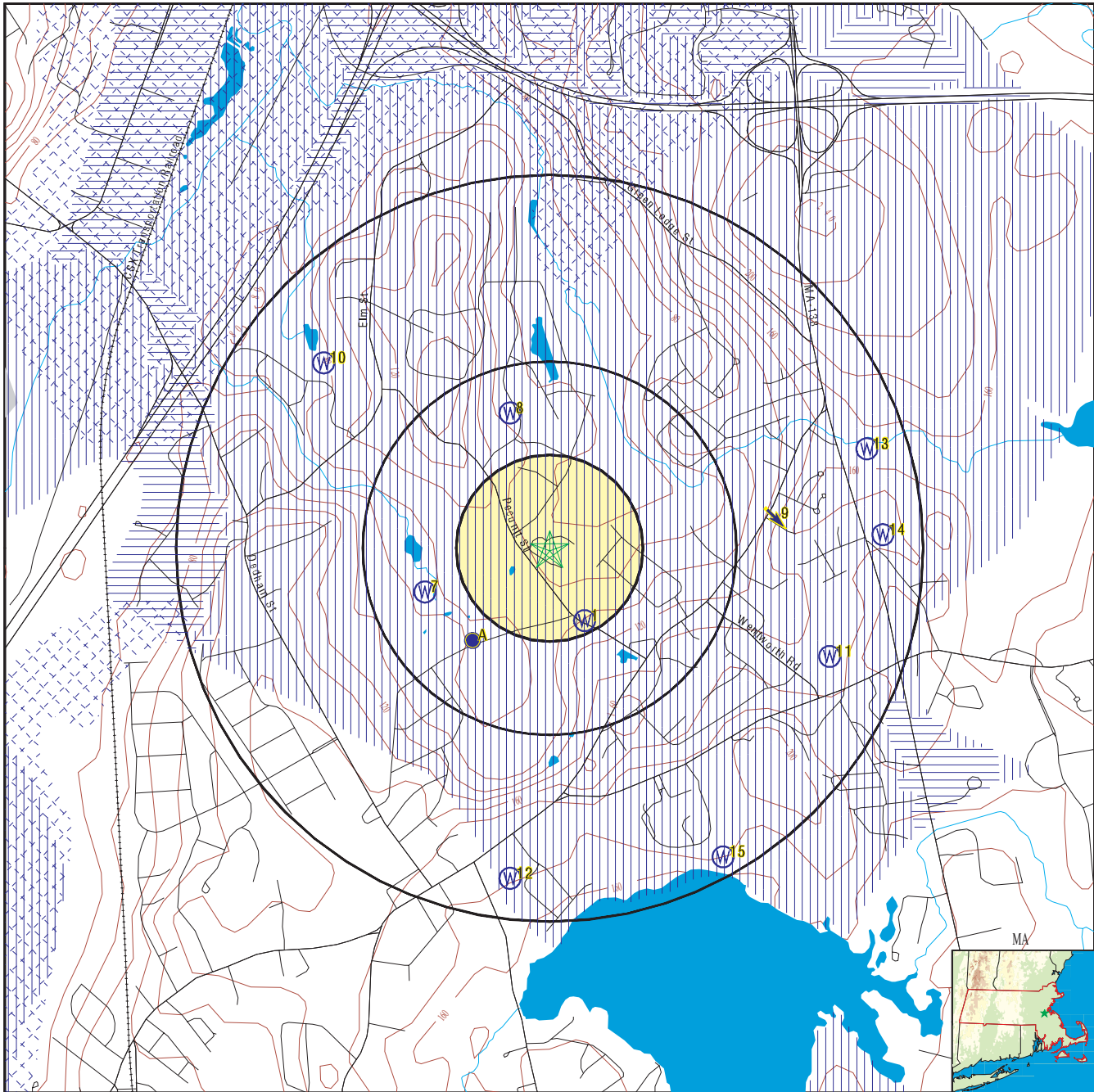
**GEOCHECK® - PHYSICAL SETTING SOURCE SUMMARY**

**STATE DATABASE WELL INFORMATION**

<u>MAP ID</u>	<u>WELL ID</u>	<u>LOCATION FROM TP</u>
A3	MA1100000001257	1/4 - 1/2 Mile SW
A4	MA1100000001258	1/4 - 1/2 Mile SW
A5	MA1100000003764	1/4 - 1/2 Mile SW

**OTHER STATE DATABASE INFORMATION**

### PHYSICAL SETTING SOURCE MAP - 7387007.2s



<p><b>SITE NAME:</b> Galvin Middle School  <b>ADDRESS:</b> 55 Pecunit Street                  Canton MA 02021  <b>LAT/LONG:</b> 42.185964 / 71.13216</p>	<p><b>CLIENT:</b> The Vertex Companies, Inc.  <b>CONTACT:</b> Nicolette Bethoney  <b>INQUIRY #:</b> 7387007.2s  <b>DATE:</b> July 11, 2023 4:06 pm</p>
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**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS**

Map ID  
 Direction  
 Distance  
 Elevation

Database EDR ID Number

**1**  
**SSE**  
**1/8 - 1/4 Mile**  
**Higher**  
**FED USGS USGS40000469002**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 21	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1965
Well Depth:	10	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**A2**  
**SW**  
**1/4 - 1/2 Mile**  
**Higher**  
**FED USGS USGS40000468981**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 66	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1963
Well Depth:	60	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**A3**  
**SW**  
**1/4 - 1/2 Mile**  
**Higher**  
**MA WELLS MA1100000001257**

**WELLS:**

PWS Source ID:	4050000-12G
Site Name:	GP WELL# 12 (PECUNIT)
PWS Type:	Community Groundwater Well
DEP Region:	4
Zone II #:	223

**DWP Water Quality Testing System (WQTS) Information:**

Water Supplier Name:	CANTON WATER DEPT
Source Name:	GP WELL# 12 (PECUNIT)
Water Supplier Status:	Active
Source Status:	Active
Source Classification:	Community surface and groundwater sources
Source Availability:	ACTIVE

**DWP Zone II Information:**

Well Name:	GP WELL# 12 (PECUNIT)
------------	-----------------------

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Major Drainage Basin:	BOSTON HARBOR
Aquifer Type:	UNCNF
Zone II Approved By:	WMA
Zone II Submitted:	Not Reported
Zone II Approved:	18-MAY-04
Zone II Status:	Current
Source Pumping Rate (gpm):	560

**A4  
SW  
1/4 - 1/2 Mile  
Higher**

**MA WELLS      MA110000001258**

**WELLS:**

PWS Source ID:	4050000-11G
Site Name:	GP WELL #11 (PECUNIT)
PWS Type:	Community Groundwater Well
DEP Region:	4
Zone II #:	223

**DWP Water Quality Testing System (WQTS) Information:**

Water Supplier Name:	CANTON WATER DEPT
Source Name:	GP WELL #11 (PECUNIT)
Water Supplier Status:	Active
Source Status:	Active
Source Classification:	Community surface and groundwater sources
Source Availability:	ACTIVE

**DWP Zone II Information:**

Well Name:	GP WELL #11 (PECUNIT)
Major Drainage Basin:	BOSTON HARBOR
Aquifer Type:	UNCNF
Zone II Approved By:	WMA
Zone II Submitted:	Not Reported
Zone II Approved:	18-MAY-04
Zone II Status:	Current
Source Pumping Rate (gpm):	560

**A5  
SW  
1/4 - 1/2 Mile  
Higher**

**MA WELLS      MA110000003764**

**WELLS:**

PWS Source ID:	4050000-14G
Site Name:	GP WELL #14 (PECUNIT)
PWS Type:	Community Groundwater Well
DEP Region:	4
Zone II #:	223

**DWP Water Quality Testing System (WQTS) Information:**

Water Supplier Name:	CANTON WATER DEPT
Source Name:	GP WELL #14 (PECUNIT)
Water Supplier Status:	Active
Source Status:	Active



**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS**

Source Classification: Community surface and groundwater sources  
 Source Availability: ACTIVE

**DWP Zone II Information:**

Well Name: GP WELL #14 (PECUNIT)  
 Major Drainage Basin: BOSTON HARBOR  
 Aquifer Type: BDR  
 Zone II Approved By: UNK  
 Zone II Submitted: Not Reported  
 Zone II Approved: Not Reported  
 Zone II Status: Current  
 Source Pumping Rate (gpm): 400

**A6  
 SW  
 1/4 - 1/2 Mile  
 Higher**

**FRDS PWS MA3050000**

PWS ID:	MA3050000	PWS name:	CANTON WATER DEPT
Address:	Not Reported	Care of:	1492 WASHINGTON STREET
City:	CANTON	State:	MA
Zip:	020210000	Owner:	CANTON WATER DEPT
Source code:	Purchases surface water	Population:	19658
PWS ID:	MA3050000	PWS type:	Mailing
PWS name:	CANTON WATER DEPT	PWS address:	1492 WASHINGTON STREET
PWS city:	CANTON	PWS state:	MA
PWS zip:	020210000	County:	NORFOLK
Source:	Purchases surface water	Treatment Objective:	CORROSION CONTROL
Process:	PH ADJUSTMENT	Population:	19658
County:	NORFOLK	Source:	Purchases surface water
Treatment Objective:	Z	Process:	FLUORIDATION
Population:	19658		
PWS ID:	MA3050000	Activity status:	Active
Date system activated:	9003	Date system deactivated:	Not Reported
Retail population:	00018790	System name:	CANTON WATER DEPT
System address:	1492 WASHINGTON STREET	System city:	CANTON
System state:	MA	System zip:	020210000
Population served:	10,001 - 50,000 Persons	Treatment:	Treated
Latitude:	420935	Longitude:	0710947
Latitude:	420932	Longitude:	0711015
Latitude:	420935	Longitude:	0711011
Latitude:	421056	Longitude:	0710813
Latitude:	421135	Longitude:	0710914
Latitude:	421139	Longitude:	0710916
Latitude:	420853	Longitude:	0710744
Latitude:	420845	Longitude:	0710606

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Latitude:	420838	Longitude:	0710613
State:	MA	Latitude degrees:	42
Latitude minutes:	8	Latitude seconds:	38.0000
Longitude degrees:	71	Longitude minutes:	6
Longitude seconds:	13.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	8	Latitude seconds:	45.0000
Longitude degrees:	71	Longitude minutes:	6
Longitude seconds:	6.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	8	Latitude seconds:	53.0000
Longitude degrees:	71	Longitude minutes:	7
Longitude seconds:	44.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	9	Latitude seconds:	32.0000
Longitude degrees:	71	Longitude minutes:	10
Longitude seconds:	15.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	9	Latitude seconds:	35.0000
Longitude degrees:	71	Longitude minutes:	9
Longitude seconds:	47.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	9	Latitude seconds:	35.0000
Longitude degrees:	71	Longitude minutes:	10
Longitude seconds:	11.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	10	Latitude seconds:	56.0000
Longitude degrees:	71	Longitude minutes:	8
Longitude seconds:	13.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	11	Latitude seconds:	35.0000
Longitude degrees:	71	Longitude minutes:	9
Longitude seconds:	14.0000		
State:	MA	Latitude degrees:	42
Latitude minutes:	11	Latitude seconds:	39.0000
Longitude degrees:	71	Longitude minutes:	9
Longitude seconds:	16.0000		

PWS currently has or had major violation(s) or enforcement:Yes

Violation ID:	93V0002	Violation source ID:	000
PWS telephone:	Not Reported	Contaminant:	COLIFORM (TCR)
Violation type:	Max Contaminant Level, Monthly (TCR)		
Violation start date:	040193	Violation end date:	043093
Violation period (months):	001	Violation awareness date:	051093
Major violator:	Not Reported	Maximum contaminant level:	Not Reported
Number of required samples:	Not Reported	Number of samples taken:	Not Reported
Analysis method:	Not Reported	Analysis result:	Not Reported

**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS**

Map ID  
 Direction  
 Distance  
 Elevation

Database EDR ID Number

**7**  
**WSW**  
**1/4 - 1/2 Mile**  
**Higher** **FED USGS USGS40000469061**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 17	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1964
Well Depth:	54	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**8**  
**NNW**  
**1/4 - 1/2 Mile**  
**Higher** **FED USGS USGS40000469336**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 22	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1965
Well Depth:	28	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**9**  
**East**  
**1/2 - 1 Mile**  
**Higher** **AQUIFLOW 4961**

Site ID:	3-0003303	
Groundwater Flow:	SE	
Water Table Depth:	Shallowest: 15 ft. Deepest: 20 ft.	
Date:	08/02/96	

**10**  
**NW**  
**1/2 - 1 Mile**  
**Higher** **FED USGS USGS40000469402**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 64	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1964
Well Depth:	25	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

## GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS

Map ID Direction Distance Elevation		Database	EDR ID Number
<b>11</b> <b>ESE</b> <b>1/2 - 1 Mile</b> <b>Higher</b>		<b>FED USGS</b>	<b>USGS40000468947</b>
Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBA 11	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1967
Well Depth:	37	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported
<b>12</b> <b>South</b> <b>1/2 - 1 Mile</b> <b>Higher</b>		<b>FED USGS</b>	<b>USGS40000468588</b>
Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 20	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1966
Well Depth:	73	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported
<b>13</b> <b>ENE</b> <b>1/2 - 1 Mile</b> <b>Higher</b>		<b>FED USGS</b>	<b>USGS40000469275</b>
Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBA 8	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Unts:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1967
Well Depth:	37	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS**

Map ID  
 Direction  
 Distance  
 Elevation

Database EDR ID Number

**14**  
**East**  
**1/2 - 1 Mile**  
**Higher** **FED USGS USGS40000469136**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBA 10	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1967
Well Depth:	38	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**15**  
**SSE**  
**1/2 - 1 Mile**  
**Higher** **FED USGS USGS40000468614**

Organization ID:	USGS-MA		
Organization Name:	USGS Massachusetts Water Science Center		
Monitor Location:	MA-CBW 26	Type:	Well
Description:	Not Reported	HUC:	01090001
Drainage Area:	Not Reported	Drainage Area Units:	Not Reported
Contrib Drainage Area:	Not Reported	Contrib Drainage Area Units:	Not Reported
Aquifer:	Not Reported	Formation Type:	Not Reported
Aquifer Type:	Not Reported	Construction Date:	1965
Well Depth:	40	Well Depth Units:	ft
Well Hole Depth:	Not Reported	Well Hole Depth Units:	Not Reported

**1G**  
**East**  
**1/2 - 1 Mile**  
**Lower** **AQUIFLOW 4961**

Site ID:	3-0003303	
Groundwater Flow:	SE	
Water Table Depth:	Shallowest: 15 ft. Deepest: 20 ft.	
Date:	08/02/96	

**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS**

Map ID  
Direction  
Distance

Database EDR ID Number

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MA\_ACECS\_ID 22

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MA\_ACECS\_ID 22

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MA\_ACECS\_ID 22

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MA\_ACECS\_ID 22

**GEOCHECK® - PHYSICAL SETTING SOURCE MAP FINDINGS  
RADON**

**AREA RADON INFORMATION**

State Database: MA Radon

Radon Test Results

County	% of sites > 4 pCi/L	Median
NORFOLK	21	1.9

Federal EPA Radon Zone for NORFOLK County: 2

- Note: Zone 1 indoor average level > 4 pCi/L.
- : Zone 2 indoor average level >= 2 pCi/L and <= 4 pCi/L.
- : Zone 3 indoor average level < 2 pCi/L.

Federal Area Radon Information for Zip Code: 02021

Number of sites tested: 3

Area	Average Activity	% < 4 pCi/L	% 4-20 pCi/L	% > 20 pCi/L
Living Area - 1st Floor	Not Reported	Not Reported	Not Reported	Not Reported
Living Area - 2nd Floor	Not Reported	Not Reported	Not Reported	Not Reported
Basement	3.133 pCi/L	67%	33%	0%

## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### TOPOGRAPHIC INFORMATION

#### USGS 7.5' Digital Elevation Model (DEM)

Source: United States Geologic Survey

EDR acquired the USGS 7.5' Digital Elevation Model in 2002 and updated it in 2006. The 7.5 minute DEM corresponds to the USGS 1:24,000- and 1:25,000-scale topographic quadrangle maps. The DEM provides elevation data with consistent elevation units and projection.

#### Current USGS 7.5 Minute Topographic Map

Source: U.S. Geological Survey

### HYDROLOGIC INFORMATION

**Flood Zone Data:** This data was obtained from the Federal Emergency Management Agency (FEMA). It depicts 100-year and 500-year flood zones as defined by FEMA. It includes the National Flood Hazard Layer (NFHL) which incorporates Flood Insurance Rate Map (FIRM) data and Q3 data from FEMA in areas not covered by NFHL.

Source: FEMA

Telephone: 877-336-2627

Date of Government Version: 2003, 2015

**NWI:** National Wetlands Inventory. This data, available in select counties across the country, was obtained by EDR in 2002, 2005, 2010 and 2015 from the U.S. Fish and Wildlife Service.

#### State Wetlands Data: Wetland Inventory

Source: MassDEP

Telephone: 617-292-5907

### HYDROGEOLOGIC INFORMATION

#### AQUIFLOW<sup>R</sup> Information System

Source: EDR proprietary database of groundwater flow information

EDR has developed the AQUIFLOW Information System (AIS) to provide data on the general direction of groundwater flow at specific points. EDR has reviewed reports submitted to regulatory authorities at select sites and has extracted the date of the report, hydrogeologically determined groundwater flow direction and depth to water table information.

### GEOLOGIC INFORMATION

#### Geologic Age and Rock Stratigraphic Unit

Source: P.G. Schruben, R.E. Arndt and W.J. Bawiec, Geology of the Conterminous U.S. at 1:2,500,000 Scale - A digital representation of the 1974 P.B. King and H.M. Beikman Map, USGS Digital Data Series DDS - 11 (1994).

#### STATSGO: State Soil Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

The U.S. Department of Agriculture's (USDA) Natural Resources Conservation Service (NRCS) leads the national Conservation Soil Survey (NCSS) and is responsible for collecting, storing, maintaining and distributing soil survey information for privately owned lands in the United States. A soil map in a soil survey is a representation of soil patterns in a landscape. Soil maps for STATSGO are compiled by generalizing more detailed (SSURGO) soil survey maps.

#### SSURGO: Soil Survey Geographic Database

Source: Department of Agriculture, Natural Resources Conservation Service (NRCS)

Telephone: 800-672-5559

SSURGO is the most detailed level of mapping done by the Natural Resources Conservation Service, mapping scales generally range from 1:12,000 to 1:63,360. Field mapping methods using national standards are used to construct the soil maps in the Soil Survey Geographic (SSURGO) database. SSURGO digitizing duplicates the original soil survey maps. This level of mapping is designed for use by landowners, townships and county natural resource planning and management.



## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### LOCAL / REGIONAL WATER AGENCY RECORDS

#### FEDERAL WATER WELLS

##### PWS: Public Water Systems

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Public Water System data from the Federal Reporting Data System. A PWS is any water system which provides water to at least 25 people for at least 60 days annually. PWSs provide water from wells, rivers and other sources.

##### PWS ENF: Public Water Systems Violation and Enforcement Data

Source: EPA/Office of Drinking Water

Telephone: 202-564-3750

Violation and Enforcement data for Public Water Systems from the Safe Drinking Water Information System (SDWIS) after August 1995. Prior to August 1995, the data came from the Federal Reporting Data System (FRDS).

##### USGS Water Wells: USGS National Water Inventory System (NWIS)

This database contains descriptive information on sites where the USGS collects or has collected data on surface water and/or groundwater. The groundwater data includes information on wells, springs, and other sources of groundwater.

#### STATE RECORDS

##### Massachusetts Geographic Information System (MassGIS) Datalayers

Source: Executive Office of Environmental Affairs

Telephone:

##### Public Water Supply Database

Telephone:

The Public Water Supply datalayer contains the locations of public community surface and groundwater supply sources and public non-community supply sources as defined in 310 CMR 22.00.

##### Areas of Critical Environmental Concern

Telephone:

The Areas of Critical Environmental Concern (ACEC) datalayer shows the location of areas that have been designated ACECs by the Secretary of Environmental Affairs. ACEC designation requires greater environmental review of certain kinds of proposed development under state jurisdiction within the ACEC boundaries. The ACEC Program is administered by the Department of Environmental Management (DEM) on behalf of the Secretary of Environmental Affairs. The Massachusetts Coastal Zone Management (MCZM) Office managed the original Coastal ACEC Program from 1978 to 1993, and continues to play a key role in monitoring coastal ACECs. Procedures for ACEC designation and the general policies governing the effects of designation are contained in the ACEC regulations (301 CMR 12.00). The ACEC datalayer has been compiled by MCZM and DEM and includes both coastal and inland areas.

##### EPA Designated Sole Source Aquifers

Telephone:

The Sole Source Aquifer datalayer was compiled by the Department of Environmental Protection (DEP) Division of Water Supply (DWS). Seven Sole Source Aquifers have been designated by the US Environmental Protection Agency (EPA) for Massachusetts. A Sole Source Aquifer (SSA) is an aquifer designated by US EPA as the sole or principal source of drinking water for a given aquifer service area; that is, an aquifer which is needed to supply 50% or more of the drinking water for that area and for which there are no reasonably available alternative sources should that aquifer become contaminated. The aquifers were defined by an EPA hydrogeologist.

##### Aquifers

Telephone:

MassGIS produced an aquifer datalayer composed of 20 individual panels, generally based on the boundaries of the major drainage basins. Areas of high and medium yield were mapped. This datalayer includes polygon attribute coding to help in the identification of areas in which cleanup of hazardous waste sites must meet drinking water standards, as defined in the Massachusetts Contingency Plan (MCP) (310 CMR 40.00000).

## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### Non-Potential Drinking Water Source Areas

#### Telephone:

Non-Potential Drinking Water Source Areas (NPDWSA) are regulatory in nature representing one of many considerations used in determining the standards to which ground water must be cleaned in the event of a release of oil or hazardous material. NPDWSAs are not based on existing water quality and do not indicate poor ambient conditions.

### DEP Approved Zone IIs

#### Telephone:

The Department of Environmental Protection (DEP) approved Zone IIs datalayer was compiled by the DEP Division of Water Supply (DWS). The database contains 281 approved Zone IIs statewide. As stated in 310 CMR 22.02, a Zone II is 'that area of an aquifer which contributes water to a well under the most severe pumping and recharge conditions that can be realistically anticipated (180 days of pumping at safe yield, with no recharge from precipitation.) It is bounded by the groundwater divides which result from pumping the well and by the contact of the aquifer with less permeable materials such as till or bedrock. In some cases, streams or lakes may act as recharge boundaries. In all cases, Zone IIs shall extend up gradient to its point of intersection with prevailing hydrogeologic boundaries (a groundwater flow divide, a contact with till or bedrock, or a recharge boundary).' These data are used in association with the Public Water Supplies datalayer. The following describes certain unique features of this association.\n - Any proposed new well which will pump at least 100,000 gallons per day must have a Zone II delineation completed and approved by DEP prior to the well coming on line. \n- Additionally, a new source may not be on-line yet, but other, older wells may fall within its Zone II boundary.\n - Further, existing wells must have a Zone II delineated as a condition of receiving a water withdrawal permit under the Water Management Act.

### OTHER STATE DATABASE INFORMATION

#### RADON

##### State Database: MA Radon

Source: Department of Health  
Telephone: 413-586-7525  
Radon Test Results

##### Area Radon Information

Source: USGS  
Telephone: 703-356-4020  
The National Radon Database has been developed by the U.S. Environmental Protection Agency (USEPA) and is a compilation of the EPA/State Residential Radon Survey and the National Residential Radon Survey. The study covers the years 1986 - 1992. Where necessary data has been supplemented by information collected at private sources such as universities and research institutions.

##### EPA Radon Zones

Source: EPA  
Telephone: 703-356-4020  
Sections 307 & 309 of IRAA directed EPA to list and identify areas of U.S. with the potential for elevated indoor radon levels.

#### OTHER

##### Airport Landing Facilities: Private and public use landing facilities

Source: Federal Aviation Administration, 800-457-6656

##### Epicenters: World earthquake epicenters, Richter 5 or greater

Source: Department of Commerce, National Oceanic and Atmospheric Administration

Earthquake Fault Lines: The fault lines displayed on EDR's Topographic map are digitized quaternary faultlines, prepared in 1975 by the United State Geological Survey

## PHYSICAL SETTING SOURCE RECORDS SEARCHED

### STREET AND ADDRESS INFORMATION

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**APPENDIX H**  
**RESUME OF ENVIRONMENTAL PROFESSIONALS**



**Highlights**

- Radon Sampling
- Phase I ESA Site Visits
- Phase I ESA Report Writing
- Nationwide Due Diligence Experience
- Environmental Due Diligence and Site Investigations
- Property Condition Assessments
- PCA Report Writing

**Expertise**

- Database Review
- Limited Compliance Review
- Phase I ESAs
- Radon Sampling
- Transaction Screen
- Compliance Audits
- PCA
- Peer Review

**Nicollette Bethoney | Assistant Project Manager**

**EMAIL** nlynch@vertexeng.com | **PHONE** 781.952.6000

**BIOGRAPHY**

Ms. Bethoney has over 8+ years of experience in Environmental Phase I Due Diligence and Property Condition Assessments. During this time, she has been involved in 750+ projects in the United States, which have included multi-family residential, commercial/retail, high-rise office, gas stations, bus terminals, marinas, manufacturing facilities, machine shops, and other industrial facilities. Currently, Ms. Bethoney serves as an Assistant Project Manager at VERTEX.

As Assistant Project Manager, Ms. Bethoney is responsible for specific job functions related to Phase I Environmental Site Assessments (ESAs), Phase II Limited Subsurface Investigations, Transaction Screens, Database Reviews, Property Condition Assessments (PCAs), and Limited Compliance Reviews. Additional assessments include visual mold, asbestos, and lead-based paint surveys, radon testing, and drinking water sampling.

When performing a PCA, Ms. Bethoney evaluates typical building systems such as the exterior site improvements, building envelope, interior systems, roofing systems, mechanical systems, plumbing systems, electrical and lighting systems, structural systems, vertical transportation systems, life safety systems, and ADA compliance.

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**EDUCATION/TRAINING**

B.S., Ecology and Environmental Science, University of Maine 2014

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**LICENSES/CERTIFICATIONS**

- 40 Hour OSHA HAZWOPER
- 10 Hour OSHA General Industry Certification
- Asbestos Awareness
- HAZWOPER 8-hour Refresher, State of MA

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**SPECIAL TRAINING**

- Certified Vapor Barrier Inspector
- Adult First Aid/CPR/AED



The Vertex Companies, LLC  
vertexeng.com

**Highlights**

- Nationwide Due Diligence Experience
- Compliance Management for Global Firms
- Coaching and Mentoring in Project Management

**Expertise**

- Compliance Audits
- Database Review
- Environmental Permitting
- Environmental Portfolio Reviews
- Exit Assessment
- Limited Compliance Review
- Peer Review
- Phase I ESAs
- Transaction Screen
- Litigation Support & Expert Testimony (Environmental)

**Genevieve Reynolds | Technical Director – Due Diligence**

**EMAIL** greynolds@vertexeng.com | **PHONE** 781.952.6000

**BIOGRAPHY**

Ms. Reynolds has over 15 years of experience in environmental research and environmental consulting. Currently, Ms. Reynolds serves as a Senior Project Manager at VERTEX.

As Senior Project Manager, she is responsible for specific job functions related to Phase I Environmental Site Assessments (ESAs), due diligence projects, portfolio risk analysis, and subsurface investigations. Ms. Reynolds also oversees environmental compliance assessments for Due Diligence clients.

Ms. Reynolds is responsible for overall Due Diligence services, including management of large portfolio work. She also oversees VERTEX's compliance with client and ASTM scopes of work. Ms. Reynolds developed VERTEX's internal training program for Phase I ESAs.

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**EDUCATION/TRAINING**

A.B., Earth and Planetary Sciences, Harvard College 2004

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**LICENSES/CERTIFICATIONS**

- 40 Hour OSHA Training
- Qualified Environmental Professional under All Appropriate Inquiry Final Rule (40 CFR Part 312)
- OSHA 10
- Hazwoper 8-hour Refresher

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# **Town of Canton Fiscal Year 2023 Budget**



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1	CPC MEMBER LISTING
2	CORRESPONDENCE – MISC.
3	CAPITAL CAPACITY PLANNED USE
4	MUNICIPAL – 1 YEAR & 5 YEAR SUMMARIES
5	MUNICIPAL – FORM A
6	BUILDING DEPARTMENT
7	CONSERVATION COMMISSION
8	ELDER & HUMAN SERVICES
9	ENTERPRISE FUNDS – WATER, & SEWER
10	EXECUTIVE OFFICE
11	FINANCE DEPARTMENT
12	FIRE, AMBULANCE & EMERGENCY MGMT.
13	LIBRARY
14	PARKS & RECREATION and RINK ENTERPRISE
15	POLICE & ANIMAL CONTROL
16	PROPERTY MAINTENANCE
17	PUBLIC WORKS
18	REVERE & SON HERITAGE TRUST
19	TOWN CLERK & ELECTIONS
20	MISC. DEPARTMENTS
21	SCHOOL – 1-YEAR & 5 YEAR SUMMARIES
22	SCHOOL – FORM A
23	SCHOOL – BLDG. IMPROV. – LONG TERM DEBT
24	SCHOOL – BLDG. REPAIRS/IMPROV. – CASH
25	SCHOOL – TECHNOLOGY – CASH
26	SCHOOL – PROGRAM IMPROVEMENTS – CASH
27	SCHOOL – FURNITURE & FIXTURES
28	SCHOOL – EXTRAORDINARY MAINT/VEHICLES
29	SCHOOL – SAFETY & SECURITY
30	TOWN MEETING
31	

**Capital Planning Committee Members**

		Expiration Date	Appointed on	Email Address	FY23 CPC Books to be distributed to:	FY23 Capital Town information	FY23 Capital School information
Dave Emhardt	Chair	2024	6/2018	<a href="mailto:cdemhardt@gmail.com">cdemhardt@gmail.com</a>			
Shaun Chu	Member	2022	11/1/2019	<a href="mailto:catamounts@gmail.com">catamounts@gmail.com</a>			
Christopher Deck	Member	2024	8/10/2021	<a href="mailto:christopherdeck@gmail.com">christopherdeck@gmail.com</a>			
Stephen Dockray	Member	2024	8/10/2021	<a href="mailto:sdockray@comcast.net">sdockray@comcast.net</a>			
Stephen O'Halloran	Member	2024	10/10/2020	<a href="mailto:Steve_ohalloran@hotmail.com">Steve_ohalloran@hotmail.com</a>			
Barbara Saint André	Member	2023	7/14/2020	<a href="mailto:bsaintandre4@gmail.com">bsaintandre4@gmail.com</a>			
Vacancy	Member	2022	6/21/2018				

**7 members, 3-year terms**

COMMITTEE MEMBERS/CAPITAL PLANNING COMMITTEE - Appointed by Moderator.  
As of December 29, 2021.

	Charlie Aspinwall		
	Randy Scollins		
FINCOM liaison to CPC:	Emilio Mauro		
FINCOM liaison to CPC:	Reuki Schutt		



**DEPARTMENT OF FINANCE  
TOWN OF CANTON, MASSACHUSETTS**

**WILLIAM R. SCOLLINS III**  
FINANCE DIRECTOR  
[rscollins@town.canton.ma.us](mailto:rscollins@town.canton.ma.us)  
(781) 575-6612

**KATHLEEN D. BUTTERS**  
TOWN ACCOUNTANT  
[kbutters@town.canton.ma.us](mailto:kbutters@town.canton.ma.us)  
(781) 575-6605

**MEMORIAL HALL  
801 WASHINGTON STREET  
CANTON, MA 02021  
PHONE: 781-575-6610  
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**SUSAN E. DESJARDINS**  
ASST. TREASURER/COLLECTOR  
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(781) 821-5006

**LOUIS M. JUTRAS**  
INFORMATION SYSTEMS MANAGER  
[ljutras@town.canton.ma.us](mailto:ljutras@town.canton.ma.us)  
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**ALLYSON M. PODGURSKI**  
ASSISTANT TOWN ACCOUNTANT  
[apodgurski@town.canton.ma.us](mailto:apodgurski@town.canton.ma.us)  
(781) 821-5011

**MEMORANDUM**

- |   |  |
|---|--|
| <p>TO: Departments, Boards &amp; Committees<br/>Animal Control Officer, Stacy Nee<br/>Director of Assessing, Carolyn Floyd<br/>Building Commissioner, Ed Walsh<br/>Elder &amp; Human Services, Diane Tynan<br/>Facilities Supervisor, Steve Choiniere<br/>Fire Chief, Charles Doody<br/>Health Board Director, Barbara Reardon<br/>Library Director, Andrea Capone<br/>Police Chief, Ken Berkowitz<br/>Parks &amp; Recreation Director, Liz Francis<br/>Superintendent Public Works, Mike Trotta<br/>Town Accountant, Kathy Butters<br/>Town Administrator, Charlie Aspinwall<br/>Town Clerk, Tracy Kenney<br/>Town Planner, Laura Smead<br/>Veteran's Services Director, Arafat Knight</p> | <p>School Superintendent, Derek Folan<br/>Director of Finance &amp; Operations, Stephen Marshall<br/>Beautification Committee<br/>Building Renovations Committee<br/>Capital Planning Committee<br/>Commission on Disabilities<br/>Community Preservation Committee<br/>Conservation Commission<br/>Finance Committee<br/>Historical Commission<br/>Information Systems Manager, Louis Jutras<br/>Local Emergency Planning Committee<br/>Planning Board<br/>Revere &amp; Son Heritage Trust Corp.<br/>Youth Commission<br/>Zoning Board of Appeals</p> |
|---|--|

FROM: William R. Scollins, III, Finance Director *WRS*

DATE: September 13, 2021

SUBJECT: **FY 2023 Capital Budget Requests**

Enclosed are forms needed to complete the Town's Five-Year Capital Plan. Town by-law stipulates that this capital plan be submitted to the Capital Planning Committee (CPC) by December 31<sup>st</sup>. To allow enough time to review the capital requests, **please submit your department's requests to the Finance Department by Monday, November 8, 2021.** The Finance Department will perform a quality assurance review of all the provided information before it is submitted to the Select Board for the municipal departments, and CPC for all Town agencies.

Capital requests will be separated into two groups – cash capital and debt capital. Cash capital applies to smaller capital requests (at least \$5,000) such as vehicles, technology or departmental equipment with a useful life of at least three years. Debt capital pertains to larger capital items (at least \$50,000) with a useful life of at least five years.

Capital Budget Requests  
September 13, 2021

- Form A**, found on the Shared “S” drive, shows each department’s capital requests for fiscal 2023 through 2027 which have been balanced to the amount available for each year. Included are deferred requests that did not make last year’s balanced 5-Year Plan.

Please review your department’s Form A to: add any new capital needs; confirm that each of the listed capital requests should still be included; are appearing in the appropriate fiscal year; and that the estimated costs continue to be realistic. Please return your department’s updated Form A to my office by November 8, 2021.
- Form B** should be completed to describe each of your department’s fiscal 2023 capital requests. Completion of this form requires you to provide sufficient supporting detail for elected officials, the Capital Planning Committee and the Finance Committee to evaluate the merits of your capital requests.

To assist the Capital Planning Committee with preparing the discussions of capital requests for the Annual Town Meeting warrant, please submit all Form B’s electronically in Excel format to the Finance Department. Please ensure that all fiscal 2023 capital requests (**rounded to nearest thousand**) are accompanied by updated cost estimates and that each request is “ranked” if your department has more than one capital request for fiscal 2023. Form B, along with Form A, are available on the “S” drive under the Excel workbook (*which is not in a subfolder*) named “FORM – FISCAL 2023 CPC.XLSX”.
- Attached is the latest form developed by the Community Preservation Committee for projects that may qualify for CPA funds. This pre-application form is due by October 8, 2021. Please note on Form B if your capital request has also been submitted for CPA funding.

For departments under the jurisdiction of the Select Board, the Board will review those departments’ capital requests. Once prioritized, the Board will present these capital budget requests to CPC. The School Committee and Administration will undertake their process to arrive at their approved plan, which will be forwarded to the Finance Department who will submit it to the CPC.

The attached CAPITAL CAPACITY PLANNED USE sheet outlines the Town’s projected capital capacity for fiscal years 2023 through 2027 assuming we fully fund our capital plan. Once cash reserves are certified by the DOR, we may or may not utilize some of those funds to supplement our fiscal 2023 capital plans.

In addition, please find the Draft Fiscal 2023 Budget Timeline document that has been summarized in a one page FY 2023 Budget Milestone Calendar for easy reference. If anyone is aware of dates that should be changed, just let me know and I’ll update.

Please let me know if you have any questions or concerns regarding these matters.

WRS/ej  
Attachments

## Town of Canton – Community Preservation Committee FY '23 CPA PRE-APPLICATION Form

**For CPA funding consideration for Fiscal Year 2023, completed form must be submitted to the CCPC by 5:00 pm on Friday, October 8, 2021**

PROJECT NAME: \_\_\_\_\_

PROJECT LOCATION (IF APPLICABLE):

STREET ADDRESS: \_\_\_\_\_

ASSESSOR’S MAP & PARCEL: \_\_\_\_\_

PROPERTY OWNER OF RECORD: \_\_\_\_\_

PROJECT SPONSOR: \_\_\_\_\_

CONTACT NAME: \_\_\_\_\_

ADDRESS: \_\_\_\_\_

TELEPHONE NUMBER(S): \_\_\_\_\_

EMAIL: \_\_\_\_\_

ESTIMATED AMOUNT OF FUNDING NEEDED: \_\_\_\_\_

~~~~~

**IS THE PROJECT ALLOWABLE?** Please use the chart below to determine eligibility for CPA funding in one or more of the CPA project categories. If you are unsure about whether or not your project is allowable, please contact the CPA Administrator at [ccpc@town.canton.ma.us](mailto:ccpc@town.canton.ma.us).

| <b>Determining Project Eligibility</b> |                                             |          |            |                                             |
|----------------------------------------|---------------------------------------------|----------|------------|---------------------------------------------|
|                                        | Open Space                                  | Historic | Recreation | Housing                                     |
| Acquire                                | Yes                                         | Yes      | Yes        | Yes                                         |
| Create                                 | Yes                                         | No       | Yes        | Yes                                         |
| Preserve                               | Yes                                         | Yes      | Yes        | Yes                                         |
| Support                                | No                                          | No       | No         | Yes                                         |
| Rehabilitate and/or Restore            | Yes – if acquired or created with CPA Funds | Yes      | Yes        | Yes – if acquired or created with CPA Funds |

*For a more detailed chart with definitions, please visit: <http://www.communitypreservation.org>*

**REQUEST CATEGORY** (check all that apply):

- Community Housing – **Please note # of housing units proposed/preserved:**
- Historical Resources
- Open Space – **Please note # of acres in parcel to be acquired/preserved:**
- Recreation

**BRIEF DESCRIPTION OF PROJECT:**

**ESTIMATED BUDGET:**

|                                              |    |
|----------------------------------------------|----|
| <i>CPA Funding</i>                           | \$ |
| <i>Other Funding Sources (if applicable)</i> | \$ |
| <i>Total Project Cost</i>                    | \$ |

**MAINTENANCE COSTS** (please describe any ongoing costs and source of funding):

**ANTICIPATED COMPLETION DATE** (please provide estimated project timeline):

**Does the project have the support of relevant town boards, committees, organizations?**

- |                                                  |                                                             |
|--------------------------------------------------|-------------------------------------------------------------|
| <input type="checkbox"/> Conservation Commission | <input type="checkbox"/> Playground & Recreation Commission |
| <input type="checkbox"/> Historical Commission   | <input type="checkbox"/> Select Board                       |
| <input type="checkbox"/> Housing Authority       | <input type="checkbox"/> Other (please specify):            |
| <input type="checkbox"/> Planning Board          |                                                             |

\*Please note letters of support will be requested with full application.

**Summarize how the proposed project will benefit the Town of Canton and meet the goals of the Community Preservation Act:**

**APPLICANT SIGNATURE:** \_\_\_\_\_ **DATE:** \_\_\_\_\_



| 5-YEAR PLAN (2023 thru 2027)                            |              |              |              |              |              |               |
|---------------------------------------------------------|--------------|--------------|--------------|--------------|--------------|---------------|
| CAPITAL CAPACITY PLANNED USE (in thousands) BUDGET MEMO |              |              |              |              |              |               |
| RESPONSIBILITY                                          | 2023         | 2024         | 2025         | 2026         | 2027         | TOTAL         |
| <b>LEVY-RELATED CASH CAPITAL ALLOCATION</b>             |              |              |              |              |              |               |
| MUNICIPAL                                               | 942          | 1,000        | 947          | 1,000        | 1,000        | 4,889         |
| SCHOOL COMMITTEE                                        | 944          | 1,000        | 1,056        | 1,000        | 1,000        | 5,000         |
| <b>LEVY-RELATED CASH GRAND TOTAL</b>                    | <b>1,886</b> | <b>2,000</b> | <b>2,003</b> | <b>2,000</b> | <b>2,000</b> | <b>9,889</b>  |
| <b>LEVY-RELATED DEBT ALLOCATION</b>                     |              |              |              |              |              |               |
| MUNICIPAL                                               | 480          | 600          | 400          | 576          | 1,000        | 3,056         |
| SCHOOL COMMITTEE                                        | 654          | 275          | 470          | 1,000        | 1,000        | 3,399         |
| <b>LEVY-RELATED DEBT GRAND TOTAL</b>                    | <b>1,134</b> | <b>875</b>   | <b>870</b>   | <b>1,576</b> | <b>2,000</b> | <b>6,455</b>  |
| <b>LEVY-RELATED TOTAL CAPITAL CAPACITY</b>              |              |              |              |              |              |               |
| TOTAL MUNICIPAL                                         | 1,422        | 1,600        | 1,347        | 1,576        | 2,000        | 7,945         |
| TOTAL SCHOOL COMMITTEE                                  | 1,598        | 1,275        | 1,526        | 2,000        | 2,000        | 8,399         |
| <b>LEVY-RELATED CAPITAL GRAND TOTAL</b>                 | <b>3,020</b> | <b>2,875</b> | <b>2,873</b> | <b>3,576</b> | <b>4,000</b> | <b>16,344</b> |

Capital Capacity Plan for FY '23.xlsx  
CAPACITY PLAN

**DRAFT FY 2023 BUDGET MILESTONE CALENDAR**  
for The Town of Canton

*(Dates subject to change)*

| <b>By or On Date</b> | <b>Capital / CPA or Operating</b> | <b>Description</b>                                                                          | <b>Owner</b>                         |
|----------------------|-----------------------------------|---------------------------------------------------------------------------------------------|--------------------------------------|
| 9/13/21              | Capital                           | Capital Budget Request Memo distributed to all Dept's, Boards & Committees                  | Finance Director                     |
| 10/8/21              | CPA                               | All Dept's, Boards, Committees submit CPA <b>PRE</b> -Application funding requests to CCPC  | All CPA Funding Requestors           |
| 11/8/21              | Capital                           | Municipal Dept's, Boards & Committees submit FY '23 Capital Requests to Finance             | All Dept. Heads, Boards & Committees |
| <b>November '21</b>  | Capital                           | Municipal Dept's review their Capital Requests w/Town Administrator & Finance Director      | Dept. Heads / TA / FD                |
| 11/19/21             | CPA                               | All Dept's, Boards, Committees submit CPA <b>FULL</b> -Application funding requests to CCPC | All CPA Funding Requestors           |
| 11/30/21             | Operating                         | Operating Budget Memo & Worksheets distributed to all Dept's, Boards & Committees           | Finance Director                     |
| 12/7 & 12/21         | Capital                           | Municipal Dept's review their Capital Requests w/the Select Board                           | Dept. Heads / Select Board           |
| 12/31/21             | Capital                           | Muni & School Balnc'd Capital Plans for FY '23 thru '27 distrib'd to Capital Planning Comm. | Finance Director                     |
| 1/3/22               | Operating                         | Municipal Dept's, Boards & Committees submit FY '23 Operating Requests to Finance           | All Dept. Heads, Boards & Committees |
| <b>January '22</b>   | Operating                         | Municipal Dept's review their Operating Requests w/Town Administrator & Finance Director    | Dept. Heads / TA / FD                |
| 1/19/22              | Operating                         | Municipal & School FY '23 Operating Requests distributed to the Finance Committee           | Finance Director                     |
| 1/26/22              | Operating                         | Governor's FY '23 State Budget is released reflecting State Aid & Assessment Estimates      | Governor                             |
| 2/8/22               | Operating                         | Revenue Forecasting Committee meets to establish FY '23 General Fund Revenue Est's          | RFC / Finance Director               |
| 2/9/22               | Operating                         | Voted Revenue Forecast, and Fixed Cost & Cash Capital Estimates submitted to FINCOM         | Finance Director                     |
| 2/23/22              | Operating                         | FINCOM sets FY '23 School & Municipal Operating Budget Targets                              | Finance Committee                    |
| <b>Feb/Mar '22</b>   | Operating                         | Municipal Dept's review their Operating Requests w/Select Board if Exceeding Base Budget    | Dept. Heads / Select Board           |
| <b>Feb/Mar '22</b>   | Capital                           | Select Board & School Committee review their Capital Requests w/the Capital Committee       | CPC / SB / SC                        |
| 3/9/22               | CPA                               | CCPC reviews their FY '23 CPA recommendations w/Finance Committee                           | FINCOM / CCPC                        |
| 3/16/22              | Capital                           | CPC reviews their FY '23 Capital recommendations w/Finance Committee                        | FINCOM / CPC                         |
| 3/8 & 3/22           | Operating                         | School Committee & Select Board review their Operating Requests w/Fincom                    | FINCOM / SC / SB                     |
| 3/23/22              | Capital                           | FINCOM Votes on Capital Budgets to be recommended to Annual Town Meeting                    | Finance Committee                    |
| 4/6/22               | Operating                         | FINCOM Votes on Operating Budgets to be recommended to Annual Town Meeting                  | Finance Committee                    |
| 4/18/22              | <b>Rcvd by 4/25</b>               | FINCOM Report & Recommendations Finalized & Mailed to Residents                             | FINCOM / Finance Director            |
| <b>Week of 5/2</b>   |                                   | Public Meeting for Voters to Ask Questions about the Warrant                                | Moderator / Dept. Heads / Voters     |
| 5/9/22               |                                   | First Session of Annual Town Meeting                                                        | Town Leadership & Voters             |

\* Please note: Departmental review meetings with each of the SB, SC, CPC, CCPC & FINCOM will be scheduled separately in support of these milestone goals.

| 5-YEAR PLAN (2023 thru 2027)                            |              |              |              |              |              |               |
|---------------------------------------------------------|--------------|--------------|--------------|--------------|--------------|---------------|
| CAPITAL CAPACITY PLANNED USE (in thousands) BUDGET MEMO |              |              |              |              |              |               |
| RESPONSIBILITY                                          | 2023         | 2024         | 2025         | 2026         | 2027         | TOTAL         |
| <b>LEVY-RELATED CASH CAPITAL ALLOCATION</b>             |              |              |              |              |              |               |
| MUNICIPAL                                               | 942          | 1,000        | 947          | 1,000        | 1,000        | 4,889         |
| SCHOOL COMMITTEE                                        | 944          | 1,000        | 1,056        | 1,000        | 1,000        | 5,000         |
| <b>LEVY-RELATED CASH GRAND TOTAL</b>                    | <b>1,886</b> | <b>2,000</b> | <b>2,003</b> | <b>2,000</b> | <b>2,000</b> | <b>9,889</b>  |
| <b>LEVY-RELATED DEBT ALLOCATION</b>                     |              |              |              |              |              |               |
| MUNICIPAL                                               | 480          | 600          | 400          | 576          | 1,000        | 3,056         |
| SCHOOL COMMITTEE                                        | 654          | 275          | 470          | 1,000        | 1,000        | 3,399         |
| <b>LEVY-RELATED DEBT GRAND TOTAL</b>                    | <b>1,134</b> | <b>875</b>   | <b>870</b>   | <b>1,576</b> | <b>2,000</b> | <b>6,455</b>  |
| <b>LEVY-RELATED TOTAL CAPITAL CAPACITY</b>              |              |              |              |              |              |               |
| TOTAL MUNICIPAL                                         | 1,422        | 1,600        | 1,347        | 1,576        | 2,000        | 7,945         |
| TOTAL SCHOOL COMMITTEE                                  | 1,598        | 1,275        | 1,526        | 2,000        | 2,000        | 8,399         |
| <b>LEVY-RELATED CAPITAL GRAND TOTAL</b>                 | <b>3,020</b> | <b>2,875</b> | <b>2,873</b> | <b>3,576</b> | <b>4,000</b> | <b>16,344</b> |

Capital Capacity Plan for FY '23.xlsx  
CAPACITY PLAN

## MUNICIPAL CAPITAL REQUESTS for FISCAL 2023

| DEPARTMENT                  | DEPT<br>PRIORITY | DESCRIPTION                                              | AMOUNT<br>REQUESTED | CASH<br>CAPITAL | DEBT<br>CAPITAL  | CASH<br>RESERVES |
|-----------------------------|------------------|----------------------------------------------------------|---------------------|-----------------|------------------|------------------|
| Finance/MIS                 | 1                | Switch Replacements - All Municipal Buildings            | 235,000             | -               | 235,000          | -                |
| Finance/MIS                 | 2                | Financial Chart of Accounts Upgrade                      | 50,000              | 50,000          | -                | -                |
| Finance/MIS                 | 3                | Server Replacement - Fire Dept                           | 12,000              | 12,000          | -                | -                |
| Finance/MIS                 | 4                | Server & Software Replacement - Library                  | 30,000              | 30,000          | -                | -                |
| Finance/MIS                 | 5                | Desktop Computer Replacements (25 - 30)                  | 32,500              | 32,500          | -                | -                |
| Finance/MIS                 | 6                | Data Back-Up Appliance                                   | 61,000              | 61,000          | -                | -                |
| Fire                        | 1                | Floor Replacement - Station #2 - Complete                | 24,000              | 24,000          | -                | -                |
| Fire                        | 2                | Replace 2001 Ford 450 Brush Truck / Squad                | 230,000             | -               | 230,000          | -                |
| Fire                        | 3                | Replace Deputy Fire Chief 2015 Vehicle                   | 65,000              | 65,000          | -                | -                |
| Fire                        | 4                | Replace Fire Prevention 2014 Vehicle                     | 56,600              | 56,600          | -                | -                |
| Fire                        | 5                | Update Diesel Exhaust Systems                            | 23,000              | 23,000          | -                | -                |
| Fire                        | 6                | Paint Interior - Station #2                              | 15,000              | 15,000          | -                | -                |
| Fire                        | 7                | EMS Simulation Mannequin                                 | 53,000              | 53,000          | -                | -                |
| Library                     | 1                | Rubber Roof Replacement                                  | 228,000             | -               | 228,000          | -                |
| Library                     | 2                | Chiller Compressor Replacement                           | 44,647              | 44,647          | -                | -                |
| Parks & Recreation          | 1                | Athletic Field Grooming Equipment                        | 35,800              | 35,800          | -                | -                |
| Parks & Recreation          | 2                | Stand-On Leaf Blower                                     | 11,000              | 11,000          | -                | -                |
| Police                      | 1                | 4 Police Cruisers                                        | 176,000             | 176,000         | -                | -                |
| Police                      | 2                | Bullet Resistant Vests - 12                              | 12,000              | 12,000          | -                | -                |
| Police                      | 3                | Replace IMC Record Data Management System (2nd round)    | 210,000             | -               | 210,000          | -                |
| Police                      | 4                | Bola Wrap Devices - 4                                    | 6,000               | 6,000           | -                | -                |
| Property Maintenance        | 1                | Replace Roof at Animal Kennel                            | 43,000              | 43,000          | -                | -                |
| Public Works                | 1                | Forge Pond Phase 1 Dam Inspection                        | 9,000               | 9,000           | -                | -                |
| Public Works                | 2                | Replace Truck #5 2014 Ford F-350 with F-550 4WD          | 71,000              | 71,000          | -                | -                |
| Public Works                | 3                | Elm St. Culvert Downstream Retaining Wall                | 270,000             | -               | 270,000          | -                |
| Public Works                | 4                | Replace Truck #13 2000 F250 with F550 4WD                | 70,000              | 70,000          | -                | -                |
| Public Works                | 5                | NEW: Sidewalk Tractor w/Attachments                      | 274,000             | -               | 274,000          | -                |
| Public Works                | 6                | Downtown Crosswalk Rehabilitation                        | 312,000             | -               | 312,000          | -                |
| Public Works                | 7                | NEW: 10 Wheel Dump Truck                                 | 298,000             | -               | 298,000          | -                |
| Public Works                | 8                | NEW: 6 Wheel Dump Truck                                  | 224,000             | -               | 224,000          | -                |
| Revere & Son Heritage Trust | 1                | Museum Design & Engineering Services                     | 200,000             | -               | 200,000          | -                |
| Revere & Son Heritage Trust | 2                | Monument Signs                                           | 38,000              | 38,000          | -                | -                |
|                             |                  | <b>Total General Fund Requests</b>                       | <b>3,419,547</b>    | <b>938,547</b>  | <b>2,481,000</b> | -                |
|                             |                  | Available Capital                                        | 1,422,000           | 942,000         | 480,000          | -                |
|                             |                  | Requests <b>over</b> (under) available                   | <b>1,997,547</b>    | <b>(3,453)</b>  | <b>2,001,000</b> | -                |
| Water                       | 1                | Water Distrib. System Improvements Construction - Year 3 | 3,100,000           | -               | 3,100,000        | -                |
| Water                       | 2                | Update Water CIP 5 Year Plan                             | 80,000              | -               | -                | 80,000           |
|                             |                  | <b>Total Water Enterprise Requests</b>                   | <b>3,180,000</b>    | -               | <b>3,100,000</b> | <b>80,000</b>    |
| Sewer                       | 1                | Design Year 1 I & I Rehabilitation                       | 300,000             | -               | -                | 300,000          |
| Sewer                       | 2                | Replace Truck #31 Ford F550 2005                         | 115,000             | -               | -                | 115,000          |
|                             |                  | <b>Total Sewer Enterprise Requests</b>                   | <b>415,000</b>      | -               | -                | <b>415,000</b>   |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

FY2022  
 VOTED

FY2023 FY2024 FY2025 FY2026 FY2027

5-Year  
 TOTAL

FY2028

6-Year  
 TOTAL

**BOARD OF SELECTMEN RESPONSIBILITY**

**POLICE DEPARTMENT**

**CASH CAPITAL**

VEHICLES

|                                                  |                                    |           |            |            |            |            |            |            |            |            |          |            |
|--------------------------------------------------|------------------------------------|-----------|------------|------------|------------|------------|------------|------------|------------|------------|----------|------------|
| Patrol Car - K9                                  | 2015 Ford Explorer                 | # 681     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2014 Ford Explorer                 | # 682     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2016 Ford Explorer                 | # 683     |            | 44         |            |            |            |            |            | 44         |          | 44         |
| Patrol Car                                       | 2014 Ford Interceptor              | # 684     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2013 Ford Interceptor              | # 685     |            | 44         |            |            |            |            |            | 44         |          | 44         |
| Patrol Car                                       | 2013 Ford Explorer                 | # 686     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2014 Ford Explorer                 | # 687     |            | 44         |            |            |            |            |            | 44         |          | 44         |
| Lieutenant Car                                   | 2014 Ford Explorer                 | # 688     |            | 44         |            |            |            |            |            | 44         |          | 44         |
| Patrol Car                                       | 2012 Ford Taurus Sedan             | # 689     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2017 Ford Explorer                 | # 690     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2016 Ford Explorer                 | # 692     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2017 Ford Explorer                 | # 693     |            |            |            |            |            |            |            | 0          |          | 0          |
| Prisoner Transport                               | 2001 Ford EcoVan                   | # 694     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Car                                       | 2016 Ford                          | # 695     |            |            |            |            |            |            |            | 0          |          | 0          |
| BCI                                              | 2014 Ford Explorer Interceptor     | # 696     |            |            |            |            |            |            |            | 0          |          | 0          |
| BCI                                              | 2016 Ford Explorer                 | # 697     |            |            |            |            |            |            |            | 0          |          | 0          |
| BCI                                              | 2017 Ford Escape                   | # 698     |            |            |            |            |            |            |            | 0          |          | 0          |
| BCI                                              | 2016 Ford Explorer                 | # 699     |            |            |            |            |            |            |            | 0          |          | 0          |
| SRO/Court                                        | 2007 Ford Fusion                   | # 680     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Cycle                                     | 2015 Harley Davidson FLHPT         | MC102     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Cycle                                     | 2015 Harley Davidson FLHP          | MC103     |            |            |            |            |            |            |            | 0          |          | 0          |
| Patrol Cycle                                     | 2015 Harley Davidson FLHPT         | MC104     |            |            |            |            |            |            |            | 0          |          | 0          |
| Van                                              | 2000 Ford Cut Van                  | MtroBus   |            |            |            |            |            |            |            | 0          |          | 0          |
| Truck                                            | 1999 Ford 350 (donated)            | MtroBx    |            |            |            |            |            |            |            | 0          |          | 0          |
| Truck                                            | 2008 Dodge Ram (seized)            |           |            |            |            |            |            |            |            | 0          |          | 0          |
| Car                                              | 2013 Ford Taurus                   |           |            |            |            |            |            |            |            | 0          |          | 0          |
| Trailer                                          | 1998 Wells Utility Trailer         | TriLgtEct |            |            |            |            |            |            |            | 0          |          | 0          |
| Radar Trailer                                    | 2008 B & W 9050 Trailer            |           |            |            |            |            |            |            |            | 0          |          | 0          |
| Tractor                                          | 2005 Kubota - Utility              |           |            |            |            |            |            |            |            | 0          |          | 0          |
| Trailer                                          | 2005 Cross Utly Trailer for Kubota |           |            |            |            |            |            |            |            | 0          |          | 0          |
| MSG Trailer                                      | 2014 ADDCO Utility Trailer         |           |            |            |            |            |            |            |            | 0          |          | 0          |
| Police Vehicles - replacements available for use |                                    |           | 168        |            | 176        | 176        | 176        | 176        | 176        | 704        |          | 704        |
| available for use                                |                                    |           |            |            |            |            |            |            |            | 0          |          | 0          |
| available for use                                |                                    |           |            |            |            |            |            |            |            | 0          |          | 0          |
| <b>TOTAL- VEHICLES</b>                           |                                    |           | <b>168</b> | <b>176</b> | <b>176</b> | <b>176</b> | <b>176</b> | <b>176</b> | <b>176</b> | <b>880</b> | <b>0</b> | <b>880</b> |

TECHNOLOGY

|                                                                |  |  |          |            |          |          |          |          |          |            |          |          |
|----------------------------------------------------------------|--|--|----------|------------|----------|----------|----------|----------|----------|------------|----------|----------|
| Computer Software/Hardware - Police Booking Station            |  |  |          |            |          |          |          |          |          | 0          |          | 0        |
| Software-Replace IMC Record Data Management System (2nd round) |  |  |          | 210        |          |          |          |          |          | 0          |          | 0        |
| Audio/Video Recording System                                   |  |  |          |            |          |          |          |          |          | 0          |          | 0        |
| Computer Software/Hardware - Communication Console             |  |  |          |            |          |          |          |          |          | 0          |          | 0        |
| License Plate Scanner                                          |  |  |          |            |          |          |          |          |          | 0          |          | 0        |
| <b>TOTAL- TECHNOLOGY</b>                                       |  |  | <b>0</b> | <b>210</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>210</b> | <b>0</b> | <b>0</b> |

EQUIPMENT

|                                     |  |  |           |           |          |          |          |          |          |           |          |           |
|-------------------------------------|--|--|-----------|-----------|----------|----------|----------|----------|----------|-----------|----------|-----------|
| Body Armor - Bullet Resistant Vests |  |  | 0         | 12        | 6        | 6        | 6        | 6        |          | 36        |          | 36        |
| Tasers                              |  |  |           |           |          |          |          |          |          | 0         |          | 0         |
| Body Cameras                        |  |  |           |           |          |          |          |          |          | 0         |          | 0         |
| K-9                                 |  |  |           |           |          |          |          |          |          | 0         |          | 0         |
| Equipment Replacements              |  |  | 98        |           |          |          |          |          |          | 0         |          | 0         |
| Bola Wrap Devices - 4               |  |  |           | 6         |          |          |          |          |          | 0         |          | 0         |
| Weapons                             |  |  |           |           |          |          |          |          |          | 0         |          | 0         |
| <b>TOTAL- EQUIPMENT</b>             |  |  | <b>98</b> | <b>18</b> | <b>6</b> | <b>6</b> | <b>6</b> | <b>6</b> | <b>6</b> | <b>42</b> | <b>0</b> | <b>36</b> |

|                           |  |  |            |            |            |            |            |            |            |              |          |            |
|---------------------------|--|--|------------|------------|------------|------------|------------|------------|------------|--------------|----------|------------|
| <b>TOTAL CASH CAPITAL</b> |  |  | <b>266</b> | <b>404</b> | <b>182</b> | <b>182</b> | <b>182</b> | <b>182</b> | <b>182</b> | <b>1,132</b> | <b>0</b> | <b>916</b> |
|---------------------------|--|--|------------|------------|------------|------------|------------|------------|------------|--------------|----------|------------|

**DEBT**

SPACE NEEDS

|                                            |  |  |          |          |          |          |          |          |          |          |          |          |
|--------------------------------------------|--|--|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Police Station Painting & Mold Remediation |  |  |          |          |          |          |          |          |          | 0        |          | 0        |
|                                            |  |  |          |          |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL - SPACE NEEDS</b>                 |  |  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

TECHNOLOGY

|                                                    |  |  |            |          |          |          |          |          |          |          |          |          |
|----------------------------------------------------|--|--|------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Software-Replace IMC Record Data Management System |  |  | 102        |          |          |          |          |          |          | 0        |          | 0        |
| Portable Radios                                    |  |  |            |          |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL - DEBT</b>                                |  |  | <b>102</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                       | FY2022<br>VOTED                         | FY2023 - FY2027 |            |            |            |            | 5-Year       | FY2028       | 6-Year |
|-------------------------------------------------------|-----------------------------------------|-----------------|------------|------------|------------|------------|--------------|--------------|--------|
|                                                       |                                         | FY2023          | FY2024     | FY2025     | FY2026     | FY2027     | TOTAL        | TOTAL        | TOTAL  |
| <b>TOTAL DEBT</b>                                     | <b>102</b>                              | <b>0</b>        | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     |        |
| <b>TOTAL - POLICE DEPARTMENT</b>                      | <b>368</b>                              | <b>404</b>      | <b>182</b> | <b>182</b> | <b>182</b> | <b>182</b> | <b>1,132</b> | <b>916</b>   |        |
| <b>FIRE DEPARTMENT</b>                                |                                         |                 |            |            |            |            |              |              |        |
| <b>CASH CAPITAL</b>                                   |                                         |                 |            |            |            |            |              |              |        |
| <b>VEHICLES</b>                                       |                                         |                 |            |            |            |            |              |              |        |
| Car-1 Chief                                           | 2017 Ford Explorer # A711               |                 | 64         |            |            |            | 64           | 64           |        |
| Car-2 Deputy                                          | 2015 Ford Explorer # 5983               | 0               | 65         |            |            |            | 65           | 65           |        |
| Command Car C-3                                       | 2010 Ford Explorer # 8598               |                 |            | 75         |            |            | 75           | 75           |        |
| Car-4 Fire Prevention                                 | 2014 Ford Explorer MFA461               |                 | 55         |            |            |            | 55           | 55           |        |
| Car-6 EMS                                             | 2010 Ford Explorer # 3265               |                 |            |            |            |            | 0            | 0            |        |
| Pick up                                               | 2008 Ford F-350 XL Super Duty # 5985    | 65              |            |            |            |            | 0            | 0            |        |
| E-2 - Refurbishment                                   | 2005 E-One Typhoon Pumper # 7235        |                 |            |            |            |            | 0            | 0            |        |
| Sq-2 (fka E-4) Refurbish                              | 2001 Ford 450 # 3270                    |                 |            |            |            |            | 0            | 0            |        |
| American LaFrance                                     | 1925 LaFrance # 5979                    |                 |            |            |            |            | 0            | 0            |        |
| Trailer                                               | 1983 Wr Trailer # 5976                  |                 |            |            |            |            | 0            | 0            |        |
| <b>TOTAL- VEHICLES</b>                                | <b>65</b>                               | <b>120</b>      | <b>64</b>  | <b>75</b>  | <b>0</b>   | <b>0</b>   | <b>259</b>   | <b>259</b>   |        |
| <b>TECHNOLOGY</b>                                     |                                         |                 |            |            |            |            |              |              |        |
| Fire Records & Dispatch Software                      |                                         |                 |            |            |            |            | 0            | 0            |        |
| Station Alerting System                               |                                         |                 |            |            |            |            | 0            | 0            |        |
| available for use                                     |                                         |                 |            |            |            |            | 0            | 0            |        |
| <b>TOTAL- TECHNOLOGY</b>                              | <b>0</b>                                | <b>0</b>        | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     |        |
| <b>EQUIPMENT</b>                                      |                                         |                 |            |            |            |            |              |              |        |
| Generator #1 (Station 1)                              |                                         |                 |            |            |            |            | 0            | 0            |        |
| Boat-1 Trailer                                        | 2004 Amer. Trailver Karavan # 5982      |                 | 25         |            |            |            | 25           | 25           |        |
| Boat-2 Trailer                                        | 2007 EZL Boat Trailer # 5927            |                 | 25         |            |            |            | 25           | 25           |        |
| Trailer                                               | 2007 Cross Country Flt Bed Tralr # 9811 |                 |            |            |            |            | 0            | 0            |        |
| Trailer                                               | 2005 Magnu Utility Trailer #74329       |                 |            |            |            |            | 0            | 0            |        |
| Rescue Jet Ski                                        |                                         |                 |            |            |            |            | 0            | 0            |        |
| Furnishings & Equipment                               |                                         |                 |            |            |            |            | 0            | 0            |        |
| Washer & Drying Cabinet for Gear                      |                                         |                 |            |            |            |            | 0            | 0            |        |
| Radio Master Boxes - Radio Repeater - Wash. St. Tower | 18                                      |                 |            |            |            |            | 0            | 0            |        |
| Other Equipment - EMS Simulation Mannequin            |                                         | 53              |            |            |            |            | 53           | 53           |        |
| Replace Hurst Extrication Equipment (Station 1)       |                                         |                 |            |            |            |            | 0            | 0            |        |
| Turnout Gear                                          | 0                                       |                 |            |            |            |            | 0            | 0            |        |
| Thermal Imaging Camera                                |                                         |                 |            |            |            |            | 0            | 0            |        |
| <b>TOTAL- EQUIPMENT</b>                               | <b>18</b>                               | <b>53</b>       | <b>50</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>103</b>   | <b>103</b>   |        |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>    |                                         |                 |            |            |            |            |              |              |        |
| Overhead Doors                                        |                                         |                 |            |            |            |            | 0            | 0            |        |
| Repaint Interior Station 2                            |                                         | 15              |            |            |            |            | 15           | 15           |        |
| Diesel Exhaust Systems - Update                       |                                         | 23              |            |            |            |            | 23           | 23           |        |
| Repair Floors at Fire Stations                        |                                         | 24              |            |            |            |            | 24           | 24           |        |
| <b>TOTAL- BUILDINGS, ETC</b>                          | <b>0</b>                                | <b>62</b>       | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>62</b>    | <b>62</b>    |        |
| <b>TOTAL CASH CAPITAL</b>                             | <b>83</b>                               | <b>235</b>      | <b>114</b> | <b>75</b>  | <b>0</b>   | <b>0</b>   | <b>424</b>   | <b>424</b>   |        |
| <b>DEBT</b>                                           |                                         |                 |            |            |            |            |              |              |        |
| <b>VEHICLES</b>                                       |                                         |                 |            |            |            |            |              |              |        |
| Replace E-1                                           | 1993 Emg. Cycl. # 3274                  |                 |            |            |            |            | 0            | 0            |        |
| E-2 Refurbish                                         | 2005 E-One Typhoon Pumper # 7235        |                 |            | 750        |            |            | 750          | 750          |        |
| Sq-1 (fka E-3)                                        | 2004 Ford 550 Brush Truck # 3272        |                 |            |            |            |            | 0            | 0            |        |
| Sq-2 (fka E-4) Refurbish                              | 2001 Ford 450 # 3270                    |                 | 230        |            |            |            | 230          | 230          |        |
| E-6 Refurbish                                         | 2003 E-One Typhoon Truck # 3267         |                 |            | 750        |            |            | 750          | 750          |        |
| L-1                                                   | 2001 E-One Ladder # 3266                |                 |            |            |            |            | 0            | 0            |        |
| L-2                                                   | 2014 E-One HP100 Ladder Truck # 3736    |                 |            |            |            |            | 0            | 0            |        |
| T-1 (previously E-4)                                  | 2006 Intl 700 SER Tanker # 3268         |                 |            |            |            |            | 0            | 0            |        |
| F.A. (Fire Alarm)                                     | 1994 Ford Fire Truck # 3275             |                 |            |            |            |            | 0            | 0            |        |
| <b>TOTAL- VEHICLES</b>                                | <b>0</b>                                | <b>230</b>      | <b>0</b>   | <b>750</b> | <b>750</b> | <b>0</b>   | <b>1,730</b> | <b>1,730</b> |        |
| <b>Space Needs</b>                                    |                                         |                 |            |            |            |            |              |              |        |
| Fire Station 2 Repairs                                |                                         |                 |            |            |            |            | 0            | 0            |        |
| <b>TOTAL - SPACE NEEDS</b>                            | <b>0</b>                                | <b>0</b>        | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     |        |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                                  | FY2022<br>VOTED                      | FY2023 - FY2027 |            |              |            |          | 5-Year       | FY2028   | 6-Year       |
|------------------------------------------------------------------|--------------------------------------|-----------------|------------|--------------|------------|----------|--------------|----------|--------------|
|                                                                  |                                      | FY2023          | FY2024     | FY2025       | FY2026     | FY2027   | TOTAL        | TOTAL    | TOTAL        |
| Airpacks (SCBA)                                                  |                                      |                 |            |              |            |          | 0            |          | 0            |
| Portable/Mobile Radios                                           |                                      |                 |            | 200          |            |          | 200          |          | 200          |
| Radio Master Box/Fire Alarm Upgrades                             |                                      |                 |            |              |            |          | 0            |          | 0            |
| Thermal Imaging Cameras                                          |                                      |                 | 105        |              |            |          | 105          |          | 105          |
| Air Filling Station                                              | 76                                   |                 |            |              |            |          | 0            |          | 0            |
| Air Compressor System                                            | 0                                    |                 |            |              |            |          | 0            |          | 0            |
| <b>TOTAL - EQUIPMENT</b>                                         | <b>76</b>                            | <b>0</b>        | <b>105</b> | <b>200</b>   | <b>0</b>   | <b>0</b> | <b>305</b>   | <b>0</b> | <b>305</b>   |
| <b>TOTAL DEBT</b>                                                | <b>76</b>                            | <b>230</b>      | <b>105</b> | <b>950</b>   | <b>750</b> | <b>0</b> | <b>2,035</b> | <b>0</b> | <b>2,035</b> |
| <b>TOTAL - FIRE DEPARTMENT</b>                                   | <b>159</b>                           | <b>465</b>      | <b>219</b> | <b>1,025</b> | <b>750</b> | <b>0</b> | <b>2,459</b> | <b>0</b> | <b>2,459</b> |
| <b>DEPARTMENT PUBLIC WORKS</b>                                   |                                      |                 |            |              |            |          |              |          |              |
| <b>CASH CAPITAL</b>                                              |                                      |                 |            |              |            |          |              |          |              |
| <b>VEHICLES</b>                                                  |                                      |                 |            |              |            |          |              |          |              |
| Automobile                                                       | 2016 Ford Explorer # 1               |                 |            |              | 45         |          | 45           |          | 45           |
| Automobile                                                       |                                      |                 |            |              |            |          | 0            |          | 0            |
| Automobile                                                       |                                      |                 |            |              |            |          | 0            |          | 0            |
| Pickup                                                           | 2008 Ford F150 Supercrew # 2         | M60580          |            | 48           |            |          | 48           |          | 48           |
| Pickup                                                           | 2008 Ford F550 # 3                   | M48022          | 65         |              |            |          | 65           |          | 65           |
| Pickup                                                           | 2008 Ford F150 Supercrew # 74        | M86900          |            |              |            |          | 0            |          | 0            |
| Pickup 4x4                                                       | 2015 Ford F350 # 5                   |                 |            | 60           |            |          | 60           |          | 60           |
| Utility 4x2                                                      | 2000 Ford Expedition # 6             | M38859          |            |              |            |          | 0            |          | 0            |
| Dump-Sander                                                      | 2006 Intl 7300 # 11                  |                 | 200        |              |            |          | 200          |          | 200          |
| Truck                                                            | 2006 Intl. 400SER 4300 Truck # 12    |                 |            |              |            |          | 0            |          | 0            |
| Utility 4 x4                                                     | 2000 Ford F250 # 13                  |                 | 70         |              |            |          | 70           |          | 70           |
| Dump-Sander                                                      | 2000 Sterling # 15                   |                 |            | 200          |            |          | 200          |          | 200          |
| Dump-Sander                                                      | 2000 Sterling # 16                   |                 | 200        |              |            |          | 200          |          | 200          |
| Dump - Sander                                                    | 2004 Sterling L8500 # 21             |                 |            | 200          |            |          | 200          |          | 200          |
| Truck                                                            | 2016 Ford F350 # 25                  |                 |            |              |            |          | 0            |          | 0            |
| Bucket Truck Platform                                            | 2000 Ford F750 # 37                  |                 |            | 157          |            |          | 157          |          | 157          |
| Dump                                                             | 2006 Intl 4300 # 30                  |                 |            |              | 225        |          | 225          |          | 225          |
|                                                                  |                                      |                 |            |              |            |          | 0            |          | 0            |
| <b>TOTAL- VEHICLES</b>                                           | <b>0</b>                             | <b>70</b>       | <b>465</b> | <b>665</b>   | <b>270</b> | <b>0</b> | <b>1,470</b> | <b>0</b> | <b>1,470</b> |
| <b>TECHNOLOGY</b>                                                |                                      |                 |            |              |            |          |              |          |              |
| Mobile Radio Upgrade                                             |                                      |                 |            |              |            |          | 0            |          | 0            |
| Town GPS Base Engineering                                        |                                      |                 | 40         |              |            |          | 40           |          | 40           |
| Hydraulic Design Software                                        |                                      |                 | 30         |              |            |          | 30           |          | 30           |
| Document Plotter/Scanner                                         | 11                                   |                 |            |              |            |          | 0            |          | 0            |
| <b>TOTAL- TECHNOLOGY</b>                                         | <b>11</b>                            | <b>0</b>        | <b>70</b>  | <b>0</b>     | <b>0</b>   | <b>0</b> | <b>70</b>    | <b>0</b> | <b>70</b>    |
| <b>EQUIPMENT</b>                                                 |                                      |                 |            |              |            |          |              |          |              |
| Sweeper                                                          | 2017 Elgin Pelican # 33              |                 |            |              |            | 137      | 137          | 0        | 137          |
| Sidewalk Tractor/Plow                                            | 1992 Bombardier # 49                 |                 |            | 170          |            |          | 170          |          | 170          |
| Snowplows                                                        |                                      |                 |            |              |            |          | 0            |          | 0            |
| Lifting Forks                                                    |                                      |                 |            |              |            |          | 0            |          | 0            |
| Utility Trailer                                                  | 1999 Big Tex # 57                    |                 |            |              |            |          | 0            |          | 0            |
| Welder                                                           | 1988 Lincoln # 40                    |                 |            |              |            |          | 0            |          | 0            |
| Flat Bed Trailer                                                 | 1999 Cross # 43                      |                 |            |              |            |          | 0            |          | 0            |
| Hot Box Trailer                                                  | 2013 Step Utility Trailer # 59       |                 |            |              |            |          | 0            |          | 0            |
| Lawn Mower - Cemetery                                            |                                      |                 |            |              |            |          | 0            |          | 0            |
| Tractor                                                          | 2015 Track MT - Tractor # 47         |                 |            |              |            |          | 0            |          | 0            |
| Cement Mixer                                                     | 1995 Stone # 50                      |                 |            | 20           |            |          | 20           |          | 20           |
| Roller                                                           | 1989 Dyna Pac # 54                   |                 | 46         |              |            |          | 46           |          | 46           |
| Chipper                                                          | 1991 Eager Beaver # 55               |                 | 40         |              |            |          | 40           |          | 40           |
| Chipper                                                          | 2012 Terex Chipper # 51              |                 |            |              |            |          | 0            |          | 0            |
|                                                                  | 1999 John Deere - gator # 58         |                 |            |              |            |          | 0            |          | 0            |
| Stumpex Grinder                                                  | Attachment/Skid Steer Tractor # 58   |                 |            |              |            |          | 0            |          | 0            |
| Trailer                                                          | 2006 Cronk Utility Flat Trailer # 59 |                 |            |              |            |          | 0            |          | 0            |
| Stump Grinder                                                    | 2001 Rayco # 51                      |                 |            |              |            |          | 0            |          | 0            |
| Roller                                                           | 1989 Stone Roller # 75               |                 | 35         |              |            |          | 35           |          | 35           |
| Roller                                                           | 2002 MZ Two Ton # 76                 |                 |            | 35           |            |          | 35           |          | 35           |
| Skidloader                                                       | 2017 Kabota # 62                     |                 |            |              |            |          | 0            |          | 0            |
| Skidloader                                                       | 2008 Terex PT30 # 68                 |                 |            |              |            |          | 0            |          | 0            |
| Message Board                                                    | New Wnaco WTMMB                      |                 |            |              |            |          | 0            |          | 0            |
| Hook Lift Mounted Street Vacuum Attachment                       |                                      |                 |            |              |            |          | 0            |          | 0            |
| Traffic Control Signs - Flashing Cross Walk System - 7 locations |                                      | 58              |            |              |            |          | 0            |          | 0            |
| 11 Foot Snow Plows                                               |                                      |                 |            |              |            |          | 0            |          | 0            |
| Wet Deicing systems for Sanders                                  |                                      |                 |            |              |            |          | 0            |          | 0            |
| Neponset Street Aqueduct Fence                                   |                                      |                 | 9          |              |            |          | 9            |          | 9            |
| Brush Chipper                                                    |                                      |                 |            |              |            |          | 0            |          | 0            |
| Enclosed Trailer                                                 |                                      |                 |            |              |            |          | 0            |          | 0            |
| Message Board                                                    | 2010 Wnaco Message Board Unit # 53   |                 |            |              |            |          | 0            |          | 0            |
| Cemetery Security Cameras                                        |                                      |                 |            |              |            |          | 0            |          | 0            |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                                   | FY2022<br>VOTED | FY2023 - FY2027 |            |            |            |            | 5-Year       | FY2028   | 6-Year       |
|-------------------------------------------------------------------|-----------------|-----------------|------------|------------|------------|------------|--------------|----------|--------------|
|                                                                   |                 | FY2023          | FY2024     | FY2025     | FY2026     | FY2027     | TOTAL        | TOTAL    | TOTAL        |
| <b>EQUIPMENT</b>                                                  |                 |                 |            |            |            |            |              |          |              |
| Trailer 2013 Cross Utility Trailer # 65                           |                 |                 |            |            |            |            | 0            |          | 0            |
| Grass Mowers                                                      | 19              |                 |            |            |            |            | 0            |          | 0            |
| Message Board 2013 Wanco WV73 # 52                                |                 |                 |            |            |            |            | 0            |          | 0            |
| Trailer 2012 Terex Utility Trailer # 51                           |                 |                 |            |            |            |            | 0            |          | 0            |
| Stump Grinder 2001 Stump # 60                                     |                 |                 |            |            |            |            | 0            |          | 0            |
| <b>TOTAL - EQUIPMENT</b>                                          | <b>77</b>       | <b>0</b>        | <b>130</b> | <b>20</b>  | <b>205</b> | <b>137</b> | <b>492</b>   | <b>0</b> | <b>492</b>   |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                |                 |                 |            |            |            |            |              |          |              |
| Forge Pond Dam Inspection                                         |                 | 9               |            |            |            |            | 9            |          | 9            |
| Old Shepard Street Dam Inspection                                 |                 |                 | 15         |            |            |            | 15           |          | 15           |
| Shepard Pond Dam Inspection                                       |                 |                 |            | 15         |            |            | 15           |          | 15           |
| Bolivar Pond Dam Inspection                                       |                 |                 |            | 15         |            |            | 15           |          | 15           |
| Reservoir Pond Dam Inspection                                     |                 | 15              |            |            |            |            | 15           |          | 15           |
| Revere Street Dam Inspection                                      |                 |                 | 15         |            |            |            | 15           |          | 15           |
| Wash./Chapman Streets Intersection Improvements                   |                 |                 |            |            |            |            | 0            |          | 0            |
| Cemetery stone preservation                                       |                 |                 |            |            |            |            | 0            |          | 0            |
| Dedham St Utility Easement                                        |                 | 65              |            |            |            |            | 65           |          | 65           |
| <b>TOTAL - BUILDINGS, ETC</b>                                     | <b>0</b>        | <b>9</b>        | <b>95</b>  | <b>15</b>  | <b>30</b>  | <b>0</b>   | <b>149</b>   | <b>0</b> | <b>149</b>   |
| <b>TOTAL CASH CAPITAL</b>                                         | <b>88</b>       | <b>79</b>       | <b>760</b> | <b>700</b> | <b>505</b> | <b>137</b> | <b>2,181</b> | <b>0</b> | <b>2,181</b> |
| <b>DEBT</b>                                                       |                 |                 |            |            |            |            |              |          |              |
| <b>VEHICLES</b>                                                   |                 |                 |            |            |            |            |              |          |              |
| Utility 2008 Ford F550 # 10                                       |                 |                 | 75         |            |            |            | 75           |          | 75           |
| Dump 2014 International Dump #7400 # 17                           |                 |                 |            |            | 210        |            | 210          | 0        | 210          |
| Dump-Sander 2009 Intl 7400 # 18                                   |                 |                 |            |            | 210        |            | 210          |          | 210          |
| Dump 4x4 2002 Ford F750 # 19                                      |                 |                 | 180        |            |            |            | 180          |          | 180          |
| Dump 2013 Intl 7400 # 22                                          |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump - Sander 2015 International 7400 SFA # 23                    |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump-Sander 2000 Sterling # 24                                    |                 |                 | 210        |            |            |            | 210          |          | 210          |
| Dump 4x4 2016 Ford F550 # 25                                      |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump 4x4 2012 Ford F550 # 26                                      |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump-Sander 2011 Intl 7400 SFA # 28                               |                 |                 |            |            |            |            | 0            |          | 0            |
| Bucket Truck 2000 Ford F-750 Forestry # 37                        |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump 10 Wheel 18 c.y. Dump # 0                                    | 0               | 298             |            |            |            |            | 298          |          | 298          |
| Box Truck Freightliner M2 106                                     |                 |                 |            |            |            |            | 0            |          | 0            |
| Dump 6 Wheel 5 c.y. Dump                                          |                 | 224             |            |            |            |            | 224          |          | 224          |
| Loader 2008 CAT 928H # 70                                         |                 |                 | 185        |            |            |            | 185          |          | 185          |
| <b>TOTAL - VEHICLES</b>                                           | <b>0</b>        | <b>522</b>      | <b>470</b> | <b>180</b> | <b>210</b> | <b>210</b> | <b>1,592</b> | <b>0</b> | <b>1,592</b> |
| <b>SPACE NEEDS</b>                                                |                 |                 |            |            |            |            |              |          |              |
| Cemetery Garage                                                   |                 |                 |            | 275        | 0          |            | 275          | 0        | 275          |
| <b>TOTAL - SPACE NEEDS</b>                                        | <b>0</b>        | <b>0</b>        | <b>0</b>   | <b>0</b>   | <b>275</b> | <b>0</b>   | <b>275</b>   | <b>0</b> | <b>275</b>   |
| <b>TECHNOLOGY</b>                                                 |                 |                 |            |            |            |            |              |          |              |
| Asset Management Software available for use                       |                 |                 |            |            |            |            | 0            |          | 0            |
| available for use                                                 |                 |                 |            |            |            |            | 0            |          | 0            |
| <b>TOTAL - TECHNOLOGY</b>                                         | <b>0</b>        | <b>0</b>        | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>EQUIPMENT</b>                                                  |                 |                 |            |            |            |            |              |          |              |
| Street Sweeper 2010 Elgin Pelican # 35                            |                 |                 | 210        |            |            |            | 210          |          | 210          |
| Sidewalk Tractor 2015 MT Trackless # 47                           |                 |                 |            |            |            |            | 0            |          | 0            |
| Sidewalk Tractor 2008 Camoplast # 48                              |                 |                 |            |            |            |            | 0            |          | 0            |
| Sidewalk Tractor/Plow 1992 Bombardier # 49                        |                 |                 |            |            |            |            | 0            |          | 0            |
| Bolivar Garage Security System                                    |                 |                 |            |            |            |            | 0            |          | 0            |
| Sidewalk Tractor with Attachments                                 | 0               | 274             |            |            |            |            | 274          |          | 274          |
| <b>TOTAL - EQUIPMENT</b>                                          | <b>0</b>        | <b>274</b>      | <b>210</b> | <b>0</b>   | <b>0</b>   | <b>0</b>   | <b>484</b>   | <b>0</b> | <b>484</b>   |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                |                 |                 |            |            |            |            |              |          |              |
| 5 Year Roadway Maintenance Program (Prop. 2 1/2 Debt Exclusion)   |                 |                 | 350        | 350        | 350        | 18,600     | 19,650       | 0        | 19,650       |
| Sidewalk Program (Prop. 2 1/2 Debt Exclusion)                     |                 |                 | 200        | 200        | 200        | 2,000      | 2,600        | 0        | 2,600        |
| Randolph Street Improvements - Paving and Sidewalks               |                 |                 | 2,845      |            |            |            | 2,845        |          | 2,845        |
| East-West Road (Prop. 2 1/2 Debt Exclusion)                       |                 |                 |            |            |            | 15,000     | 15,000       | 0        | 15,000       |
| Town Wide Traffic Study - includes Pleasant St. & Washington St.) |                 |                 |            | 450        |            |            | 450          |          | 450          |
| Washington/Randolph Streets Intersection Improvements             |                 |                 |            |            | 0          |            | 0            |          | 0            |
| Greenlodge Street Drainage                                        | 0               |                 |            |            | 300        |            | 300          |          | 300          |
| Old Shepard St. Pond Dam Repair Design                            | D               |                 |            |            | 0          |            | 0            |          | 0            |



**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                                         | FY2022    |              |              |              |              |               | 5-Year        |          | 6-Year        |
|-------------------------------------------------------------------------|-----------|--------------|--------------|--------------|--------------|---------------|---------------|----------|---------------|
|                                                                         | VOTED     | FY2023       | FY2024       | FY2025       | FY2026       | FY2027        | TOTAL         | FY2028   | TOTAL         |
| Downtown Streetscape - Downtown Crosswalk Rehabilitation                |           | 312          |              |              | 640          |               | 952           |          | 952           |
| Cemetery Roads                                                          |           |              |              |              | 150          |               | 150           |          | 150           |
| Rockland St. Culvert                                                    |           |              |              |              | 230          |               | 230           |          | 230           |
| Mechanic St. Culvert                                                    |           |              |              |              | 200          |               | 200           |          | 200           |
| Drainage Repairs/Culverts - Elm St. Culvert Downstream Retaining Wall   |           | 270          |              |              | 0            |               | 270           |          | 270           |
| Road Improvements Sherman/Angela/Pleasant (Bridge in '22)               |           |              |              |              | 0            |               | 0             |          | 0             |
| Bailey Street Reconstruction                                            |           |              |              |              | 0            |               | 0             |          | 0             |
| Stormwater Management Program                                           |           |              |              |              | 0            |               | 0             |          | 0             |
| Canton River/East Branch Drainage Basin                                 |           |              |              |              | 650          |               | 650           |          | 650           |
| Stabilize Bolivar Street Dam Walls & Main Spillway - Phase 1            |           |              |              |              | 0            |               | 0             |          | 0             |
| Increase capacity of Bolivar Street Main Spillway and Culvert - Phase 2 |           |              |              |              | 0            |               | 0             |          | 0             |
| Stormwater BMP - Galvin School                                          |           |              |              | 210          |              |               | 210           |          | 210           |
| Stormwater BMP - Hansen School                                          |           | 240          |              |              |              |               | 240           |          | 240           |
| Stormwater BMP - Ponkapoag                                              |           |              |              |              | 200          | 400           | 600           | 0        | 600           |
| York at Ledgewood Drain                                                 |           |              |              |              | 80           |               | 80            |          | 80            |
| <b>TOTAL BUILDINGS, ETC.</b>                                            | <b>0</b>  | <b>582</b>   | <b>3,635</b> | <b>760</b>   | <b>3,450</b> | <b>36,000</b> | <b>44,427</b> | <b>0</b> | <b>44,427</b> |
| <b>TOTAL DEBT</b>                                                       | <b>0</b>  | <b>1,378</b> | <b>4,315</b> | <b>940</b>   | <b>3,935</b> | <b>36,210</b> | <b>46,778</b> | <b>0</b> | <b>46,778</b> |
| <b>TOTAL - DEPARTMENT PUBLIC WORKS</b>                                  | <b>88</b> | <b>1,457</b> | <b>5,075</b> | <b>1,640</b> | <b>4,440</b> | <b>36,347</b> | <b>48,959</b> | <b>0</b> | <b>48,959</b> |
| <b>FINANCE DEPARTMENT</b>                                               |           |              |              |              |              |               |               |          |               |
| <b>CASH CAPITAL</b>                                                     |           |              |              |              |              |               |               |          |               |
| <b>EQUIPMENT</b>                                                        |           |              |              |              |              |               |               |          |               |
| Copier Replacements                                                     | 10        | 20           |              |              |              |               | 20            |          | 20            |
| BOS Copier available for use                                            |           |              |              |              |              |               | 0             |          | 0             |
| <b>TOTAL- EQUIPMENT</b>                                                 | <b>10</b> | <b>0</b>     | <b>20</b>    | <b>0</b>     | <b>0</b>     | <b>0</b>      | <b>20</b>     | <b>0</b> | <b>20</b>     |
| <b>TECHNOLOGY - ISM DEPARTMENT &amp; MUNICIPAL TOWNWIDE</b>             |           |              |              |              |              |               |               |          |               |
| Computers/Peripherals (Desktop Replacements 25-30)                      |           | 33           | 6            | 99           |              |               | 138           |          | 138           |
| Dispatch Server                                                         |           |              |              |              |              |               | 0             |          | 0             |
| Desktop Server                                                          |           |              |              |              |              |               | 0             |          | 0             |
| Server Replacement - Fire Department                                    |           | 12           |              |              |              |               | 12            |          | 12            |
| Server & Software Replacement - Library                                 |           | 30           |              |              |              |               | 30            |          | 30            |
| Firewall/VPN Equipment                                                  | 0         |              | 6            |              |              |               | 6             |          | 6             |
| Switch Replacements/Software Upgrade                                    |           |              |              |              |              |               | 0             |          | 0             |
| Network Back-up Device                                                  |           |              |              |              |              |               | 0             |          | 0             |
| Anti-Virus & Firewall Upgrade                                           | 11        |              |              |              |              |               | 0             |          | 0             |
| Permit Software                                                         | 15        |              |              |              |              |               | 0             |          | 0             |
| Software Upgrades (Microsoft Software upgrades)                         | 0         |              | 50           | 100          |              |               | 150           |          | 150           |
| Exchange Upgrade POS                                                    |           |              |              |              |              |               | 0             |          | 0             |
| Phone System Replacement (Police, Fire & Library)                       |           |              |              |              |              |               | 0             |          | 0             |
| Mobile Data Terminals - Police Cruisers                                 | 63        |              |              |              |              |               | 0             |          | 0             |
| Wireless Access Points Upgrade                                          |           |              |              |              |              |               | 0             |          | 0             |
| Pequitside Farm Security System Upgrade                                 |           |              |              |              |              |               | 0             |          | 0             |
| Virtual Host Processor Upgrade                                          |           |              |              |              |              |               | 0             |          | 0             |
| Storage System Replacement                                              |           |              |              |              |              |               | 0             |          | 0             |
| Tablets for Selectmen & Planning Board                                  |           |              |              |              |              |               | 0             |          | 0             |
| Computers for Library Staff                                             |           |              |              |              |              |               | 0             |          | 0             |
| Data Back-Up Appliance                                                  |           | 61           |              |              |              |               | 61            |          | 61            |
| Police Video Recorders                                                  |           |              |              |              |              |               | 0             |          | 0             |
| Web Design Package                                                      |           |              |              |              |              |               | 0             |          | 0             |
| Office Professional Licenses                                            |           |              |              |              |              |               | 0             |          | 0             |
| Copier Replacements                                                     |           |              |              |              |              |               | 0             |          | 0             |
| Video Conferencing                                                      |           |              |              |              |              |               | 0             |          | 0             |
| Video Recorder / Door Access                                            |           |              |              |              |              |               | 0             |          | 0             |
| Cemetery Management Software                                            |           |              |              |              |              |               | 0             |          | 0             |
| Archive Software                                                        |           |              |              |              |              |               | 0             |          | 0             |
| Dispatch Mapping Software                                               |           |              |              |              |              |               | 0             |          | 0             |
| Laserfiche Upgrade                                                      |           |              |              |              |              |               | 0             |          | 0             |
| Database License                                                        |           |              |              |              |              |               | 0             |          | 0             |
| Financial Chart of Accounts                                             | 0         | 50           |              |              |              |               | 50            |          | 50            |
| <b>TOTAL- TECHNOLOGY</b>                                                | <b>89</b> | <b>186</b>   | <b>62</b>    | <b>199</b>   | <b>0</b>     | <b>0</b>      | <b>417</b>    | <b>0</b> | <b>417</b>    |
| <b>TOTAL CASH CAPITAL</b>                                               | <b>99</b> | <b>186</b>   | <b>82</b>    | <b>199</b>   | <b>0</b>     | <b>0</b>      | <b>437</b>    | <b>0</b> | <b>437</b>    |
| <b>DEBT</b>                                                             |           |              |              |              |              |               |               |          |               |
| <b>TECHNOLOGY - ISM DEPARTMENT &amp; MUNICIPAL TOWNWIDE</b>             |           |              |              |              |              |               |               |          |               |
| Virtualization                                                          |           |              |              |              |              |               | 0             |          | 0             |
| Switch Replacements - All Municipal Buildings                           |           | 235          |              |              |              |               |               |          |               |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                            | FY2022<br>VOTED          | FY2023     | FY2024    | FY2025     | FY2026    | FY2027   | 5-Year     |           | 6-Year     |           |
|------------------------------------------------------------|--------------------------|------------|-----------|------------|-----------|----------|------------|-----------|------------|-----------|
|                                                            |                          |            |           |            |           |          | TOTAL      | FY2028    | TOTAL      |           |
| Financial Document Management System                       |                          |            |           |            |           |          | 0          |           | 0          |           |
| Phone System (to be funded from transfer of Fiber Project) |                          |            |           |            |           |          | 0          |           | 0          |           |
| <b>TOTAL DEBT</b>                                          | <b>0</b>                 | <b>235</b> | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>TOTAL - FINANCE DEPARTMENT</b>                          | <b>99</b>                | <b>421</b> | <b>82</b> | <b>199</b> | <b>0</b>  | <b>0</b> | <b>437</b> | <b>0</b>  | <b>437</b> | <b>0</b>  |
| <b>BUILDING DEPARTMENT</b>                                 |                          |            |           |            |           |          |            |           |            |           |
| <b>CASH CAPITAL</b>                                        |                          |            |           |            |           |          |            |           |            |           |
| <b>VEHICLES</b>                                            |                          |            |           |            |           |          |            |           |            |           |
| SUV                                                        | 2016 Ford Explorer       | M79918     |           |            | 40        |          |            | 40        |            | 40        |
| <b>TOTAL - VEHICLES</b>                                    |                          |            | <b>0</b>  | <b>0</b>   | <b>40</b> | <b>0</b> | <b>0</b>   | <b>40</b> | <b>0</b>   | <b>40</b> |
| <b>TECHNOLOGY</b>                                          |                          |            |           |            |           |          |            |           |            |           |
| available for use                                          |                          |            |           |            |           |          | 0          |           | 0          |           |
| <b>TOTAL - TECHNOLOGY</b>                                  | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>TOTAL CASH CAPITAL</b>                                  | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>40</b>  | <b>0</b>  | <b>0</b> | <b>40</b>  | <b>0</b>  | <b>40</b>  | <b>0</b>  |
| <b>TOTAL - BUILDING DEPARTMENT</b>                         | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>40</b>  | <b>0</b>  | <b>0</b> | <b>40</b>  | <b>0</b>  | <b>40</b>  | <b>0</b>  |
| <b>ANIMAL CONTROL</b>                                      |                          |            |           |            |           |          |            |           |            |           |
| <b>CASH CAPITAL</b>                                        |                          |            |           |            |           |          |            |           |            |           |
| <b>VEHICLES</b>                                            |                          |            |           |            |           |          |            |           |            |           |
| Van                                                        | 2009 Ford E150 Cargo Van | M11899     | 40        |            |           |          |            | 0         |            | 0         |
| Truck                                                      | 2001 Ford Econoline      | M67558     |           |            |           |          |            | 0         |            | 0         |
| <b>TOTAL - VEHICLES</b>                                    | <b>40</b>                | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>         |                          |            |           |            |           |          |            |           |            |           |
| available for use                                          |                          |            |           |            |           |          | 0          |           | 0          |           |
| <b>TOTAL - BUILDINGS, ETC</b>                              | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>TOTAL CASH CAPITAL</b>                                  | <b>40</b>                | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>TOTAL - ANIMAL CONTROL</b>                              | <b>40</b>                | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>BOARD OF HEALTH</b>                                     |                          |            |           |            |           |          |            |           |            |           |
| <b>CASH CAPITAL</b>                                        |                          |            |           |            |           |          |            |           |            |           |
| <b>VEHICLES</b>                                            |                          |            |           |            |           |          |            |           |            |           |
| SUV                                                        | 2013 Ford Escape         | M88753     |           |            |           |          |            | 0         |            | 0         |
| Trailer                                                    | 2007 Utility Trailer     | M75526     |           |            |           |          |            | 0         |            | 0         |
| <b>TOTAL - EQUIPMENT</b>                                   | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>TOTAL - BOARD OF HEALTH</b>                             | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>PEQUITSIDE FARM</b>                                     |                          |            |           |            |           |          |            |           |            |           |
| <b>CASH CAPITAL</b>                                        |                          |            |           |            |           |          |            |           |            |           |
| <b>VEHICLES</b>                                            |                          |            |           |            |           |          |            |           |            |           |
| available for use                                          |                          |            |           |            |           |          | 0          |           | 0          |           |
| <b>TOTAL - VEHICLES</b>                                    | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>EQUIPMENT</b>                                           |                          |            |           |            |           |          |            |           |            |           |
| Lawn Tractor - Replacement                                 |                          |            |           |            |           |          | 0          |           | 0          |           |
| available for use                                          |                          |            |           |            |           |          | 0          |           | 0          |           |
| <b>TOTAL - EQUIPMENT</b>                                   | <b>0</b>                 | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b>  |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>         |                          |            |           |            |           |          |            |           |            |           |
| Repairs to Pequitside Farm - Main House                    |                          |            |           |            |           |          | 0          |           | 0          |           |
| Roof Replacement - Carriage Barn                           |                          |            |           |            |           |          | 0          |           | 0          |           |
| Roof Replacement - front entrance roof to Pequitside Farm  |                          |            |           |            |           |          | 0          |           | 0          |           |
| Roof Replacement - Horse Barn                              |                          |            |           |            |           |          | 0          |           | 0          |           |
| Little Red Barn                                            |                          |            |           |            |           |          | 0          |           | 0          |           |

**FORM A  
TOWN OF CANTON  
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SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                                         | FY2022<br>VOTED | FY2023 | FY2024 | FY2025 | FY2026 | FY2027 | 5-Year<br>TOTAL                 | FY2028 | 6-Year<br>TOTAL                 |
|-------------------------------------------------------------------------|-----------------|--------|--------|--------|--------|--------|---------------------------------|--------|---------------------------------|
| <b>TOTAL- BUILDINGS, ETC</b>                                            | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL CASH CAPITAL</b>                                               | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>DEBT</b>                                                             |                 |        |        |        |        |        |                                 |        |                                 |
| Roof Replacement/Elevator<br>Repairs to Main House<br>available for use |                 |        |        |        |        |        | 0<br>0<br>0                     |        | 0<br>0<br>0                     |
| <b>TOTAL DEBT</b>                                                       | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL - PEQUITSIDE FARM<br/>CONSERVATION COMMISSION</b>              | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>CASH CAPITAL</b>                                                     |                 |        |        |        |        |        |                                 |        |                                 |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                      |                 |        |        |        |        |        | 0<br>0<br>0<br>0<br>0<br>0<br>0 |        | 0<br>0<br>0<br>0<br>0<br>0<br>0 |
| Vehicle<br>Vehicle 4WD Pickup                                           | 30              |        |        |        |        |        | 0<br>0<br>0<br>0<br>0           |        | 0<br>0<br>0<br>0<br>0           |
| <b>EQUIPMENT</b>                                                        |                 |        |        |        |        |        | 0<br>0<br>0                     |        | 0<br>0<br>0                     |
| Copier                                                                  |                 |        |        |        |        |        | 0                               |        | 0                               |
| <b>TOTAL- BUILDINGS, ETC</b>                                            | 30              | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL CASH CAPITAL</b>                                               | 30              | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>DEBT</b>                                                             |                 |        |        |        |        |        |                                 |        |                                 |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                      |                 |        |        |        |        |        | 0<br>0<br>0<br>0<br>0           |        | 0<br>0<br>0<br>0<br>0           |
| <b>TOTAL- BUILDINGS, ETC</b>                                            | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL DEBT</b>                                                       | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL - CONSERVATION COMMISSION<br/>SELECT BOARD</b>                 | 30              | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>CASH CAPITAL</b>                                                     |                 |        |        |        |        |        |                                 |        |                                 |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                      |                 |        |        |        |        |        | 0<br>0<br>0                     |        | 0<br>0<br>0                     |
| Gridley School Roof Repairs                                             |                 |        |        |        |        |        | 0                               |        | 0                               |
| Drainage & Sidewalk Improvements                                        |                 |        |        |        |        |        | 0                               |        | 0                               |
| Water/Sewer Storage Garage Structural Repairs                           |                 |        |        |        |        |        | 0                               |        | 0                               |
| <b>TOTAL- VEHICLES</b>                                                  | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>EQUIPMENT</b>                                                        |                 |        |        |        |        |        | 0<br>0                          |        | 0<br>0                          |
| Copy Machine                                                            |                 |        |        |        |        |        | 0                               |        | 0                               |
| Crosswalk Lighting Project                                              |                 |        |        |        |        |        | 0                               |        | 0                               |
| <b>TOTAL- EQUIPMENT</b>                                                 | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL CASH CAPITAL</b>                                               | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>DEBT</b>                                                             |                 |        |        |        |        |        |                                 |        |                                 |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                      |                 |        |        |        |        |        | 0<br>0<br>0                     |        | 0<br>0<br>0                     |
| Rte. 138 design/engineering fees                                        |                 |        |        |        |        |        | 0                               |        | 0                               |
| Purchase streetlights                                                   |                 |        |        |        |        |        | 0                               |        | 0                               |
| Memorial Field Turf Project Supplement                                  |                 |        |        |        |        |        | 0                               |        | 0                               |
| <b>TOTAL- BUILDINGS, ETC</b>                                            | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |
| <b>TOTAL DEBT</b>                                                       | 0               | 0      | 0      | 0      | 0      | 0      | 0                               | 0      | 0                               |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                                           | FY2022 | FY2023 - FY2027 |        |        |        |        | 5-Year | FY2028 | 6-Year |
|---------------------------------------------------------------------------|--------|-----------------|--------|--------|--------|--------|--------|--------|--------|
|                                                                           | VOTED  | FY2023          | FY2024 | FY2025 | FY2026 | FY2027 | TOTAL  | TOTAL  | TOTAL  |
| <b>TOTAL - SELECT BOARD</b>                                               | 0      | 0               | 0      | 0      | 0      | 0      | 0      | 0      | 0      |
| <b>REVERE &amp; SON HERITAGE TRUST</b>                                    |        |                 |        |        |        |        |        |        |        |
| <b>CASH CAPITAL</b>                                                       |        |                 |        |        |        |        |        |        |        |
| Furniture Preview Room - Rolling Mill & Museum                            | 18     |                 | 24     |        |        |        | 24     |        | 24     |
| Monument Signs                                                            |        | 38              |        |        |        |        | 38     |        | 38     |
| <b>TOTAL - REVERE &amp; SON</b>                                           | 18     | 38              | 24     | 0      | 0      | 0      | 62     | 0      | 62     |
| <b>PROPERTY MAINTENANCE</b>                                               |        |                 |        |        |        |        |        |        |        |
| <b>CASH CAPITAL</b>                                                       |        |                 |        |        |        |        |        |        |        |
| <b>VEHICLES</b>                                                           |        |                 |        |        |        |        |        |        |        |
| available for use                                                         |        |                 |        |        |        |        | 0      |        | 0      |
| Truck 2009 Ford DRWSUP Truck M16681                                       |        |                 |        |        |        |        | 0      |        | 0      |
| Truck 2003 Ford F250 4x4 Truck #81 M45221                                 |        |                 |        |        |        |        | 0      |        | 0      |
| Replace Pick-Up Truck with Transit Van                                    |        |                 |        |        |        |        | 0      |        | 0      |
| Giant Vac 2000 Vacuum                                                     |        |                 |        |        |        |        | 0      |        | 0      |
| Utility Trailer (custom) 2003 Trailer M54986                              |        |                 |        |        |        |        | 0      |        | 0      |
| Utility Trailer (black) 2004 Trailer M66916                               |        |                 |        |        |        |        | 0      |        | 0      |
| available for use                                                         |        |                 |        |        |        |        | 0      |        | 0      |
| <b>TOTAL - VEHICLES</b>                                                   | 0      | 0               | 0      | 0      | 0      | 0      | 0      | 0      | 0      |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                        |        |                 |        |        |        |        |        |        |        |
| Building Repairs                                                          |        |                 | 20     | 20     | 20     |        | 60     |        | 60     |
| Police Station Roof                                                       | 123    |                 |        |        |        |        | 0      |        | 0      |
| Recreation Garage Roof at 87 Pine Street                                  |        |                 |        |        |        |        | 0      |        | 0      |
| Replace Boiler at Ponkapoag Fire Station 2                                |        |                 |        |        |        |        | 0      |        | 0      |
| Fire Station 1 Heat Pump                                                  |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall Stairway Ceiling                                            |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall Entry Roof                                                  |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall - Interior Painting                                         |        |                 |        |        |        |        | 0      |        | 0      |
| Armando Center - Exterior Painting                                        |        |                 |        |        |        |        | 0      |        | 0      |
| Handicap Door Openers                                                     |        |                 |        |        |        |        | 0      |        | 0      |
| Animal Control Roof                                                       |        | 43              |        |        |        |        | 43     |        | 43     |
| Fire Station 1 Roof                                                       |        |                 |        |        |        |        | 0      |        | 0      |
| Computer Room Air Conditioning                                            |        |                 |        |        |        |        | 0      |        | 0      |
| Water Seal Building                                                       |        |                 |        |        |        |        | 0      |        | 0      |
| Emergency Power Interface/Back-Up Generator                               |        |                 |        |        |        |        | 0      |        | 0      |
| Painting & Carpeting                                                      |        |                 |        |        |        |        | 0      |        | 0      |
| Furnishings                                                               |        |                 |        |        |        |        | 0      |        | 0      |
| Workstations/Other Peripheral Equipment                                   |        |                 |        |        |        |        | 0      |        | 0      |
| Building Systems Replacement                                              |        |                 |        | 375    |        |        | 375    |        | 375    |
| Paving                                                                    |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall - Exterior Brick Repairs                                    | 1,484  |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall Walkway Steps                                               |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall - Replace Locks                                             |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall Design Services - Interior                                  | 0      | 160             |        |        |        |        | 160    |        | 160    |
| <b>TOTAL - BUILDINGS, ETC</b>                                             | 1,607  | 43              | 180    | 20     | 395    | 0      | 638    | 0      | 638    |
| <b>TOTAL CASH CAPITAL</b>                                                 | 1,607  | 43              | 180    | 20     | 395    | 0      | 638    | 0      | 638    |
| <b>DEBT</b>                                                               |        |                 |        |        |        |        |        |        |        |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                        |        |                 |        |        |        |        |        |        |        |
| Fire Station 1 Roof                                                       |        |                 |        |        |        |        | 0      |        | 0      |
| Demolish Storage Buildings at Pine Street                                 |        |                 |        |        |        |        | 0      |        | 0      |
| Memorial Hall Exterior Brick Repairs                                      | 1,116  |                 |        |        | 0      |        | 0      |        | 0      |
| Memorial Hall HVAC                                                        |        | 1,500           |        |        |        |        | 1,500  |        | 1,500  |
| Police Department Roof                                                    |        |                 |        |        |        |        | 0      |        | 0      |
| <b>TOTAL - BUILDINGS, ETC</b>                                             | 1,116  | 0               | 1,500  | 0      | 0      | 0      | 1,500  | 0      | 1,500  |
| <b>SPACE NEEDS</b>                                                        |        |                 |        |        |        |        |        |        |        |
| Community Center (*Excluded from Tax Levy)                                |        |                 |        |        |        |        | 0      |        | 0      |
| Community Center Architect and Engineering Fees (*Excluded from Tax Levy) |        |                 |        |        |        |        | 0      |        | 0      |
| Price Escalation thereafter                                               |        |                 |        |        |        |        | 0      |        | 0      |
| <b>TOTAL - SPACE NEEDS</b>                                                | 0      | 0               | 0      | 0      | 0      | 0      | 0      | 0      | 0      |
| <b>TOTAL DEBT</b>                                                         | 1,116  | 0               | 1,500  | 0      | 0      | 0      | 1,500  | 0      | 1,500  |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                                       | FY2022       | FY2023 - FY2027 |              |           |            |          | 5-Year       | FY2028   | 6-Year       |
|-----------------------------------------------------------------------|--------------|-----------------|--------------|-----------|------------|----------|--------------|----------|--------------|
|                                                                       | VOTED        | FY2023          | FY2024       | FY2025    | FY2026     | FY2027   | TOTAL        |          | TOTAL        |
| <b>TOTAL - PROPERTY MAINTENANCE</b>                                   | <b>2,723</b> | <b>43</b>       | <b>1,680</b> | <b>20</b> | <b>395</b> | <b>0</b> | <b>2,138</b> | <b>0</b> | <b>2,138</b> |
| <b>RECREATION DEPARTMENT</b>                                          |              |                 |              |           |            |          |              |          |              |
| <b>CASH CAPITAL</b>                                                   |              |                 |              |           |            |          |              |          |              |
| <b>VEHICLES</b>                                                       |              |                 |              |           |            |          |              |          |              |
| Truck                                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Truck                                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Truck                                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Truck                                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Truck                                                                 |              |                 | 43           |           |            |          | 43           |          | 43           |
| Truck                                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Truck                                                                 | 57           |                 |              |           |            |          | 0            |          | 0            |
| Trailer                                                               |              |                 |              |           |            |          | 0            |          | 0            |
| Trailer                                                               |              |                 | 10           |           |            |          | 10           |          | 10           |
| Tractor                                                               |              |                 |              | 18        |            |          | 0            |          | 0            |
|                                                                       |              |                 |              |           |            |          | 18           |          | 18           |
|                                                                       |              |                 |              |           |            |          | 0            |          | 0            |
| <b>TOTAL- VEHICLES</b>                                                | <b>57</b>    | <b>0</b>        | <b>53</b>    | <b>18</b> | <b>0</b>   | <b>0</b> | <b>71</b>    | <b>0</b> | <b>71</b>    |
| <b>EQUIPMENT</b>                                                      |              |                 |              |           |            |          |              |          |              |
| (2) 48" Standing Mowers                                               |              |                 |              |           |            |          | 0            |          | 0            |
| Tot Playground Pequitside                                             |              |                 |              |           |            |          | 0            |          | 0            |
| Playground Equip. Add & Replace at Memorial Field                     |              |                 |              |           |            |          | 0            |          | 0            |
| Mower- Exmark 60" deck                                                |              |                 |              |           |            |          | 0            |          | 0            |
| Mower - SCAC 61" zero turn mower                                      |              |                 |              |           |            |          | 0            |          | 0            |
| Mower - Kubota ZD326S-60 Zero Turn Mower with 60" Pro Commercial Deck |              |                 |              |           |            |          | 0            |          | 0            |
| Landpride Mowers (2)                                                  |              |                 |              |           |            |          | 0            |          | 0            |
| Olathe Slicer                                                         |              |                 |              |           |            |          | 0            |          | 0            |
| Leaf Hopper Collection for Zerio Turn Mower                           |              |                 |              |           |            |          | 0            |          | 0            |
| 2013 Kubota Mower Vin #32953 #32953                                   |              |                 |              |           |            |          | 0            |          | 0            |
| 2014 Kubota Zero Turn Mower Vin #40912 #40912                         |              |                 | 25           |           |            |          | 25           |          | 25           |
| Trailer - 18' Covered - Heritage Park                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Kubota Utility Vehicle - Heritage Park                                |              |                 |              |           |            |          | 0            |          | 0            |
| Kubota Zero Turn Mower - Heritage Park                                |              |                 |              |           |            |          | 0            |          | 0            |
| Ventrac 4500 - Heritage Park                                          | 0            |                 | 55           |           |            |          | 55           |          | 55           |
| Ariens Snow Blower                                                    |              |                 |              |           |            |          | 0            |          | 0            |
| Field Scarifier Mobile                                                |              |                 |              |           |            |          | 0            |          | 0            |
| Field Power Line Marker - Toro                                        |              |                 |              |           |            |          | 0            |          | 0            |
| Field - Athletic Field Grooming Equipment                             |              |                 | 36           |           |            |          | 0            |          | 0            |
| Landscape Brush Hog Mower                                             |              |                 |              |           |            |          | 0            |          | 0            |
| Milcrack Top Dresser                                                  |              |                 |              |           |            |          | 0            |          | 0            |
| Landpride Harley Rake                                                 |              |                 |              |           |            |          | 0            |          | 0            |
| Sod Cutter                                                            |              |                 |              |           |            |          | 0            |          | 0            |
| Leaf Blower Kit - Lesco Vac                                           | 8            |                 |              |           |            |          | 0            |          | 0            |
| Leaf Blower - Stand On                                                |              |                 | 11           |           |            |          | 0            |          | 0            |
| Brush Currer - Billy Goat                                             |              |                 |              |           |            |          | 0            |          | 0            |
| Portable Gas Grill                                                    |              |                 |              |           |            |          | 0            |          | 0            |
| Smithco Ballfield Groomer                                             | 0            |                 | 19           |           |            |          | 19           |          | 19           |
| Turf equipment - Topdresser/Field Conditioner/Cultivator              |              |                 |              |           |            |          | 0            |          | 0            |
| Shade System                                                          |              |                 |              |           |            |          | 0            |          | 0            |
| <b>TOTAL- EQUIPMENT</b>                                               | <b>8</b>     | <b>47</b>       | <b>99</b>    | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>99</b>    | <b>0</b> | <b>99</b>    |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>                    |              |                 |              |           |            |          |              |          |              |
| Pool Rehabilitation (splashpad to replace wading pool)                |              |                 |              |           |            |          | 0            |          | 0            |
| Memorial, Ponkapoag, Devoll Field House Rehab                         |              |                 |              |           |            |          | 0            |          | 0            |
| Mutch Roller Rink Repair                                              |              |                 |              |           |            |          | 0            |          | 0            |
| Kennedy Basketball Court Repairs                                      |              |                 |              |           |            |          | 0            |          | 0            |
| Swimming Pool Rehab/Repair - Bath House Design                        |              |                 |              |           |            |          | 0            |          | 0            |
| Bolivar Pond ADA Improvements                                         |              |                 |              |           |            |          | 0            |          | 0            |
| Swimming Pool Fence                                                   |              |                 |              |           |            |          | 0            |          | 0            |
| Fence Repairs/Replacement                                             |              |                 |              |           |            |          | 0            |          | 0            |
| Skate Park Equipment                                                  |              |                 |              |           |            |          | 0            |          | 0            |
| Bleachers replacement - Baseball field CHS                            |              |                 |              |           |            |          | 0            |          | 0            |
| Playground Security Systems                                           |              |                 |              |           |            |          | 0            |          | 0            |
| Armando Center Carpeting                                              |              |                 |              |           |            |          | 0            |          | 0            |
| Replace Lighting System at Duggan Baseball Field                      |              |                 |              |           |            |          | 0            |          | 0            |
| Replace Lights - Crawford Field                                       |              |                 |              |           |            |          | 0            |          | 0            |
| Tilden Playground Equipment Replacement                               |              |                 |              |           |            |          | 0            |          | 0            |
| Irrigation & Sod Project - Tilden Field                               |              |                 |              |           |            |          | 0            |          | 0            |
| <b>TOTAL- BUILDINGS, ETC</b>                                          | <b>0</b>     | <b>0</b>        | <b>0</b>     | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>TOTAL CASH CAPITAL</b>                                             | <b>65</b>    | <b>47</b>       | <b>152</b>   | <b>18</b> | <b>0</b>   | <b>0</b> | <b>170</b>   | <b>0</b> | <b>170</b>   |
| <b>DEBT</b>                                                           |              |                 |              |           |            |          | 0            |          | 0            |

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**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                                                       | FY2022    |           |            |           |          |          | 5-Year     |          | 6-Year     |
|---------------------------------------------------------------------------------------|-----------|-----------|------------|-----------|----------|----------|------------|----------|------------|
|                                                                                       | VOTED     | FY2023    | FY2024     | FY2025    | FY2026   | FY2027   | TOTAL      | FY2028   | TOTAL      |
| Replacement of Bolivar Pool & Bath House                                              |           |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL</b>                                                                          | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL DEBT</b>                                                                     | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL - RECREATION DEPARTMENT</b>                                                  | <b>65</b> | <b>47</b> | <b>152</b> | <b>18</b> | <b>0</b> | <b>0</b> | <b>170</b> | <b>0</b> | <b>170</b> |
| <b>ELDER AND HUMAN SERVICES</b>                                                       |           |           |            |           |          |          |            |          |            |
| <b>CASH CAPITAL</b>                                                                   |           |           |            |           |          |          |            |          |            |
| <b>VEHICLES</b>                                                                       |           |           |            |           |          |          |            |          |            |
| Available for use                                                                     |           |           |            |           |          |          | 0          |          | 0          |
| Van 2003 Ford Van M60231                                                              |           |           |            |           |          |          | 0          |          | 0          |
| Car 2003 Ford Crown Vic. M84442                                                       | 28        |           |            |           |          |          | 0          |          | 0          |
| Bus 2007 Ford Cut. Bus M79917                                                         |           |           |            |           |          |          | 0          |          | 0          |
| Bus 2012 Ford Econo Bus M85353                                                        |           |           |            |           |          |          | 0          |          | 0          |
| Bus 2016 Ford E450 Bus M95547                                                         |           |           |            |           |          |          | 0          |          | 0          |
| <b>EQUIPMENT</b>                                                                      |           |           |            |           |          |          | 0          |          | 0          |
| Emergency Generator                                                                   | 61        |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL - VEHICLES</b>                                                               | <b>89</b> | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>SPACE NEEDS</b>                                                                    |           |           |            |           |          |          |            |          |            |
| Senior Center Parking Lot Repairs (funded from free cash)                             |           |           |            |           |          |          | 0          |          | 0          |
| Replace Fencing at Senior Center                                                      |           |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL - SPACE NEEDS</b>                                                            | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL CASH CAPITAL</b>                                                             | <b>89</b> | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>DEBT</b>                                                                           |           |           |            |           |          |          |            |          |            |
| Replace 2 Buses                                                                       | D         |           |            | 0         | 0        |          | 0          |          | 0          |
|                                                                                       |           |           |            | 0         | 0        |          | 0          |          | 0          |
| <b>TOTAL - VEHICLES</b>                                                               | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>SPACE NEEDS</b>                                                                    |           |           |            |           |          |          |            |          |            |
| Renovate Senior Center at 500 Pleasant Street                                         |           |           |            |           |          |          | 0          |          | 0          |
| Senior Center Architect and Engineering Fees                                          | D         |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL - SPACE NEEDS</b>                                                            | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL DEBT</b>                                                                     | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL - COUNCIL ON AGING</b>                                                       | <b>89</b> | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>OTHER ELECTED OFFICIALS RESPONSIBILITY</b>                                         |           |           |            |           |          |          |            |          |            |
| <b>TOWN CLERK</b>                                                                     |           |           |            |           |          |          |            |          |            |
| <b>CASH CAPITAL</b>                                                                   |           |           |            |           |          |          |            |          |            |
| <b>TECHNOLOGY</b>                                                                     |           |           |            |           |          |          |            |          |            |
| Global Election Mgmt. System - software system (to be funded out of operating budget) |           |           |            |           |          |          | 0          |          | 0          |
| Electronic Vote Tabulators                                                            |           |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL - TECHNOLOGY</b>                                                             | <b>0</b>  | <b>0</b>  | <b>0</b>   |           |          |          | <b>0</b>   |          | <b>0</b>   |
| <b>EQUIPMENT</b>                                                                      |           |           |            |           |          |          |            |          |            |
| Voting Booths                                                                         |           |           |            |           |          |          | 0          |          | 0          |
| Office Furniture                                                                      |           |           |            |           |          |          | 0          |          | 0          |
| <b>TOTAL - EQUIPMENT</b>                                                              | <b>0</b>  | <b>0</b>  | <b>0</b>   |           |          |          | <b>0</b>   |          | <b>0</b>   |
| <b>TOTAL CASH CAPITAL</b>                                                             | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL - TOWN CLERK</b>                                                             | <b>0</b>  | <b>0</b>  | <b>0</b>   | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>ASSESSORS</b>                                                                      |           |           |            |           |          |          |            |          |            |
| <b>CASH CAPITAL</b>                                                                   |           |           |            |           |          |          |            |          |            |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                    | FY2022    |            |            |           |            |          | 5-Year     |          | 6-Year     |
|----------------------------------------------------|-----------|------------|------------|-----------|------------|----------|------------|----------|------------|
|                                                    | VOTED     | FY2023     | FY2024     | FY2025    | FY2026     | FY2027   | TOTAL      | FY2028   | TOTAL      |
| available for use                                  |           |            |            |           |            |          | 0          |          | 0          |
| available for use                                  |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- TECHNOLOGY</b>                           | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL CASH CAPITAL</b>                          | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL - ASSESSORS</b>                           | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>LIBRARY</b>                                     |           |            |            |           |            |          |            |          |            |
| <b>CASH CAPITAL</b>                                |           |            |            |           |            |          |            |          |            |
| <b>TECHNOLOGY</b>                                  |           |            |            |           |            |          |            |          |            |
| Digitization - Digital Books                       |           |            |            |           |            |          | 0          |          | 0          |
| Workstations - Other Peripheral Equipment          |           |            | 40         |           |            |          | 40         |          | 40         |
| Media & Presentation Equipment                     |           |            |            |           |            |          | 0          |          | 0          |
| Wireless Printing Services                         |           |            |            |           |            |          | 0          |          | 0          |
| Security Cameras                                   | 52        |            |            |           |            |          | 0          |          | 0          |
| Self Checkout Station                              |           |            |            |           |            |          | 0          |          | 0          |
| Software                                           |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- TECHNOLOGY</b>                           | <b>52</b> | <b>0</b>   | <b>40</b>  | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>40</b>  | <b>0</b> | <b>40</b>  |
| <b>EQUIPMENT</b>                                   |           |            |            |           |            |          |            |          |            |
| Furnishings                                        |           |            |            |           |            |          | 0          |          | 0          |
| Audio Visual Presentation System                   |           |            |            |           |            |          | 0          |          | 0          |
| Display Case                                       |           |            |            |           |            |          | 0          |          | 0          |
| Buildings & Grounds Equipment                      |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- EQUIPMENT</b>                            | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b> |           |            |            |           |            |          |            |          |            |
| Emergency Power Interface/Backup Generator         |           |            |            | 140       | 0          |          | 140        | 0        | 140        |
| Painting & Carpeting                               |           |            | 10         |           |            |          | 10         |          | 10         |
| Painting - Interior                                |           |            |            |           |            |          | 0          |          | 0          |
| Carpeting & Tile Replacement                       |           |            |            |           |            |          | 0          |          | 0          |
| Lighting Upgrades                                  |           |            |            |           |            |          | 0          |          | 0          |
| Landscaping                                        |           |            |            |           |            |          | 0          |          | 0          |
| Building Systems Replacement                       |           |            | 25         |           |            |          | 25         |          | 25         |
| HVAC Extraordinary Maintenance                     |           |            |            |           |            |          | 0          |          | 0          |
| Testing Air Chillers                               |           |            |            |           |            |          | 0          |          | 0          |
| Paving                                             |           |            | 100        |           |            |          | 100        |          | 100        |
| Roof Repairs                                       |           |            |            |           |            |          | 0          |          | 0          |
| Chiller Compressor Replacement                     |           | 45         |            |           |            |          | 0          |          | 0          |
| Extraordinary Maintenance/Water Sealing            |           |            | 17         | 15        |            |          | 32         |          | 32         |
| <b>TOTAL- BUILDINGS, ETC</b>                       | <b>0</b>  | <b>45</b>  | <b>152</b> | <b>15</b> | <b>140</b> | <b>0</b> | <b>307</b> | <b>0</b> | <b>307</b> |
| <b>SPACE NEEDS</b>                                 |           |            |            |           |            |          |            |          |            |
| Main Level Meeting/Study Rooms                     |           |            |            |           |            |          | 0          |          | 0          |
| Emergency Power Interface/Back-up Generator        |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- SPACE NEEDS</b>                          | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>TOTAL CASH CAPITAL</b>                          | <b>52</b> | <b>45</b>  | <b>192</b> | <b>15</b> | <b>140</b> | <b>0</b> | <b>347</b> | <b>0</b> | <b>347</b> |
| <b>DEBT</b>                                        |           |            |            |           |            |          |            |          |            |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b> |           |            |            |           |            |          |            |          |            |
| Rubber Roof Replacement                            |           | 228        |            |           |            |          | 228        |          | 228        |
| available for use                                  |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- SPACE NEEDS</b>                          | <b>0</b>  | <b>228</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>228</b> | <b>0</b> | <b>228</b> |
| <b>TOTAL DEBT</b>                                  | <b>0</b>  | <b>228</b> | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>228</b> | <b>0</b> | <b>228</b> |
| <b>TOTAL - LIBRARY</b>                             | <b>52</b> | <b>273</b> | <b>192</b> | <b>15</b> | <b>140</b> | <b>0</b> | <b>575</b> | <b>0</b> | <b>575</b> |
| <b>PLANNING BOARD</b>                              |           |            |            |           |            |          |            |          |            |
| <b>CASH CAPITAL</b>                                |           |            |            |           |            |          |            |          |            |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b> |           |            |            |           |            |          |            |          |            |
| available for use                                  |           |            |            |           |            |          | 0          |          | 0          |
| <b>TOTAL- BUILDINGS, ETC</b>                       | <b>0</b>  | <b>0</b>   | <b>0</b>   | <b>0</b>  | <b>0</b>   | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                               | FY2022<br>VOTED | FY2023 - FY2027 |        |        |        |        | 5-Year<br>TOTAL | FY2028 | 6-Year<br>TOTAL |
|---------------------------------------------------------------|-----------------|-----------------|--------|--------|--------|--------|-----------------|--------|-----------------|
|                                                               |                 | FY2023          | FY2024 | FY2025 | FY2026 | FY2027 |                 |        |                 |
| <b>TOTAL CASH CAPITAL</b>                                     | 0               | 0               | 0      | 0      | 0      | 0      | 0               | 0      |                 |
| <b>TOTAL - PLANNING BOARD</b>                                 | 0               | 0               | 0      | 0      | 0      | 0      | 0               | 0      |                 |
| <b>GRAND TOTAL - MUNICIPAL</b>                                | 3,731           | 3,148           | 7,606  | 3,139  | 5,907  | 36,529 | 55,972          | 55,756 |                 |
| <b>CASH CAPITAL REQUESTS</b>                                  | 2,437           | 1,077           | 1,686  | 1,249  | 1,222  | 319    | 5,431           | 5,215  |                 |
| <b>AVAILABLE CASH CAPITAL</b>                                 | 837             | 942             | 1,000  | 947    | 1,000  | 1,000  | 4,889           | 4,889  |                 |
| <b>AVAILABLE CASH RESERVES (FREE CASH AND OTHER RESERVES)</b> | 1,601           | 0               | 0      | 0      | 0      | 0      | 0               | 0      |                 |
| <b>GRAND TOTAL CASH CAPITAL</b>                               | 2,438           | 942             | 1,000  | 947    | 1,000  | 1,000  | 4,889           | 4,889  |                 |
| <b>EXCESS CASH CAPITAL REQUESTS - MUST EQUAL "0" BY FY</b>    | (0)             | 135             | 686    | 302    | 222    | (681)  | 542             | 326    |                 |
| <b>DEBT CAPITAL REQUESTS</b>                                  | 1,294           | 2,071           | 5,920  | 1,890  | 4,685  | 36,210 | 50,541          | 50,541 |                 |
| <b>AVAILABLE DEBT CAPITAL</b>                                 | 1,294           | 480             | 600    | 400    | 576    | 1,000  | 3,056           | 3,056  |                 |
| <b>PROPOSED PROP. 2 1/2 DEBT SERVICE EXCLUSION OVERRIDES</b>  | 0               | 0               | 0      | 0      | 0      | 0      | 0               | 0      |                 |
| <b>EXCESS DEBT CAPITAL REQUESTS - MUST EQUAL "0" BY FY</b>    | 0               | 1,591           | 5,320  | 1,490  | 4,109  | 35,210 | 47,720          | 47,720 |                 |
| <b>TOTAL CASH CAPITAL &amp; DEBT CAPITAL REQUESTS BY FY</b>   | 3,731           | 3,148           | 7,606  | 3,139  | 5,907  | 36,529 | 55,972          | 55,756 |                 |
|                                                               | 0               | 0               | 0      | 0      | 0      | 0      | 0               | 0      |                 |

**CITIZEN ARTICLES AND TOWNWIDE**

**BUILDING & GROUNDS REPAIRS/IMPROVEMENTS**

|                                                      |   |   |   |   |   |   |   |   |   |
|------------------------------------------------------|---|---|---|---|---|---|---|---|---|
| Hunter Lane Roadway Improvements                     |   |   |   |   |   |   | 0 |   | 0 |
| Blackman Road Sidewalk                               |   |   |   |   |   |   | 0 |   | 0 |
| Pleasant Circle Drainage                             |   |   |   |   |   |   | 0 |   | 0 |
| Ponkapoag School Exterior Renovations and Repainting |   |   |   |   |   |   | 0 |   | 0 |
| Sanitary Sewer Extension - Tracy Wood Road           |   |   |   |   |   |   | 0 |   | 0 |
| Sandblast and refinish soldier - Town Hall           |   |   |   |   |   |   | 0 |   | 0 |
| available for use                                    |   |   |   |   |   |   | 0 |   | 0 |
| available for use                                    |   |   |   |   |   |   | 0 |   | 0 |
| available for use                                    |   |   |   |   |   |   | 0 |   | 0 |
| available for use                                    |   |   |   |   |   |   | 0 |   | 0 |
| <b>Total - Building, etc</b>                         | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |
| <b>TOTAL - CITIZEN ARTICLES AND TOWNWIDE</b>         | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 | 0 |

**ENTERPRISE FUNDS**

**WATER ENTERPRISE FUND**

**WATER IMPROVEMENT PROJECTS**

|                                                                          |   |       |       |     |       |   |       |   |       |
|--------------------------------------------------------------------------|---|-------|-------|-----|-------|---|-------|---|-------|
| Water Towers/Tank - Maintenance                                          | D | 3,200 |       |     |       |   | 0     |   | 0     |
| Year 1 Water System Improv. - Design Main replace Various Streets        | D |       |       |     |       |   | 0     |   | 0     |
| Year 2 Water System Improv. - Const Design Main Various Streets          | D |       |       |     |       |   | 0     |   | 0     |
| Year 3 Water System Improv. - Const Design Main Various Streets          | D | 4,350 | 3,100 |     |       |   | 3,100 |   | 3,100 |
| Year 4 Water System Improv. - Const Design Main Various Streets          | D | 270   |       |     |       |   | 0     |   | 0     |
| Year 5 Water System Improv. - Const Design Main Various Streets          | D |       |       | 400 | 2,148 |   | 2,548 |   | 2,548 |
| Year 6 Water System Improvements - Randolph St. Tank                     | D |       |       |     |       |   | 0     |   | 0     |
| Year 7 Water System Improvements - Ponkapoag Area Pipe                   | D |       |       |     |       |   | 0     |   | 0     |
| Water System Improvements - Update 5 Year CIP                            | S |       | 80    |     |       |   | 80    |   | 80    |
| Comprehensive Water Resource Management Plan (Water Component)           | S |       |       |     |       |   | 0     |   | 0     |
| Repair to Neponset S. Water Treatment Facility - Replace Filtration Unit | D |       |       |     |       |   | 0     |   | 0     |
| MWRA Dedham St Valve - Repurpose Control Valve                           | D |       |       |     |       |   | 0     |   | 0     |
| <b>TOTAL - WATER IMPROVEMENT PROJECTS</b>                                |   | 7,820 | 3,180 | 400 | 2,148 | 0 | 5,728 | 0 | 5,728 |



**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                    |                                                            |          |   | FY2022       |              |            |              |          |          | 5-Year       |          |              | 6-Year |
|----------------------------------------------------|------------------------------------------------------------|----------|---|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|--------|
|                                                    |                                                            |          |   | VOTED        | FY2023       | FY2024     | FY2025       | FY2026   | FY2027   | TOTAL        | FY2028   | TOTAL        |        |
| Utility 4x4                                        | 2009 Ford F250                                             | # 4      | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2006 Ford F350                                             | # 42 / 7 | S |              |              |            |              |          |          | 0            |          | 0            |        |
|                                                    | Ford Sedan                                                 | #12      | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Trailer - Sign Board                               | 2013 WANCO Sign Board/Trailer                              | # 7      | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2012 Ford F350                                             | # 71     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2016 Ford Explorer                                         | # 9      | S | 32           |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2006 Ford F250                                             | # 39     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Dump                                               | 2010 International 7400                                    | # 20     | D |              |              |            |              |          |          | 0            |          | 0            |        |
| Utility 4x4                                        | 2005 Ford F550                                             | # 31     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Utility 4x4                                        | 2008 Ford F550                                             | # 34     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2012 Ford F350                                             | # 14     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Pickup                                             | 2012 Ford F550                                             | # 87     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Truck                                              | 2016 Freightliner Truck                                    | # 91     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| <b>TOTAL- VEHICLES</b>                             |                                                            |          |   | <b>32</b>    | <b>0</b>     | <b>0</b>   | <b>0</b>     | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |        |
| <b>EQUIPMENT</b>                                   |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
| Loader                                             | 2009 Cat 928h                                              | # 27     | D | 250          |              |            |              |          |          | 0            |          | 0            |        |
| Backhoe/Loader                                     | 2014 Cat 420                                               | # 29     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Backhoe/Loader                                     | 2003 JCB                                                   | # 32     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Compressor                                         | 2002 Atlas Copco                                           | # 38     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Tamper Wacker                                      | 1986 Tamper Wacker                                         | # 41     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Compressor                                         | 1995 Sul Air Compressor                                    | # 56     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Generator                                          | 1989 Homelite                                              | # 66     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Generator                                          | 1989 Honda                                                 | # 67     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Backhoe/Loader                                     | 2008 Cat 420eit                                            | # 69     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Loader                                             | 2008 CAT 928                                               | # 70     |   |              |              |            |              |          |          | 0            |          | 0            |        |
| Cargo Trailer                                      | Enclosed Cargo Trailer                                     |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Equipment Replacements                             |                                                            |          |   |              |              |            |              |          |          | 0            |          | 0            |        |
| One Ton Roller                                     | 2013 Wacker                                                | # 63     | S |              |              |            |              |          |          | 0            |          | 0            |        |
| Water Storage Containers (2)                       |                                                            |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
| <b>TOTAL- EQUIPMENT</b>                            |                                                            |          |   | <b>250</b>   | <b>0</b>     | <b>0</b>   | <b>0</b>     | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |        |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b> |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
|                                                    | Demolish Storage Buildings at Pine Street                  |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
|                                                    |                                                            |          |   |              |              |            |              |          |          | 0            |          | 0            |        |
| <b>TOTAL- BUILDINGS, ETC</b>                       |                                                            |          |   | <b>0</b>     | <b>0</b>     | <b>0</b>   | <b>0</b>     | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |        |
| <b>TECHNOLOGY</b>                                  |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
|                                                    | SCADA Upgrade                                              |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
|                                                    | Asset Management Software                                  |          | S | 40           |              |            |              |          |          | 0            |          | 0            |        |
|                                                    | Ciopier                                                    |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
|                                                    | Meter Readers - Handheld                                   |          | S |              |              |            |              |          |          | 0            |          | 0            |        |
| <b>TOTAL- TECHNOLOGY</b>                           |                                                            |          |   | <b>40</b>    | <b>0</b>     | <b>0</b>   | <b>0</b>     | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |        |
| <b>WATER ENTERPRISE ACCOUNT</b>                    |                                                            |          |   | <b>8,142</b> | <b>3,180</b> | <b>400</b> | <b>2,148</b> | <b>0</b> | <b>0</b> | <b>5,728</b> | <b>0</b> | <b>5,728</b> |        |
| <b>WATER ENTERPRISE ACCOUNT SUMMARY - FUNDING</b>  |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
|                                                    | <b>SURPLUS REVENUE</b>                                     |          | S | 72           | 80           | 0          | 0            | 0        | 0        | 80           | 0        | 80           |        |
|                                                    | <b>DEBT</b>                                                |          | D | 8,070        | 3,100        | 400        | 2,148        | 0        | 0        | 5,648        | 0        | 5,648        |        |
| <b>TOTAL - WATER ENTERPRISE ACCOUNT - FUNDING</b>  |                                                            |          |   | <b>8,142</b> | <b>3,180</b> | <b>400</b> | <b>2,148</b> | <b>0</b> | <b>0</b> | <b>5,728</b> | <b>0</b> | <b>5,728</b> |        |
| <b>SEWER ENTERPRISE FUND</b>                       |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
| <b>SEWER IMPROVEMENT PROJECTS</b>                  |                                                            |          |   |              |              |            |              |          |          |              |          |              |        |
|                                                    | Year 1 - FY 23 Infiltration - Inflow Project               |          | S |              | 300          |            |              |          |          | 300          |          | 300          |        |
|                                                    | Year 2 - FY 24 Infiltration - Inflow Project               |          | D | 0            |              | 1,700      |              |          |          | 1,700        |          | 1,700        |        |
|                                                    | Year 3 - FY 25 Infiltration - Inflow Project               |          | D |              |              |            | 1,200        |          |          | 1,200        |          | 1,200        |        |
|                                                    | Year 4 - FY 26 Infiltration - Inflow Project               |          | D |              |              |            |              | 1,200    |          | 1,200        |          | 1,200        |        |
|                                                    | Year 5 - FY 27 Infiltration - Inflow Project               |          | D |              |              |            |              |          | 1,200    | 0            |          | 1,200        |        |
|                                                    | Sewer System Extension - Palmer Street Area - A&E          |          | D |              |              |            |              |          | 350      | 0            |          | 350          |        |
|                                                    | Sewer System Extension - Palmer Street Area - Construction |          | D |              |              |            |              |          | 3,200    | 0            |          | 3,200        |        |
|                                                    | Sewer System Extension - Grand Street                      |          | D |              |              |            |              |          | 700      | 0            |          | 700          |        |
|                                                    | Sewer System Extension - Wayside Lane                      |          | D |              |              |            |              |          | 4,800    | 0            |          | 4,800        |        |
|                                                    | Sewer System Extension - Green Lodge Street                |          | D |              |              |            |              |          | 0        | 0            |          | 0            |        |
|                                                    | Sewer System Extension - Ledgewood Drive                   |          | D |              |              |            |              |          | 5,600    | 0            |          | 5,600        |        |
|                                                    | Sewer System Extension - York Street                       |          | D |              |              |            |              |          | 4,100    | 0            |          | 4,100        |        |
|                                                    | Sewer System Extension - Westdale Road                     |          | D |              |              |            |              |          | 1,500    | 0            |          | 1,500        |        |
|                                                    | Sewer System Extension - Glen Echo Pond - A&E              |          | D |              |              |            |              |          | 2,100    | 0            |          | 2,100        |        |
|                                                    | Sewer System Extension - Glen Echo Pond - Construction     |          | D |              |              |            |              |          | 12,500   | 0            |          | 12,500       |        |

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 6-YEAR PLAN FORM A MUNICIPAL  
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**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

|                                                                |                                              | FY2022<br>VOTED | FY2023     | FY2024     | FY2025       | FY2026       | FY2027       | 5-Year<br>TOTAL | FY2028        | 6-Year<br>TOTAL |               |
|----------------------------------------------------------------|----------------------------------------------|-----------------|------------|------------|--------------|--------------|--------------|-----------------|---------------|-----------------|---------------|
| Comprehensive Water Resource Management Plan (Sewer Component) |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Sewer Replacement - Estey Way                                  |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
|                                                                |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
|                                                                |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
|                                                                |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL - SEWER IMPROVEMENT PROJECTS</b>                      |                                              |                 | <b>0</b>   | <b>300</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>36,050</b>   | <b>40,450</b> | <b>0</b>        | <b>40,450</b> |
| <b>VEHICLES</b>                                                |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| Utility 4x4                                                    | 2008 Ford F550 # 36                          | S               |            |            |              |              |              | 0               |               | 0               |               |
| Utility 4x4                                                    | 2006 Ford F550 # 45                          | S               | 90         |            |              |              |              | 0               |               | 0               |               |
| Pickup                                                         | 2016 Ford Explorer # 9                       | S               | 32         |            |              |              |              | 0               |               | 0               |               |
| Utility 4x4                                                    | 2005 Ford F550 #31                           | S               |            | 115        |              |              |              | 115             |               | 115             |               |
| Utility 4x4                                                    | 2011 Ford F350 # 8                           | S               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- VEHICLES</b>                                         |                                              |                 | <b>122</b> | <b>115</b> | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>115</b>    | <b>0</b>        | <b>115</b>    |
| <b>EQUIPMENT</b>                                               |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| Flush Truck                                                    | 2008 International 7300 # 71                 | D               |            |            |              |              |              | 0               |               | 0               |               |
| TV Truck                                                       | 2001 Cues # 73                               | S               |            |            |              |              |              | 0               |               | 0               |               |
| Excavator                                                      | 2015 Cat 303.5E # 46                         | S               |            |            |              |              |              | 0               |               | 0               |               |
| Sewer Pump Station Generator - Forest Avenue                   |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Loader                                                         | 2008 CAT Loader # 72                         | S               | 220        |            |              |              |              | 0               |               | 0               |               |
| Equipment Replacements                                         |                                              |                 |            |            |              |              |              | 0               |               | 0               |               |
| Available for use                                              |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- EQUIPMENT</b>                                        |                                              |                 | <b>220</b> | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>TECHNOLOGY</b>                                              |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| Asset Management                                               |                                              | S               | 40         |            |              |              |              | 0               |               | 0               |               |
| Meter Replacement                                              |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- TECHNOLOGY</b>                                       |                                              |                 | <b>40</b>  | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>SEWER ENTERPRISE ACCOUNT</b>                                |                                              |                 | <b>382</b> | <b>415</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>36,050</b>   | <b>40,565</b> | <b>0</b>        | <b>40,565</b> |
| <b>SEWER ENTERPRISE ACCOUNT SUMMARY - FUNDING</b>              |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| <b>SURPLUS REVENUE</b>                                         |                                              |                 | <b>382</b> | <b>415</b> | <b>0</b>     | <b>0</b>     | <b>0</b>     |                 | <b>415</b>    |                 | <b>415</b>    |
| <b>DEBT</b>                                                    |                                              |                 | <b>0</b>   | <b>0</b>   | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> |                 | <b>4,100</b>  |                 | <b>4,100</b>  |
| <b>TOTAL - SEWER ENTERPRISE ACCOUNT - FUNDING</b>              |                                              |                 | <b>382</b> | <b>415</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>0</b>        | <b>4,515</b>  | <b>0</b>        | <b>4,515</b>  |
| <b>SKATING RINK ENTERPRISE ACCOUNT</b>                         |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b>             |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| Rehab Bleacher System                                          |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Roof Repairs/Replacement                                       |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
| Unit 2 Compressor & Glycol Tank Replacement                    |                                              | D               |            |            |              |              |              | 0               |               | 0               |               |
| Dehumidifier - replacement                                     |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Unit 2 Compressor - replacement                                |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Insulate Refrigeration Header                                  |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| Chiller/Compressor                                             |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- BUILDINGS, ETC</b>                                   |                                              |                 | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>VEHICLES</b>                                                |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| available for use                                              |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| available for use                                              |                                              | S               |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- VEHICLES</b>                                         |                                              |                 | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>EQUIPMENT</b>                                               |                                              |                 |            |            |              |              |              |                 |               |                 |               |
| Zamboni                                                        | Upgrade Back-up Zamboni                      | D               |            |            |              |              |              | 0               |               | 0               |               |
| Zamboni                                                        | Replace Main Zamboni                         | D               |            |            |              |              |              | 0               |               | 0               |               |
| Zamboni                                                        | Rehab Electric Zamboni                       | S               |            |            |              |              |              | 0               |               | 0               |               |
| Skate Sharpener                                                | Custom Radius Skate Sharpener                | S               |            |            |              |              |              | 0               |               | 0               |               |
| Zamboni                                                        | Ice Edger                                    |                 |            |            |              |              |              | 0               |               | 0               |               |
| Zamboni                                                        | Zamboni Electric Edges Start                 |                 |            |            |              |              |              | 0               |               | 0               |               |
| Zamboni                                                        | 1989 Zamboni Ice Resurfacer with Ice Machine |                 |            |            |              |              |              | 0               |               | 0               |               |
| Ice Resurfacer                                                 | 2008 Electric Ice Resurfacer                 |                 |            |            |              |              |              | 0               |               | 0               |               |
| <b>TOTAL- EQUIPMENT</b>                                        |                                              |                 | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>SKATING RINK ENTERPRISE ACCOUNT</b>                         |                                              |                 | <b>0</b>   | <b>0</b>   | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b>        | <b>0</b>      | <b>0</b>        | <b>0</b>      |
| <b>SKATING RINK ENTERPRISE ACCOUNT SUMMARY - FUNDING</b>       |                                              |                 |            |            |              |              |              |                 |               |                 |               |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

|                                                           | FY2022   |          |            |            |          |          | 5-Year     |          | 6-Year     |
|-----------------------------------------------------------|----------|----------|------------|------------|----------|----------|------------|----------|------------|
|                                                           | VOTED    | FY2023   | FY2024     | FY2025     | FY2026   | FY2027   | TOTAL      | FY2028   | TOTAL      |
| SURPLUS REVENUE                                           | 0        | 0        | 0          | 0          | 0        | 0        | 0          | 0        | 0          |
| DEBT                                                      | 0        | 0        | 0          | 0          | 0        | 0        | 0          | 0        | 0          |
| <b>TOTAL - SKATING ENTERPRISE ACCOUNT - FUNDING</b>       | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b>   | <b>0</b> | <b>0</b> | <b>0</b>   | <b>0</b> | <b>0</b>   |
| <b>OTHER SELF-SUPPORTED PROGRAMS</b>                      |          |          |            |            |          |          |            |          |            |
| <b>FIRE DEPARTMENT AMBULANCE FUND</b>                     |          |          |            |            |          |          |            |          |            |
| VEHICLES                                                  |          |          |            |            |          |          |            |          |            |
| Ambulance (A-1)                                           |          |          |            |            |          |          | 0          |          | 0          |
| Ambulance (A-2)                                           |          |          |            | 370        |          |          | 0          |          | 0          |
| Ambulance (A-3)                                           |          |          | 370        |            |          |          | 370        |          | 370        |
| Car 6 - EMS Supervisor                                    |          |          | 45         |            |          |          | 45         |          | 45         |
| Car-2                                                     |          |          |            |            |          |          | 0          |          | 0          |
| <b>TOTAL- VEHICLES</b>                                    | <b>0</b> | <b>0</b> | <b>415</b> | <b>370</b> | <b>0</b> | <b>0</b> | <b>785</b> | <b>0</b> | <b>785</b> |
| EQUIPMENT                                                 |          |          |            |            |          |          |            |          |            |
| Chest Compression System                                  |          |          |            |            |          |          | 0          |          | 0          |
| Defibrillators                                            |          |          | 30         | 25         |          |          | 55         |          | 55         |
| Lifepak 15 V2 Defibrillator                               |          |          |            |            |          |          | 0          |          | 0          |
| Purchase 2 Power Ambulance Cots                           |          |          |            |            |          |          | 0          |          | 0          |
| Terrain Vehicle                                           |          |          |            |            |          |          | 0          |          | 0          |
| Trailer                                                   |          |          |            |            |          |          | 0          |          | 0          |
| Opticom System - Police                                   |          |          |            |            |          |          | 0          |          | 0          |
| Purchase EMS Software                                     |          |          |            |            |          |          | 0          |          | 0          |
| <b>TOTAL- EQUIPMENT</b>                                   | <b>0</b> | <b>0</b> | <b>30</b>  | <b>25</b>  | <b>0</b> | <b>0</b> | <b>55</b>  | <b>0</b> | <b>55</b>  |
| <b>FIRE DEPARTMENT AMBULANCE FUND</b>                     | <b>0</b> | <b>0</b> | <b>445</b> | <b>395</b> | <b>0</b> | <b>0</b> | <b>840</b> | <b>0</b> | <b>840</b> |
| <b>FIRE DEPT SELF-SUPPORTED ACCOUNT SUMMARY - FUNDING</b> |          |          |            |            |          |          |            |          |            |
| SURPLUS REVENUE                                           | 0        | 0        | 445        | 395        | 0        | 0        | 840        | 0        | 840        |
| DEBT                                                      | 0        | 0        | 0          | 0          | 0        | 0        | 0          | 0        | 0          |
| <b>TOTAL - FIRE DEPT SELF-SUPPORTED ACCOUNT - FUNDING</b> | <b>0</b> | <b>0</b> | <b>445</b> | <b>395</b> | <b>0</b> | <b>0</b> | <b>840</b> | <b>0</b> | <b>840</b> |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
(000's omitted)

FY2022  
VOTED

FY2023    FY2024    FY2025    FY2026    FY2027

5-Year  
TOTAL

FY2028

6-Year  
TOTAL

**BUILDING DEPARTMENT**

**CASH CAPITAL**

| VEHICLES                        |                                    |        |   |   |    |   |   |    |    |   |
|---------------------------------|------------------------------------|--------|---|---|----|---|---|----|----|---|
| SUV                             | 2016 Ford Explorer                 | M79910 |   |   | 40 |   |   |    | 40 |   |
|                                 | <b>TOTAL - VEHICLES</b>            |        | 0 | 0 | 40 | 0 | 0 | 40 | 40 | 0 |
| TECHNOLOGY<br>available for use |                                    |        |   |   |    |   |   |    | 0  | 0 |
|                                 | <b>TOTAL - TECHNOLOGY</b>          |        | 0 | 0 | 0  | 0 | 0 | 0  | 0  | 0 |
|                                 | <b>TOTAL CASH CAPITAL</b>          |        | 0 | 0 | 40 | 0 | 0 | 40 | 40 | 0 |
|                                 | <b>TOTAL - BUILDING DEPARTMENT</b> |        | 0 | 0 | 40 | 0 | 0 | 40 | 40 | 0 |

**Jones, Ellen**

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**From:** Stock, Tamra  
**Sent:** Monday, November 8, 2021 2:56 PM  
**To:** Jones, Ellen  
**Cc:** Walsh, Ed  
**Subject:** FORM A BUILDING DEPARTMENT  
**Attachments:** CPC FY2023.pdf

Hi Ellen,

Ed has verified the spreadsheet is correct for the Building Department. I have also scanned and attached a copy for you to this email. Let us know if you have any questions

Thank you,  
Tamra

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

FY2022  
 VOTED

FY2023    FY2024    FY2025    FY2026    FY2027

5-Year  
 TOTAL

FY2028

6-Year  
 TOTAL

**CONSERVATION COMMISSION**

**CASH CAPITAL**

BUILDING & GROUNDS REPAIRS/IMPROVEMENTS

Vehicle  
 Vehicle 4WD Pickup  
 EQUIPMENT  
 Copier

TOTAL- BUILDINGS, ETC

TOTAL CASH CAPITAL

DEBT

BUILDING & GROUNDS REPAIRS/IMPROVEMENTS

TOTAL- BUILDINGS, ETC

TOTAL DEBT

TOTAL - CONSERVATION COMMISSION

|                                         | FY2022    | FY2023   | FY2024   | FY2025   | FY2026   | FY2027   | 5-Year TOTAL | FY2028   | 6-Year TOTAL |
|-----------------------------------------|-----------|----------|----------|----------|----------|----------|--------------|----------|--------------|
| BUILDING & GROUNDS REPAIRS/IMPROVEMENTS |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
| Vehicle                                 |           |          |          |          |          |          | 0            |          | 0            |
| Vehicle 4WD Pickup                      | 30        |          |          |          |          |          | 0            |          | 0            |
| EQUIPMENT                               |           |          |          |          |          |          | 0            |          | 0            |
| Copier                                  |           |          |          |          |          |          | 0            |          | 0            |
| <b>TOTAL- BUILDINGS, ETC</b>            | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>TOTAL CASH CAPITAL</b>               | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>DEBT</b>                             |           |          |          |          |          |          |              |          |              |
| BUILDING & GROUNDS REPAIRS/IMPROVEMENTS |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
|                                         |           |          |          |          |          |          | 0            |          | 0            |
| <b>TOTAL- BUILDINGS, ETC</b>            | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>TOTAL DEBT</b>                       | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |
| <b>TOTAL - CONSERVATION COMMISSION</b>  | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b>     | <b>0</b> | <b>0</b>     |

Changes to Form A? - ConCom

**Jones, Ellen**

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**From:** Milani, M. Regen  
**Sent:** Wednesday, September 29, 2021 12:00 PM  
**To:** Jones, Ellen; Scollins, William  
**Cc:** Choiniere, Steven; Joshua Cohen (joshua\_cohen@comcast.net); Milani, M. Regen  
**Subject:** RE: FY 2023 Capital Budget Requests  
**Attachments:** Conservation FY23 Form A.xls

Dear Randy and Ellen,

The Canton Conservation Commission has no capital requests for FY23. I have spoken to the director of facilities, copied here, and at this time we have nothing that we can think of that we need for the future so the attached form for now shows \$0 for FY23 and for the next five years.

There were several lines of items under Pequitside Farm and Conservation Commission that seem to have been placed there in the past. Please delete these space holders as they are no longer under consideration. I have placed lines through them in the screen shots below so you know what I am talking about.

Please let me know if you have any questions.

Thank you,  
Regen

**PEQUITSIDE FARM**

**CASH CAPITAL**

available for use

**TOTAL- VEHICLES**

~~Lawn Tractor - Replacement~~

available for use

**TOTAL- EQUIPMENT**

Repairs to Pequitside Farm – Main House  
 Roof Replacement – Carriage Barn  
 Roof Replacement – front entrance roof to Pequitside Farm  
 Roof Replacement – Horse Barn  
 Little Red House – Demolition

**TOTAL- BUILDINGS, ETC**

**TOTAL CASH CAPITAL**

|                                                    |           |          |          |          |          |          |
|----------------------------------------------------|-----------|----------|----------|----------|----------|----------|
| <b>TOTAL- BUILDINGS, ETC</b>                       | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
| <b>TOTAL CASH CAPITAL</b>                          | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
| <b>DEBT</b>                                        |           |          |          |          |          |          |
| <b>BUILDING &amp; GROUNDS REPAIRS/IMPROVEMENTS</b> |           |          |          |          |          |          |
| Major Repairs – Pequitside Bldgs.                  |           |          |          |          |          |          |
| Gridley School Roof Repairs                        |           |          |          |          |          |          |
| Structural Repairs                                 |           |          |          |          |          |          |
| Barn Renovations                                   |           |          |          |          | 0        |          |
| Pequitside Farm Parking Reconstruction             |           |          |          |          | 0        |          |
| <b>TOTAL- BUILDINGS, ETC</b>                       | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
| <b>TOTAL DEBT</b>                                  | <b>0</b>  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
| <b>TOTAL - CONSERVATION COMMISSION</b>             | <b>30</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

Regen Milani | Conservation Agent | Town of Canton, MA | 781.821.5035 ext. 1441

From: Jones, Ellen

Sent: Monday, September 13, 2021 2:42 PM

To: Nee, Stacy <snee@town.canton.ma.us>; Floyd, Carolyn <cfloyd@town.canton.ma.us>; Walsh, Ed <ewalsh@town.canton.ma.us>; Tynan, Diane <dtynan@town.canton.ma.us>; Choiniere, Steven <schoiniere@town.canton.ma.us>; Doody, Charles E. <CDOODY@town.canton.ma.us>; Reardon, Barbara <breardon@town.canton.ma.us>; Andrea Capone <acapone@ocln.org>; Berkowitz, Kenneth <KBERKOWITZ@town.canton.ma.us>; Francis, Elizabeth <efrancis@town.canton.ma.us>; Trotta, Michael <mtrotta@town.canton.ma.us>; Butters, Kathy <kbutters@town.canton.ma.us>; Aspinwall, Charles <caspinwall@town.canton.ma.us>; Kenney, Tracy <tkenney@town.canton.ma.us>; Smead, Laura <lsmead@town.canton.ma.us>; Knight, Arafat M. <aknight@town.canton.ma.us>; Folan, Derek



**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2023 and ending with 2028  
 (000's omitted)

FY2022  
 VOTED

FY2023   FY2024   FY2025   FY2026   FY2027

5-Year  
 TOTAL

FY2028

6-Year  
 TOTAL

**ELDER AND HUMAN SERVICES**

**CASH CAPITAL**

VEHICLES

|                         |                      |        |           |          |          |          |          |          |          |          |
|-------------------------|----------------------|--------|-----------|----------|----------|----------|----------|----------|----------|----------|
| Available for use       |                      |        |           |          |          |          |          | 0        |          | 0        |
| Van                     | 2003 Ford Van        | M60231 |           |          |          |          |          | 0        |          | 0        |
| Car                     | 2003 Ford Crown Vic. | M84442 | 28        |          |          |          |          | 0        |          | 0        |
| Bus                     | 2007 Ford Cut. Bus   | M79917 |           |          |          |          |          | 0        |          | 0        |
| Bus                     | 2012 Ford Econo Bus  | M85353 |           |          |          |          |          | 0        |          | 0        |
| Bus                     | 2016 Ford E450 Bus   | M95547 |           |          |          |          |          | 0        |          | 0        |
| EQUIPMENT               |                      |        |           |          |          |          |          | 0        |          | 0        |
| Emergency Generator     |                      |        | 61        |          |          |          |          | 0        |          | 0        |
| <b>TOTAL - VEHICLES</b> |                      |        | <b>89</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

SPACE NEEDS

|                                                           |  |  |          |          |          |          |          |          |          |          |
|-----------------------------------------------------------|--|--|----------|----------|----------|----------|----------|----------|----------|----------|
| Senior Center Parking Lot Repairs (funded from free cash) |  |  |          |          |          |          |          | 0        |          | 0        |
| Replace Fencing at Senior Center                          |  |  |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL - SPACE NEEDS</b>                                |  |  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

|                           |           |          |          |          |          |          |          |          |          |          |
|---------------------------|-----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <b>TOTAL CASH CAPITAL</b> | <b>89</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
|---------------------------|-----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|

**DEBT**

|                         |   |  |          |          |          |          |          |          |          |          |
|-------------------------|---|--|----------|----------|----------|----------|----------|----------|----------|----------|
| Replace 2 Buses         | D |  |          | 0        | 0        |          |          | 0        |          | 0        |
|                         |   |  |          | 0        | 0        |          |          | 0        |          | 0        |
| <b>TOTAL - VEHICLES</b> |   |  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

SPACE NEEDS

|                                               |   |  |          |          |          |          |          |          |          |          |
|-----------------------------------------------|---|--|----------|----------|----------|----------|----------|----------|----------|----------|
| Renovate Senior Center at 500 Pleasant Street | D |  |          |          |          |          |          | 0        |          | 0        |
| Senior Center Architect and Engineering Fees  |   |  |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL - SPACE NEEDS</b>                    |   |  | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

|                   |          |          |          |          |          |          |          |          |          |          |
|-------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <b>TOTAL DEBT</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
|-------------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|

|                                         |           |          |          |          |          |          |          |          |          |          |
|-----------------------------------------|-----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <b>TOTAL - ELDER AND HUMAN SERVICES</b> | <b>89</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |
|-----------------------------------------|-----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|

**Jones, Ellen**

---

**From:** Scollins, William  
**Sent:** Monday, November 15, 2021 8:30 AM  
**To:** Jones, Ellen  
**Subject:** FW: Capital Requests

FYI

**From:** Tynan, Diane  
**Sent:** Monday, November 15, 2021 8:27 AM  
**To:** Scollins, William <rscollins@town.canton.ma.us>  
**Subject:** RE: Capital Requests

Good Morning Randy,

I appreciate you reaching out to me! I am all set for this year.

I hope all is well with you.

*Diane Tynan*  
*Director, Department of Elder and Human Services*  
*500 Pleasant Street*  
*Canton, MA 02021*  
*Phone: 781-828-1323*  
*Fax: 781-830-9642*

**Check us out on Facebook!**  
<https://www.facebook.com/cantoncoa>


**From:** Scollins, William  
**Sent:** Sunday, November 14, 2021 5:16 PM  
**To:** Tynan, Diane <[dtynan@town.canton.ma.us](mailto:dtynan@town.canton.ma.us)>  
**Subject:** Capital Requests

Hi Diane,

The deadline to submit capital requests for the upcoming FY '23 budget cycle was November 8th. I'm just double checking to be sure that you did not intend to submit something?

Thank you, Randy

Randy Scollins | Finance Director CGA / Treasurer Collector | Town of Canton  
Treasurer | Revere & Son Heritage Trust Corporation  
O: 781-575-6612 | E: [rscollins@town.canton.ma.us](mailto:rscollins@town.canton.ma.us) | F: 781-575-6608

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <div style="display: inline-block; vertical-align: middle; text-align: center;"> <p><b>TOWN OF CANTON</b><br/> <b>FORM B - FISCAL 2023</b><br/> <b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p> </div>                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>DEPARTMENT:</b><br/>                 Public Works - <i>Water</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                | <p><b>SUBMITTED BY:</b><br/>                 Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>                 Water System Improvement Construction Contract 3</p>                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>                 \$3,100,000</p>                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>DESCRIPTION:</b><br/>                 Replace water mains, house service connections, hydrants and hydrant connections on Randolph Street, Randolph Terrace, Old Randolph Street, Bolivar Street.</p>                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>                 This request is for the construction of design work approved at ATM 2020. These improvements will replace undersized aged pipe to improve fire flow. Transfer house services and hydrants to larger mains to reduce system stress and maintenance needs. Connect Randolph Street Water Tank to the existing 16-inch water main on Randolph Street.</p>                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input checked="" type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/>                 Please rank this request out of your total requests for this year: (#1 as top priority)</p> <p style="text-align: center;">_____ 1 (#) OF _____ 2 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                       | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                                    |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023



November 4, 2021  
Kleinfelder Project No.: 20201065

Mr. Michael Trotta  
Superintendent of Public Works  
Town of Canton  
801 Washington Street  
Canton, MA 02021

**SUBJECT: Water Main Improvements Program, FY22 Opinion of Probable Construction Cost for Capital Request  
Contract 3 – Randolph Street / Bolivar Street**

Dear Mr. Trotta:

As described in the 2018 Water Master Plan, a 5-year capital improvement program (CIP) of water main improvements was recommended to improve fire flow at hydrants and replace aging water mains with frequent break history and/or that have outlived their estimated service life.

The first phase of the Program consisted of the design of approximately 22,900 linear feet of main improvements which was split into two contracts for bidding and construction. Contract 1, consisting of approximately 14,400 ft of improvements on Elm, Green Lodge, and Dedham streets is nearly complete. Contract 2 consists of approximately 8,500 ft and is in progress to be completed during FY21.

**SCOPE OF WATER MAIN IMPROVEMENTS – CONTRACT 3**

The next project of improvements in Canton’s Water Main CIP which is currently being designed will consist of Contract 3 – Randolph Street – Bolivar Street. The scope of this project has been revised from prior estimate (provided October 2020) based on additional records review and investigation for the design underway. These improvements will replace aged pipe that is undersized for fire flow requirements and improve service and reduce maintenance burden by transferring services to newer larger mains. Also, the installation of a new connection between the Randolph Street tank and 16-inch water main and the immediate local distribution system is included to increase fire flow west of the Randolph Street tank. A summary of the work is presented in Table 1 below.

Surface restoration will consist of permanent trench patch paving. Sidewalks, curbs, driveways and grass areas will be restored in-kind.

**Table 1: Summary of Water Main Improvements Contract 3**

| Location                                              | Proposed Scope                                                                                                                                                                                    |
|-------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Randolph Terrace                                      | Replacement of 875 ft of 6-inch water main with new 8-inch main.                                                                                                                                  |
| Randolph St from Washington St to past Westchester St | Abandonment of approximately 7,680 feet of old 6-inch water main by transferring water services and hydrant laterals from the 6-inch to existing newer lined 10 and 12-inch mains in Randolph St. |
| Old Randolph St                                       | Replacement of 1575 ft of 6-inch water main with new 8-inch main.                                                                                                                                 |
| Bolivar Street from Washington St to Bolivar Pond     | Abandonment of approximately 1,565 feet of old 6-inch water main by transferring water services and hydrant laterals from the 6-inch to existing newer lined 10 and 12-inch mains in Bolivar St.  |
| Randolph Street Tank                                  | Install new connection between Randolph Street Tank and local distribution system to improve hydraulics and fire flow.                                                                            |

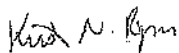
**CAPITAL BUDGET ESTIMATE**

We have developed the following Engineer's opinion of probable capital costs (OPCC) for FY22 Water Main Improvements Contract 3 based on the median unit prices for recent bids for Contract 2 and early preliminary estimated quantities. A 10% contingency is included because the design has just begun. We have assumed a construction duration of 25 weeks of active construction, utilizing one crew.


| Item                                    | Opinion of Probable Capital Cost |
|-----------------------------------------|----------------------------------|
| Water System Improvements               | \$ 1,347,700                     |
| Pavement / Surface Restoration          | \$ 720,000                       |
| Subtotal                                | \$ 2,067,700                     |
| 10% Contingency                         | \$ 206,770                       |
| Police Details                          | \$ 365,400                       |
| Construction Phase Engineering Services | \$ 450,300                       |
| <b>Total</b>                            | <b>\$ 3,090,170</b>              |

If you have any questions or need additional information, please don't hesitate to contact me.

Sincerely,  
**KLEINFELDER**



Kirsten Ryan  
 Senior Project Manager

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works - <i>Water</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Canton Water System Management and Capital Improvement Plan                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$80,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Update Canton Water System 5 year Capital Improvement Plan.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>In 2005 Canton Public Works developed and implemented a 5 year Capital Improvement Plan (CIP). Periodic updates have been made to the CIP, the latest in 2017/2018. By the end of 2022 most of the projects recommended in 2018 will have been completed. These projects improved fire flow, system reliability, and quality by replacing aged mains and reconnecting house services to newer water mains. Given those improvements, new residential and commercial development, the CIP planning model needs to be updated, the impacts to the water distribution system evaluated, prioritize a new 5 CIP for the water distribution system. |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                                                                                                          | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 2 (#) OF _____ 2 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023



November 1, 2021

**Mr. Michael Trotta, Director**  
**Department of Public Works**  
Town of Canton  
801 Washington Street  
Canton, MA 02021

**SUBJECT: Canton Water System Management and Capital Improvements Plan Update - Proposal**

Dear Mr. Trotta:

Kleinfelder has worked with the Town of Canton to develop and implement periodic Water System Management and Capital Improvement Plans for many years. The latest Plan was last updated in 2018 to develop a prioritized list of distribution system capital improvements. By the end of FY22, Canton will have completed construction on two contracts representing approximately 23,000 linear feet of water system improvements recommended by the Plan. A third contract recommended under the 2018 plan representing approximately 11,700 linear feet of system improvements is expected to be awarded for construction in summer of 2022. These projects improve fire flow and system reliability and quality by replacing aged and break-prone mains and by reconnecting services to newer water mains.

Since the 2018 Plan update, additional system records have become available and new developments in the Town have come online. Working with your Department during the course of Plan implementation we have discussed that an FY23 update of the water system model, coupled with records review and water main coupon testing would provide value to the Town in reprioritizing a new 5-year CIP for the distribution system. We are pleased to present this proposal.

#### **PROPOSED SCOPE OF SERVICES**

The purpose of this project is to update the Canton Water System Management and Capital Improvement Plan for the distribution system. Kleinfelder proposes to complete the following tasks:

##### **1. Water Demand Analysis**

- Assess current and future water demand and supply adequacy. Evaluate recent demand history (past 5 years) and trends for average day and maximum daily demand and changes in demand patterns. Assess planned and permitted significant development projects as identified by Town of Canton Planning Department.

## 2. Water system records review

- Work with the Town Water Superintendent and GIS Analyst to review, compile, and update water distribution system asset information from historic record plans, tie cards, recent upgrades and new developments and other documentation to update diameter, material, and year installed attributes.

## 3. Hydraulic Model updates and Distribution System Evaluation

- Make updates to the distribution system in the current model to reflect new development and water main replacement projects.
- Incorporate current pump curves with available data from recent well maintenance work and from the results of inspection and testing (by others).
- Develop modeling scenarios for the operational pumping sequences most frequently used by Canton. These operational scenarios will be modeled to determine their ability to maintain tank elevations and provide adequate pressure and fire flow to system customers.
- Perform up to 3 days of flow testing at recommended areas to update or verify asset C-factor data. Results will be used to recalibrate the existing hydraulic model, identify needs areas (based on fire flow and water age).
- Kleinfelder will refine demand allocations by account number based on billing data usage provided by Canton to Kleinfelder.
- Kleinfelder will analyze the water distribution system utilizing the updated hydraulic model. The hydraulic analysis will consist of evaluating the water system under projected future maximum day demands and monitoring pipeline headlosses, water storage tank level fluctuations, pump operation, and available fire flow. Utilizing the hydraulic model, improvement scenarios will be evaluated and prioritized based on providing the most cost-effective benefit to the water system.

## 4. Water Main Testing

Perform destructive testing on selected portions of main to confirm or refine CIP recommendations. Test will include a Ring Test in accordance with AWWA C106-75J to determine the Modulus of Rupture. This value will be compared to the similar value of the original pipe to determine loss of pipe strength. The Town will extract up to five (5) pipe samples for mechanical testing to estimate remaining pipe life.

## 5. Capital Improvements Program and Water Distribution System Master Plan Report

- Based on the results of Tasks 1 through 4, develop recommendations for water main improvements projects.
- Develop planning level budget estimates for construction and engineering for each of the recommendations and develop a prioritized phased 5-year schedule of distribution system improvements.
- Prepare a Draft Water Distribution System Master Plan / CIP Report. Kleinfelder will meet with Canton to review the Draft Plan and prepare a Final Plan based on one round of comments on the document.



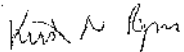
**FEE ESTIMATE**

We propose to complete the proposed scope of services for a fee not to exceed \$79,800 which represents approximately 560 hours of labor and testing expenses.

**SCHEDULE**


Kleinfelder would commence work immediately upon receipt of an executed copy of an Agreement and plan to complete work within 6 months.

Respectfully Yours,  
**KLEINFELDER**



Kirsten N. Ryan  
Senior Project Manager

cc: File

|                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p><b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DEPARTMENT:</b><br>Public Works - Sewer                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Year 1 Sewer I/I Rehab Project                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$300,000                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Design of Year 1 Sewer Inflow / Infiltration (I/I) Rehabilitation construction project.                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Sewer flow metering data was collected over a 10 week period, January - March 2021. Infiltration into the sewer system town wide is estimated a 2,000,000 gallons per day. Five Sewershed areas were identified as priorities for I/I rehab, i.e. they exceeded MA DEP limits of 4,000 gallons/inch diameter/mile/day. Reducing I/I saves operational cost by reducing sewerage flow to the MWRA.                     |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 1 (#) OF _____ 2 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input checked="" type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input checked="" type="checkbox"/> Will Fit \$5 - 100,000 /yr.<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$: _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$: _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$: _____                                                                                                                                                     |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |

**Trotta, Michael**

**From:** Courtney Eaton <CEaton@kleinfelder.com>  
**Sent:** Monday, November 01, 2021 4:12 PM  
**To:** Trotta, Michael  
**Cc:** Kirsten Ryan; David Peterson  
**Subject:** RE: Sewer Budget Request...

CAUTION: This email originated from outside your organization. Exercise caution when opening attachments or clicking links, especially from unknown senders.

Mike,

Just to be clear – we are not suggesting that the full \$8.3M would need to be spent. Using information that we learned through our Year 5 IWRP work, we assume that roughly 20% of the \$8.3M (or \$1.6 M) would need to be spent to address critical I/I pipe work. That was based on our review of the Town’s CCTV effort back in 2019 – roughly 20% of the pipes fell in the high priority category based on present defects. To be safe, we were estimating a range of \$1.5 - \$2M (engineering + construction) to address the I/I found through the 2020 flow Monitoring Study. Using the table we put into the letter sent last Friday, I am updating it to show the Budget est + timing to help clarify.

| Effort                                 | Budget Est.                 | Timing              |
|----------------------------------------|-----------------------------|---------------------|
| FY21 AM Review                         | \$250,000                   | Nov 2021 – May 2022 |
| SSES                                   | \$150,000                   | February – May 2022 |
| CIP Update                             |                             | June – July 2022    |
| Design of Sewer Rehab Project – Year 1 | \$250,000 - \$300,000       | Aug 2022 – Feb 2023 |
| Start of Construction – Year 1*        | \$1,250,000 - \$ 1, 700,000 | July 2024           |

*\*This could also be phased over 2 years as needed for budget considerations.*

Hopefully, this clarifies your question – if not, I am happy to discuss further with you.

Thanks!

**Courtney Eaton, PE, ENV SP**  
 m| 617.671.9245

**From:** Trotta, Michael <mtrotta@town.canton.ma.us>  
**Sent:** Monday, November 1, 2021 10:15 AM  
**To:** Courtney Eaton <CEaton@kleinfelder.com>  
**Cc:** Kirsten Ryan <KRyan@kleinfelder.com>; David Peterson <DTPeterson@kleinfelder.com>  
**Subject:** RE: Sewer Budget Request...

External Email

Courtney - Do you have a schedule or chart of when \$8.3 M would be spent



October 29, 2021  
Kleinfelder Project No.: 20212633.001A

**Mr. Michael Trotta**  
**Superintendent of Public Works**  
Town of Canton  
801 Washington Street  
Canton, MA 02021

**SUBJECT: Sewer System CIP Update / Targeted Sanitary Sewer Evaluation Survey (SSES)**

Dear Mr. Trotta:

As part of the October 2020, Canton Wastewater System Asset Management Plan, Kleinfelder identified infiltration and inflow within their sewer system as a high priority for the Town to investigate further. In that Plan, it was estimated that I/I flows could be as much as 50% of the overall sewer flows in the system on average.

To this end, Kleinfelder recommended a Flow Monitoring Study to hone in more specifically on sewersheds within the Town that had high rates of I/I. Based upon preliminary flow monitoring results, infiltration makes up 42% of the average dry weather flow, resulting in an annual cost of approximately \$1.9M paid to MWRA for transport and treatment (\$TT).

Using the results from this study, Kleinfelder completed a cost-effectiveness analysis (C/E/A) of the flow metering data obtained over the course of that study to estimate a budget recommendation for the next steps of the Town's sewer capital improvement program (CIP). The C/E/A compared the \$TT cost for infiltration flows against the cost of rehabilitation in high priority sections of the Town. The C/E/A methodology and results are summarized in more detail in Attachment 1 but recommendations for follow on work to identify specific sources of infiltration are provided herein. The recommended work should be completed in the following two phases:

- 1) Phase 1 Flow Isolation & CCTV video inspection – Spring 2022
- 2) Phase 2 Design of I/I Rehabilitation Recommendations – Fall - Spring 2023

This type of work targets infiltration sources only. These inspections, collectively, make up the Sanitary Sewer Evaluation Survey, or SSES.

There are no recommendations for FY23 budgeting that target inflow removal. In general, the Town does not have reported issues with chronic sewer backups, surcharging or sanitary sewer overflows. Further, the total volume of inflow over the course a year is typically far less than the volume of infiltration. Therefore, if the Town's objective is to save operational costs by reducing flow to the MWRA, the Town should prioritize infiltration removal over inflow removal.

As detailed herein, we recommend the Town budget for an SSES program that consists of the following work:

| Type                        | Quantity    | Unit Price    | Cost             | Target Timeframe |
|-----------------------------|-------------|---------------|------------------|------------------|
| Flow Isolation              | 88,200 feet | \$0.35 / foot | \$35,000         | Feb - Mar 2022   |
| CCTV                        | 20,000 ft   |               | \$80,000         | Mar – May 2022   |
| Engineering                 |             |               | \$35,000         | Feb – June 2022  |
| <b>SSES Budget for FY23</b> |             |               | <b>\$150,000</b> |                  |

This work should be targeted for the Spring of 2022 when the groundwater is elevated, and infiltration rates are seasonally high. Flow isolation, coupled with CCTV inspection, will narrow down the segments of sewer that are contributing infiltration to the system.

We understand the Town has authorized approximately \$700,000 for I/I related work; this SSES will further the Town’s efforts to identify specific sources of I/I; therefore, could be funded with this source. Additionally, we have also inquired with MWRA about potential funding for this effort as well; there is a high likelihood that they will be able to partially or fully fund this effort with monies set aside for Canton already. We will begin the application process immediately to be considered for their next round of funding.

At the conclusion of this SSES work, we will provide specific recommendations for rehabilitation and / or replacement within the 5 high priority I/I sub areas within the Town. These recommendations will also be coordinated and integrated with the FY21 Asset Management effort, which will focus on updates to the Town’s sewer CIP related to non-I/I rehabilitation priorities.

We estimate that construction cost of the I/I related rehabilitation could be on the order of \$1.5 to \$2M for engineering and construction. We suggest that the Town consider using the remaining allocated I/I funds (~\$550,000) to begin the design contract in FY23 with a plan to bid the work at the beginning of FY24. The design work would be on the order of \$250,000 - \$300,000. It is expected that the majority of this work can be funded through MWRA’s I/I fund for member communities; however, the Town will need to show that they have appropriate the funds for the full amount in advance.

A key outcome of both the recommended SSES study as well as the FY21 AM project will be to provide the Town with a detailed CIP for the next 3 – 5 years of sewer work.

| Effort                                 | Timing              |
|----------------------------------------|---------------------|
| FY21 AM Review                         | Nov 2021 – May 2022 |
| SSES                                   | February – May 2022 |
| CIP Update                             | June – July 2022    |
| Design of Sewer Rehab Project – Year 1 | Aug 2022 – Feb 2023 |
| Start of Construction – Year 1         | July 2024           |

Sincerely,

**KLEINFELDER**



Courtney L Eaton, PE, ENV SP  
Project Manager

cc: Kirsten Ryan, Kleinfelder  
File

ATTACMENT

Inflow / Infiltration (I/I) C/E/A Analysis & Findings



Table 2. C/E/A Analysis of Priority Sewersheds

| Metered Area | Pipe Material Distribution | Total Length (LF) | Pipe Percent Available to Rehab. | Infiltration (gpd) | gpd / idm | Annual Removable Infiltration (gal) | Total Construction Cost | T&T Cost (20 Years at 3% Annual Inflation) | T&T Cost (20 Years at 8% Annual Inflation) | Cost-Benefit Ratio (at 3% Annual Inflation) | Cost-Benefit Ratio (at 8% Annual Inflation) |
|--------------|----------------------------|-------------------|----------------------------------|--------------------|-----------|-------------------------------------|-------------------------|--------------------------------------------|--------------------------------------------|---------------------------------------------|---------------------------------------------|
| 4            | 52% AC                     | 22,580            | 18,064                           | 269,280            | 4,247     | 49,143,600                          | \$3,082,813             | \$3,123,513                                | \$5,319,543                                | 1.02                                        | 1.74                                        |
|              | 28% RC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
|              | 20% PVC                    |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
| 7            | 72% AC                     | 7,820             | 5,630                            | 48,960             | 4,132     | 8,935,200                           | \$361,125               | \$567,912                                  | \$967,190                                  | 1.57                                        | 2.68                                        |
|              | 28% PVC                    |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
|              | 53% AC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
| 16           | 28% PVC                    | 24,560            | 17,683                           | 252,000            | 4,014     | 45,990,000                          | \$2,563,313             | \$2,923,074                                | \$4,978,182                                | 1.14                                        | 1.94                                        |
|              | 18% RC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
|              | 45% AC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
| 18           | 32% VC                     | 15,520            | 11,950                           | 128,160            | 4,647     | 23,389,200                          | \$1,047,938             | \$1,486,592                                | \$2,531,761                                | 1.42                                        | 2.42                                        |
|              | 23% PVC                    |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
|              | 59% AC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
| 22           | 38% VC                     | 17,720            | 17,188                           | 164,160            | 5,714     | 29,969,200                          | \$1,221,750             | \$1,904,174                                | \$3,242,930                                | 1.56                                        | 2.65                                        |
|              | 3% PVC                     |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |
|              | <b>Totals:</b>             |                   |                                  |                    |           |                                     |                         |                                            |                                            |                                             |                                             |





## MEMORANDUM

TO: Michael Trotta, Chris Sykes, Jay Mello, Town of Canton DPW  
FROM: Jill Rossini, David Peterson, Kleinfelder  
CC: Courtney Eaton, Kirsten Ryan, Kleinfelder  
DATE : 10/25/2021  
SUBJECT: Inflow / Infiltration (I/I) C/E/A Analysis & Findings

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### 1.1 COST EFFECTIVENESS ANALYSIS METHODOLOGY

Using results from the 2021 Infiltration and Inflow (I/I) study, Kleinfelder analyzed the temporary flow metering data obtained from its subcontractor, EST Associates and partitioned the data into the following three components:

- 1) Dry weather sanitary flow
- 2) Dry weather infiltration
- 3) Wet weather inflow

Following standard practices contained in the *MassDEP I/I Guidelines, 2017*<sup>1</sup>, Kleinfelder identified those metered sewersheds that have an excessive rate of infiltration, defined as greater than 4,000 gallons per day per inch-mile (gpd/in-mi) of sewer inventory.

Subsequently, Kleinfelder estimated the cost-effectiveness of rehabilitating sewers within those sewersheds with excessive infiltration. This analysis is referred to as the cost-effectiveness analysis or C/E/A.

The C/E/A compares the cost of rehabilitating sewers (\$R) versus the cost of doing nothing and continuing to send infiltration flows to MWRA for transportation and treatment at Deer Island (\$TT). The ratio of these two costs (\$TT/\$R) was then calculated. If the ratio is greater than 1, then the cost to continue to send flow to MWRA is more expensive than removing the infiltration, and as such, it is cost-effective to rehabilitate the sewer and attempt to remove the infiltration.

The C/E/A analysis derived data from the following sources and assumptions:

*MWRA Transportation and Treatment Costs (\$TT)*

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<sup>1</sup> Massachusetts Department of Environmental Protection, "Guidelines for Performing Infiltration/Inflow Analyses and Sewer System Evaluation Surveys," May 2017.



- 1) MWRA annual assessment costs were provided verbally by the Town for FY18, FY19, and FY20
- 2) Annual average daily flows were obtained from MWRA records
- 3) Based on the MWRA assessment formula, only 51.1% of the assessment would be affected by the Town's efforts to reduce infiltration. Therefore, the *effective* transportation and treatment unit cost used for the C/E/A is \$0.0024/gallon.

#### *Sewer Rehabilitation Cost (\$R)*

The method for estimating sewer rehabilitation costs is high level at this stage of planning. The data from temporary flow metering only indicates if there is elevated infiltration and/or inflow from a particular sewershed, but it does not provide sufficient information to understand what specific sewer assets (pipes, manholes) are sources of infiltration and/or inflow. For the purposes of the C/E/A the following assumptions are used:

- 1) Sewer rehabilitation method assumed as cured-in-place pipelining (CIPP), which was also the basis of estimate rehabilitation costs. A construction contingency of 35% and an engineering services allowance of 25% were assumed on top of the base rehabilitation cost estimated.
- 2) We assumed only a percentage of the sewershed requires rehabilitation. For this analysis, we assumed all PVC pipe will not require rehabilitation but the remainder of pipe types will. This assumption would be refined after a Sanitary Sewer Evaluation Survey (SSES).
- 3) We also assumed only 50% of the documented infiltration will successfully be removed. This is based on engineering judgment, past experience and an understanding that infiltration and inflow tends to find its way into the sewer system, even with rehabilitation programs in place.

## 1.2 FINDINGS

Kleinfelder analyzed flow metering data collected over the 10-week data collection period. The infiltration entering the collection town-wide was estimated to be approximately 2 million gallons per day. This rate of infiltration compares well with estimates developed by the MWRA.

For each sewershed, the infiltration rate (gpd/in-mile) was calculated and 5 of the 28 sewersheds were found to exceed 4,000 gpd/in-mile. Infiltration results are tabulated below:




**Table 1. Priority Sewersheds based on Infiltration Rate Measured**

| Rank | Metered Area | gpd / idm |
|------|--------------|-----------|
| 1    | 22           | 5,714     |
| 2    | 18           | 4,647     |
| 3    | 4            | 4,247     |
| 4    | 7            | 4,132     |
| 5    | 16           | 4,014     |

The 5 sewersheds with infiltration rates exceeding 4,000 gpd/in-mile were analyzed using the C/E/A methodology described. Based on the results of the C/E/A analysis, Kleinfelder found that it is likely cost-effective to pursue infiltration removal from all 5 sewersheds. This should be confirmed with a detailed SSES performed in all sewersheds noted in Table 2.

### 1.3 RECOMMENDATION

Based on the C/E/A analysis, Kleinfelder recommends pursuing infiltration removal in the top 5 sewersheds that are calculated to have a favorable cost-benefit to removal infiltration through sewer rehabilitation. The next step would be to complete an SSES in the target sewershed areas to identify specific sources of infiltration and update the C/E/A as well as the Town's sewer Capital Improvement Plan (CIP) with the specific defects identified.

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works - Sewer                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Truck 31                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$115,000                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Replace Truck No. 31 a 2005 Ford F-550 Utility Body Pick-up with a new or current model year Ford Super Duty F-550 4WD truck equipped with a Utility Body and 9 foot snow plow assembly.                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Truck No. 31 is the Sewer Division working Foreman's everyday vehicle. It is used to carry tools, equipment, supplies to the job site. It is 15 years old with 100,000 plus miles of use. The recommended replacement cycle for this type of public works vehicle is 8 years / 100,000 miles.                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 2 (#) OF _____ 2 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023



# Estimate

Date: 11/3/2021  
 Estimate# CPWD11032021  
 Customer ID:

To: Canton Public Works Department  
 Attn: William Walsh  
 801 Washington Street  
 Canton, MA 02021

TRUCK 31  
 Salesperson: Paul G King  
 508-918-2210

GBPC/BAPER Contract

| Qty | Item # | Description                                                                                                                                                                                                                                                                                                                                                                                                                                                 | Unit Price | Line Total   |
|-----|--------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|--------------|
|     |        | 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA                                                                                                                                                                                                                                                                                                                                                                                          |            | \$ 39,002.00 |
|     | W6     | EXTERIOR COLOR: Gem Green - VSO SPECIAL PAINT                                                                                                                                                                                                                                                                                                                                                                                                               | \$ 660.00  | \$ 640.20    |
|     | 99N    | Engine: 7.3L 2V DEVCT NA PFI V8 Gas (STD)                                                                                                                                                                                                                                                                                                                                                                                                                   |            | \$ -         |
|     | 44G    | Transmission: TorqShift 10-Speed Automatic-inc: neutral idle and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery                                                                                                                                                                                                                                                                                                                 |            | \$ -         |
|     | 660A   | OPTION PACKAGE: Order Code 660A                                                                                                                                                                                                                                                                                                                                                                                                                             |            | \$ -         |
|     |        | Gross Vehicle Weight Rating - 19,000 Lbs                                                                                                                                                                                                                                                                                                                                                                                                                    |            | \$ -         |
|     |        | Gross Combined Weight Rating - 28,000 Lbs                                                                                                                                                                                                                                                                                                                                                                                                                   |            | \$ -         |
|     | AS     | Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat-inc: center armrest, cupholder and driver's side manual lumbar                                                                                                                                                                                                                                                                                                                                        |            | \$ -         |
|     | TGM    | Tires: 225/70Rx19.5G BSW Traction-inc: 4 traction tires on the rear and 2 A/P tires on the front                                                                                                                                                                                                                                                                                                                                                            | \$ 190.00  | \$ 184.30    |
|     | 8XL    | Limited Slip w/4.88 Axle Ratio                                                                                                                                                                                                                                                                                                                                                                                                                              | \$ 360.00  | \$ 349.20    |
|     | 90L    | Power Equipment Group-inc: Deletes passenger side lock cylinder, upgraded door-trim panel, Accessory Delay, Advanced Security Pack, SecurILock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, MyKey, owner controls feature, Power Locks, Manual Telescoping Folding Trailer Tow Mirrors, power/heated glass and heated convex spotter mirror, Remote Keyless Entry, Power Front Side Windows, 1-touch up/down driver/passenger window | \$ 915.00  | \$ 887.55    |
|     | 63A    | Utility Lighting System-inc: LED side-mirror spotlights                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 160.00  | \$ 155.20    |
|     | 473    | Snow Plow Prep Package-inc: pre-selected springs                                                                                                                                                                                                                                                                                                                                                                                                            | \$ 250.00  | \$ 242.50    |
|     | 67B    | 397 Amp Alternator                                                                                                                                                                                                                                                                                                                                                                                                                                          | \$ 115.00  | \$ 111.55    |
|     | 86M    | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                                                                                                          | \$ 210.00  | \$ 203.70    |
|     | 52B    | Trailer Brake Controller-inc: smart trailer tow connector, Verified to be compatible w/electronic actuated drum brakes only                                                                                                                                                                                                                                                                                                                                 | \$ 270.00  | \$ 261.90    |
|     | 62R    | Transmission Power Take-Off Provision-inc: transmission mounted live drive and stationary mode PTO                                                                                                                                                                                                                                                                                                                                                          | \$ 280.00  | \$ 271.60    |
|     | 66U    | GVWR: 19,000 lbs Payload Upgrade Package -inc: upgraded frame and upgraded rear-axle                                                                                                                                                                                                                                                                                                                                                                        | \$ 850.00  | \$ 824.50    |
|     | 18B    | Platform Running Boards                                                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 320.00  | \$ 310.40    |
|     | 512    | Spare Tire, Wheel & Jack                                                                                                                                                                                                                                                                                                                                                                                                                                    | \$ 350.00  | \$ 339.50    |
|     | 61L    | Front Wheel Well Liners                                                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 180.00  | \$ 174.60    |

|     |                                                                                                                                                                                                                                      |           |           |
|-----|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------|-----------|
| 872 | Rear View Camera & Prep Kit-inc: Pre-installed content includes cab wiring and frame wiring to the rear most cross member, Upfitters kit includes camera w/mounting bracket, 20' jumper wire and camera mounting/aiming instructions | \$ 415.00 | \$ 402.55 |
|     | REMAINING STANDARD EQUIPMENT AS SHOWN IN CHROME DATA REPORT                                                                                                                                                                          | \$        | -         |
|     | THE FOLLOWING EQUIPMENT TO BE INSTALLED BY J C MADIGAN                                                                                                                                                                               | \$        | -         |
|     | 9 FT. KNAPHEIDE UTILITY BODY MODEL KUVcc WITH A 72" ROOF HEIGHT INSTALLED ON A SUPPLIED CHASSIS UNDERCOATED AND PAINTED BLACK WITH THE FOLLOWING ITEMS.                                                                              | \$        | 54,862.50 |
|     | POLY/STAINLESS STEEL ROTARY PADDLE HANDLES                                                                                                                                                                                           | \$        | -         |
|     | TWO (2) SIX (6) DRAW C-TECH ALUMINUM DRAW SYSTEMS                                                                                                                                                                                    | \$        | -         |
|     | STANDARD SHELF PACKAGE W/ DIVIDERS                                                                                                                                                                                                   | \$        | -         |
|     | LED INTERIOR COMPARTMENT LIGHTING                                                                                                                                                                                                    | \$        | -         |
|     | 1300lb G-2 SERIES TOMMYGATE LIFTGATE MODEL G2-60-1342 BG27 W/ STEEL BAR GRATE PLATFORM                                                                                                                                               | \$        | -         |
|     | BACK-UP ALARM - MUDFLAPS - LED LIGHTING                                                                                                                                                                                              | \$        | -         |
|     | FLUSH MOUNTED LED ST/TL WIRED FLASHERS                                                                                                                                                                                               | \$        | -         |
|     | SPLIT REAR MASTERLOCKS DOORS                                                                                                                                                                                                         | \$        | -         |
|     | HYDRAULIC TOOL CIRCUIT W/ (2) LINE CABINET MTD. HOSE REEL                                                                                                                                                                            | \$        | -         |
|     | 3000 WATT THOR INVERTER W/ (1) 12v BATTERY                                                                                                                                                                                           | \$        | -         |
|     | RHINO LINER APPLIED TO BED, CABINET TOPS, AND BUMPER                                                                                                                                                                                 | \$        | -         |
|     | E-TRACK ONE (1) ROW ON CARGO AREA WALLS                                                                                                                                                                                              | \$        | -         |
|     | 2" RECEIVER W/ 7 SPADE RV PLUG & ELECTRIC BRAKES WIRED IN                                                                                                                                                                            | \$        | -         |
|     | WIRE IN FACTORY OEM CAMERA SYSTEM                                                                                                                                                                                                    | \$        | -         |
|     | 9' EVEREST RL SERIES SNOW PLOW ASSEMBLY INSTALLED W/ JOY STICK CONTROLS, FISHER HEADGEAR, CUTTING EDGE, PLOW LIGHTS AND GUIDEPOLES                                                                                                   | \$        | 13,770.00 |
|     | Code 3 Mega Thin LED Single or Multi-color Pair ULT6-AA, Amber LED Lights Mounted on Grille                                                                                                                                          | \$        | 350.00    |
|     | Acari Low Profile Mounting Platform                                                                                                                                                                                                  | \$        | 273.50    |
|     | ECCO Reflex Mini Lightbar Amber LED/CLEAR Lens P/N 5590CA                                                                                                                                                                            | \$        | 402.38    |
|     | Two (2) Code 3 Micropak Amber LED Lights - One Mounted Above Each Rear Wheel on the Body                                                                                                                                             | \$        | 164.58    |
|     | Two (2) Code 3 M180S Amber LED Lights - Mounted on Rear of Utility Body Above S/T/T Lights                                                                                                                                           | \$        | 430.06    |
|     | 2 Piece Ventshades                                                                                                                                                                                                                   | \$        | 101.00    |
|     | Weathertech Floorliners                                                                                                                                                                                                              | \$        | 150.00    |
|     |                                                                                                                                                                                                                                      | \$        | -         |
|     |                                                                                                                                                                                                                                      | \$        | -         |
|     | PLEASE NOTE THAT PRICING IS BASED ON CURRENT CONTRACT PRICING THAT EXPIRES 9-30-22, VEHICLE MUST BE ORDERED PRIOR TO THIS DATE OR PRICING MY CHANGE                                                                                  | \$        | -         |
|     |                                                                                                                                                                                                                                      | \$        | -         |

**Special Instructions:**

Custom or Special Orders are Non-Refundable  
This Estimate is for Budgetary Purposes and is Not a Guarantee of Cost for Services.  
Estimate is Based on Current Information From Client About the Project Requirements  
Actual Cost May Change Once Project Elements are Finalized

|                  |              |
|------------------|--------------|
| Vehicle Subtotal |              |
| Upfit Subtotal   |              |
| Grand Total      | \$114,865.37 |

**McGovern Municipal 1200 Worcester Road, Framingham MA 01702**

11/7/21, 2:37 PM

Ram-KUV-129-SU-7-1024x683.jpg (1024x683)





11/7/21, 2:38 PM

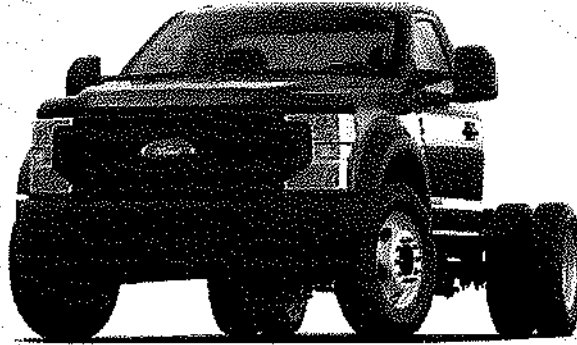
Ram-KUV-129-SU-14-1024x683.jpg (1024x683)



**CHROMEDATA**  
An Autodata Solutions Brand

## CANTON PUBLIC WORKS - TRUCK 31

Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA





Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (  Complete )

### Weight Ratings

#### WEIGHT RATINGS

|                                 |              |
|---------------------------------|--------------|
| Front Gross Axle Weight Rating: | 7000 lbs     |
| Rear Gross Axle Weight Rating:  | 14706 lbs    |
| Gross Vehicle Weight Rating:    | 19500.00 lbs |

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 15075, Data updated Nov 2, 2021 1:04:00 PM PDT



Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (✓ Complete )

## Technical Specifications

### Chassis

#### Weight Information

|                              |              |                               |              |
|------------------------------|--------------|-------------------------------|--------------|
| Standard Weight - Front      | 0.00 lbs     | Standard Weight - Rear        | 0.00 lbs     |
| Base Curb Weight             | 7047 lbs     | Gross Axle Wt Rating - Front  | 7000 lbs     |
| Gross Axle Wt Rating - Rear  | 14706 lbs    | Curb Weight - Front           | 4066 lbs     |
| Curb Weight - Rear           | 2980 lbs     | Option Weight - Front         | 50.00 lbs    |
| Option Weight - Rear         | 105.00 lbs   | Reserve Axle Capacity - Front | 2884.00 lbs  |
| Reserve Axle Capacity - Rear | 11621.00 lbs | As Spec'd Curb Weight         | 7201.00 lbs  |
| As Spec'd Payload            | 12299.00 lbs | Maximum Payload Capacity      | 12454.00 lbs |
| Gross Combined Wt Rating     | 28000 lbs    | Gross Axle Weight Rating      | 21706.00 lbs |
| Curb Weight                  | 7046.00 lbs  | Reserve Axle Capacity         | 14505.00 lbs |
| Total Option Weight          | 155.00 lbs   | Payload Weight Front          | 0 lbs        |
| Payload Weight Rear          | 0 lbs        | Gross Vehicle Weight Rating   | 19500.00 lbs |

#### Trailer

|                                         |           |                                        |          |
|-----------------------------------------|-----------|----------------------------------------|----------|
| Dead Weight Hitch - Max Trailer Wt.     | 5000 lbs  | Dead Weight Hitch - Max Tongue Wt.     | 500 lbs  |
| Wt Distributing Hitch - Max Trailer Wt. | 18340 lbs | Wt Distributing Hitch - Max Tongue Wt. | 1834 lbs |
| Fifth Wheel Hitch - Max Trailer Wt.     | 19800 lbs | Fifth Wheel Hitch - Max Tongue Wt.     | 4950 lbs |
| Maximum Trailering Capacity             | 18340 lbs |                                        |          |

#### Frame

|                 |     |                         |     |
|-----------------|-----|-------------------------|-----|
| Frame Type      | N/A | Sect Modulus Rails Only | N/A |
| Frame RBM       | N/A | Frame Strength          | N/A |
| Frame Thickness | N/A |                         |     |

#### Suspension

|                                 |                 |                                |            |
|---------------------------------|-----------------|--------------------------------|------------|
| Suspension Type - Front         | Other           | Suspension Type - Rear         | Leaf       |
| Spring Capacity - Front         | 7000 lbs        | Spring Capacity - Rear         | 15000 lbs  |
| Axle Type - Front               | Non-Independent | Axle Type - Rear               | Rigid Axle |
| Axle Capacity - Front           | 7000 lbs        | Axle Capacity - Rear           | 14706 lbs  |
| Axle Ratio (:1) - Front         | 4.88            | Axle Ratio (:1) - Rear         | 4.88       |
| Shock Absorber Diameter - Front | N/A             | Shock Absorber Diameter - Rear | N/A        |

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 15075, Data updated Nov 2, 2021 1:04:00 PM PDT



Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( Complete )

**Chassis**

**Suspension**

|                                 |     |                                |     |
|---------------------------------|-----|--------------------------------|-----|
| Stabilizer Bar Diameter - Front | N/A | Stabilizer Bar Diameter - Rear | N/A |
|---------------------------------|-----|--------------------------------|-----|

**Tires**

|                                  |                |                                   |                |
|----------------------------------|----------------|-----------------------------------|----------------|
| Front Tire Order Code            | TGM            | Rear Tire Order Code              | TGM            |
| Spare Tire Order Code            | 512            | Front Tire Size                   | LT225/70SR19.5 |
| Rear Tire Size                   | LT225/70SR19.5 | Spare Tire Size                   | Full-Size      |
| Front Tire Capacity              | 7500 lbs       | Rear Tire Capacity                | 15000 lbs      |
| Spare Tire Capacity              | N/A            | Revolutions/Mile @ 45 mph - Front | 647            |
| Revolutions/Mile @ 45 mph - Rear | 645            | Revolutions/Mile @ 45 mph - Spare | N/A            |

**Wheels**

|                     |              |                      |             |
|---------------------|--------------|----------------------|-------------|
| Front Wheel Size    | 19.5 X 6 in  | Rear Wheel Size      | 19.5 X 6 in |
| Spare Wheel Size    | Full-Size in | Front Wheel Material | Steel       |
| Rear Wheel Material | Steel        | Spare Wheel Material | Steel       |

**Steering**

|                                 |                     |                                 |     |
|---------------------------------|---------------------|---------------------------------|-----|
| Steering Type                   | Re-Circulating Ball | Steering Ratio (:1), Overall    | N/A |
| Steering Ratio (:1), On Center  | N/A                 | Steering Ratio (:1), At Lock    | N/A |
| Turning Diameter - Curb to Curb | 48.6 ft             | Turning Diameter - Wall to Wall | N/A |

**Brakes**

|                                   |              |                                    |         |
|-----------------------------------|--------------|------------------------------------|---------|
| Brake Type                        | 4-Wheel Disc | Brake ABS System                   | 4-Wheel |
| Brake ABS System (Second Line)    | 4-Wheel      | Disc - Front (Yes or )             | Yes     |
| Disc - Rear (Yes or )             | Yes          | Front Brake Rotor Diam x Thickness | 15.4 in |
| Rear Brake Rotor Diam x Thickness | 15.7 in      | Drum - Rear (Yes or )              | N/A     |
| Rear Drum Diam x Width            | N/A          |                                    |         |

**Fuel Tank**

|                            |        |                                |     |
|----------------------------|--------|--------------------------------|-----|
| Fuel Tank Capacity, Approx | 40 gal | Aux Fuel Tank Capacity, Approx | N/A |
| Fuel Tank Location         | N/A    | Aux Fuel Tank Location         | N/A |

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (✓ Complete)

## Vehicle

### Emissions

|                                        |     |                          |     |
|----------------------------------------|-----|--------------------------|-----|
| Tons/yr of CO2 Emissions @ 15K mi/year | N/A | EPA Greenhouse Gas Score | N/A |
|----------------------------------------|-----|--------------------------|-----|

### Powertrain

#### Transmission

|                                     |                  |                                    |                |
|-------------------------------------|------------------|------------------------------------|----------------|
| Drivetrain                          | Four Wheel Drive | Trans Order Code                   | 44G            |
| Trans Type                          | 10               | Trans Description Cont.            | Automatic w/OD |
| Trans Description Cont. Again       | N/A              | First Gear Ratio (:1)              | 4.70           |
| Second Gear Ratio (:1)              | 2.98             | Third Gear Ratio (:1)              | 2.15           |
| Fourth Gear Ratio (:1)              | 1.77             | Fifth Gear Ratio (:1)              | 1.52           |
| Sixth Gear Ratio (:1)               | 1.27             | Reverse Ratio (:1)                 | 4.87           |
| Clutch Size                         | N/A              | Trans Power Take Off               | Yes            |
| Final Drive Axle Ratio (:1)         | N/A              | Transfer Case Model                | Electronic     |
| Transfer Case Gear Ratio (:1), High | N/A              | Transfer Case Gear Ratio (:1), Low | N/A            |
| Transfer Case Power Take Off        | Yes              | Seventh Gear Ratio (:1)            | 1.00           |
| Eighth Gear Ratio (:1)              | 0.85             | Ninth Gear Ratio (:1)              | N/A            |
| Tenth Gear Ratio (:1)               | N/A              |                                    |                |

#### Mileage

|                             |     |                           |     |
|-----------------------------|-----|---------------------------|-----|
| EPA Fuel Economy Est - Hwy  | N/A | Cruising Range - City     | N/A |
| EPA Fuel Economy Est - City | N/A | Fuel Economy Est-Combined | N/A |
| Cruising Range - Hwy        | N/A |                           |     |

#### Engine

|                          |            |                      |                      |
|--------------------------|------------|----------------------|----------------------|
| Engine Order Code        | 99N        | Engine Type          | Regular Unleaded V-8 |
| Displacement             | 7.3 L/445  | Fuel System          | Sequential MPI       |
| SAE Net Horsepower @ RPM | 350 @ 3900 | SAE Net Torque @ RPM | 468 @ 3900           |
| Engine Oil Cooler        | None       |                      |                      |

#### Electrical

|                                     |     |                                    |     |
|-------------------------------------|-----|------------------------------------|-----|
| Cold Cranking Amps @ 0° F (Primary) | 750 | Cold Cranking Amps @ 0° F (2nd)    | 750 |
| Cold Cranking Amps @ 0° F (3rd)     | N/A | Maximum Alternator Capacity (amps) | 157 |

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (✓ Complete)

**Powertrain**

**Cooling System**

Total Cooling System Capacity N/A

**Dimensions**

**Interior Dimensions**

|                    |         |                      |         |
|--------------------|---------|----------------------|---------|
| Passenger Capacity | 3       | Front Head Room      | 40.8 in |
| Front Leg Room     | 43.9 in | Front Shoulder Room  | 66.7 in |
| Front Hip Room     | 62.5 in | Second Head Room     | N/A     |
| Second Leg Room    | N/A     | Second Shoulder Room | N/A     |
| Second Hip Room    | N/A     |                      |         |

**Exterior Dimensions**

|                               |          |                                 |          |
|-------------------------------|----------|---------------------------------|----------|
| Wheelbase                     | 169 in   | Length, Overall w/o rear bumper | N/A      |
| Length, Overall w/rear bumper | N/A      | Length, Overall                 | 254.8 in |
| Width, Max w/o mirrors        | 80 in    | Height, Overall                 | 81.1 in  |
| Overhang, Front               | 38.3 in  | Overhang, Rear w/o bumper       | 47.2 in  |
| Front Bumper to Back of Cab   | N/A      | Cab to Axle                     | 84 in    |
| Cab to End of Frame           | 131.2 in | Ground to Top of Load Floor     | N/A      |
| Ground to Top of Frame        | N/A      | Frame Width, Rear               | 34.2 in  |
| Ground Clearance, Front       | 8.3 in   | Ground Clearance, Rear          | 8.3 in   |
| Body Length                   | 0.00 ft  | Cab to Body                     | N/A      |

**Cargo Area Dimensions**

|                                 |     |                         |     |
|---------------------------------|-----|-------------------------|-----|
| Cargo Box Width @ Top, Rear     | N/A | Cargo Box Width @ Floor | N/A |
| Cargo Box Width @ Wheelhousings | N/A | Cargo Box (Area) Height | N/A |
| Tailgate Width                  | N/A | Cargo Volume            | N/A |
| Ext'd Cab Cargo Volume          | N/A |                         |     |

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# CHROME DATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( Complete )

## Selected Model and Options

### MODEL

| CODE | MODEL                                                        |
|------|--------------------------------------------------------------|
| F5H  | 2022 Ford Super Duty F-550 DRW XL 4WD Reg Cab 169" WB 84" CA |

### COLORS

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

### ENGINE

| CODE | DESCRIPTION                               |
|------|-------------------------------------------|
| 99N  | Engine: 7.3L 2V DEVCT NA PFI V8 Gas (STD) |

### TRANSMISSION

| CODE | DESCRIPTION                                                                                                                                                 |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 44G  | Transmission: TorqShift 10-Speed Automatic -inc: 10R140 w/neutral idle and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD) |

### OPTION PACKAGE

| CODE | DESCRIPTION     |
|------|-----------------|
| 660A | Order Code 660A |

### AXLE RATIO

| CODE | DESCRIPTION                    |
|------|--------------------------------|
| X8L  | Limited Slip w/4.88 Axle Ratio |

### TIRES

| CODE | DESCRIPTION                                                                                       |
|------|---------------------------------------------------------------------------------------------------|
| TGM  | Tires: 225/70Rx19.5G BSW Traction -inc: 4 traction tires on the rear and 2 A/P tires on the front |

### PRIMARY PAINT

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( Complete )

**SEAT TYPE**

| CODE | DESCRIPTION                                                                                                                    |
|------|--------------------------------------------------------------------------------------------------------------------------------|
| AS   | Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar |

**ADDITIONAL EQUIPMENT - PACKAGE**

| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 90L  | Power Equipment Group -inc: Deletes passenger side lock cylinder, upgraded door-trim panel, Accessory Delay, Advanced Security Pack, SecurILock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, MyKey, owner controls feature, Power Locks, Remote Keyless Entry, Folding Trailer Tow Mirrors w/Power Heated Glass, manual telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals, Power Front Side Windows, 1-touch up/down driver/passenger window |

**ADDITIONAL EQUIPMENT - MECHANICAL**

| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                                                                                                            |
|------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 473  | Snow Plow Prep Package -inc: pre-selected springs (see order guide supplemental reference for springs/FGAWR of specific vehicle configurations), Note 1: Restrictions apply; see supplemental reference or body builders layout book for details, Note 2: Also allows for the attachment of a winch, Note 3: Highly recommended to add (86M) dual battery on 7.3L gas engines, Adding (67B) 397 amp alternators for diesel engine is highly recommended for max output |
| 52B  | Trailer Brake Controller -inc: smart trailer tow connector, Verified to be compatible w/electronic actuated drum brakes only                                                                                                                                                                                                                                                                                                                                           |
| 62R  | Transmission Power Take-Off Provision -inc: mobile and stationary PTO modes                                                                                                                                                                                                                                                                                                                                                                                            |
| 67B  | 397 Amp Alternators                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
| 68M  | GVWR: 19,500 lb Payload Plus Upgrade Package -inc: upgraded frame, rear-axle and low deflection/high capacity springs, Increases max RGAWR to 14, 706, Note: See Order Guide Supplemental Reference for further details on GVWR                                                                                                                                                                                                                                        |
| 86M  | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                                                                                                                     |

**ADDITIONAL EQUIPMENT - EXTERIOR**

| CODE | DESCRIPTION                                                           |
|------|-----------------------------------------------------------------------|
| 18B  | Platform Running Boards                                               |
| 512  | Spare Tire, Wheel & Jack -inc: Excludes carrier, 6-Ton Hydraulic Jack |
| 59H  | Center High-Mounted Stop Lamp (CHMSL)                                 |
| 61J  | 6-Ton Hydraulic Jack                                                  |
| 61L  | Front Wheel Well Liners (Pre-Installed)                               |
| 63A  | Utility Lighting System -inc: LED side-mirror spotlights              |

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (✓ Complete )

**ADDITIONAL EQUIPMENT - INTERIOR**

| CODE                 | DESCRIPTION                                                                                                                                                                                                                           |
|----------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 872                  | Rear View Camera & Prep Kit -inc: Pre-installed content includes cab wiring and frame wiring to the rear most cross member, Upfitters kit includes camera w/mounting bracket, 20' jumper wire and camera mounting/aiming instructions |
| <b>Options Total</b> |                                                                                                                                                                                                                                       |

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA (✓ Complete)

## Standard Equipment

### Mechanical

- Engine: 7.3L 2V DEVCT NA PFI V8 Gas (STD)
- Transmission: TorqShift 10-Speed Automatic -inc: 10R140 w/neutral idle and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD)
- 4.88 Axle Ratio (STD)
- 50-State Emissions System
- Transmission w/Oil Cooler
- Electronic Transfer Case
- Part-Time Four-Wheel Drive
- 78-Amp/Hr 750CCA Maintenance-Free Battery w/Run Down Protection
- HD 240 Amp Alternator
- Towing Equipment -inc: Trailer Sway Control
- Trailer Wiring Harness
- 10950# Maximum Payload
- GVWR: 18,000 lbs Payload Package
- HD Shock Absorbers
- Front And Rear Anti-Roll Bars
- Firm Suspension
- Hydraulic Power-Assist Steering
- 40 Gal. Fuel Tank
- Single Stainless Steel Exhaust
- Dual Rear Wheels
- Auto Locking Hubs
- Front Suspension w/Coli Springs
- Leaf Rear Suspension w/Leaf Springs
- 4-Wheel Disc Brakes w/4-Wheel ABS, Front And Rear Vented Discs and Brake Assist
- Upfitter Switches

### Exterior

- Wheels: 19.5" x 6" Argent Painted Steel -inc: Hub covers/center ornaments not included
- Tires: 225/70Rx19.5G BSW A/P (STD)
- Clearcoat Paint
- Black Front Bumper w/Black Rub Strip/Fascia Accent and 2 Tow Hooks

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# CHROME DATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( Complete )

## Exterior

- Black Fender Flares
- Black Side Windows Trim and Black Front Windshield Trim
- Black Door Handles
- Black Manual Side Mirrors w/Manual Folding
- Manual Extendable Trailer Style Mirrors
- Fixed Rear Window
- Light Tinted Glass
- Variable Intermittent Wipers
- Aluminum Panels
- Front Splash Guards
- Black Grille
- Autolamp Auto On/Off Aero-Composite Halogen Daytime Running Lights Preference Setting Headlamps w/Delay-Off
- Cab Clearance Lights

## Entertainment

- Radio w/Seek-Scan and Clock
- Radio: AM/FM Stereo w/MP3 Player -inc: 4 speakers
- Fixed Antenna
- SYNC Communications & Entertainment System -inc: enhanced voice recognition, 911 Assist, 4.2" LCD center stack screen, AppLink, 1 smart-charging USB port and steering wheel audio controls
- 2 LCD Monitors In The Front

## Interior

- 4-Way Driver Seat -inc: Manual Recline and Fore/Aft Movement
- 4-Way Passenger Seat -inc: Manual Recline and Fore/Aft Movement
- Manual Tilt/Telescoping Steering Column
- Gauges -inc: Speedometer, Odometer, Oil Pressure, Engine Coolant Temp, Tachometer, Transmission Fluid Temp, Engine Hour Meter, Trip Odometer and Trip Computer
- FordPass Connect 4G Mobile Hotspot Internet Access
- Manual Air Conditioning
- Illuminated Locking Glove Box
- Interior Trim -inc: Chrome Interior Accents
- Full Cloth Headliner
- Urethane Gear Shifter Material

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( ✓ Complete )

**Interior**

- HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar
- Day-Night Rearview Mirror
- Passenger Visor Vanity Mirror
- 3 12V DC Power Outlets
- Front Map Lights
- Fade-To-Off Interior Lighting
- Full Vinyl/Rubber Floor Covering
- Smart Device Remote Engine Start
- Instrument Panel Covered Bin and Dashboard Storage
- Manual 1st Row Windows
- Systems Monitor
- Trip Computer
- Outside Temp Gauge
- Analog Appearance
- Seats w/Vinyl Back Material
- Manual Adjustable Front Head Restraints
- Air Filtration

**Safety-Mechanical**

- Driveline Traction Control

**Safety-Exterior**

- Side Impact Beams

**Safety-Interior**

- Dual Stage Driver And Passenger Seat-Mounted Side Airbags
- Dual Stage Driver And Passenger Front Airbags w/Passenger Off Switch
- Safety Canopy System Curtain 1st Row Airbags
- Outboard Front Lap And Shoulder Safety Belts -inc: Height Adjusters

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Vehicle: [Fleet] 2022 Ford Super Duty F-550 DRW (F5H) XL 4WD Reg Cab 169" WB 84" CA ( Complete )

**WARRANTY**

Basic Years: 3  
Basic Miles/km: 36,000  
Drivetrain Years: 5  
Drivetrain Miles/km: 60,000  
Corrosion Years: 5  
Corrosion Miles/km: Unlimited  
Roadside Assistance Years: 5  
Roadside Assistance Miles/km: 60,000

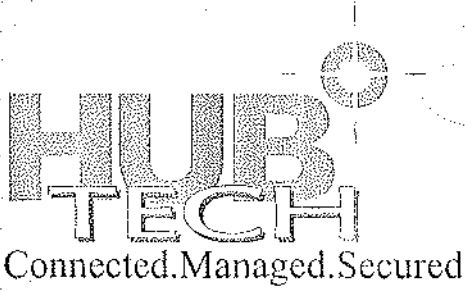
Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 15075, Data updated Nov 2, 2021 1:04:00 PM PDT



**TOWN OF CANTON  
FORM B - FISCAL 2023  
CAPITAL PROJECT / EQUIPMENT REQUEST**

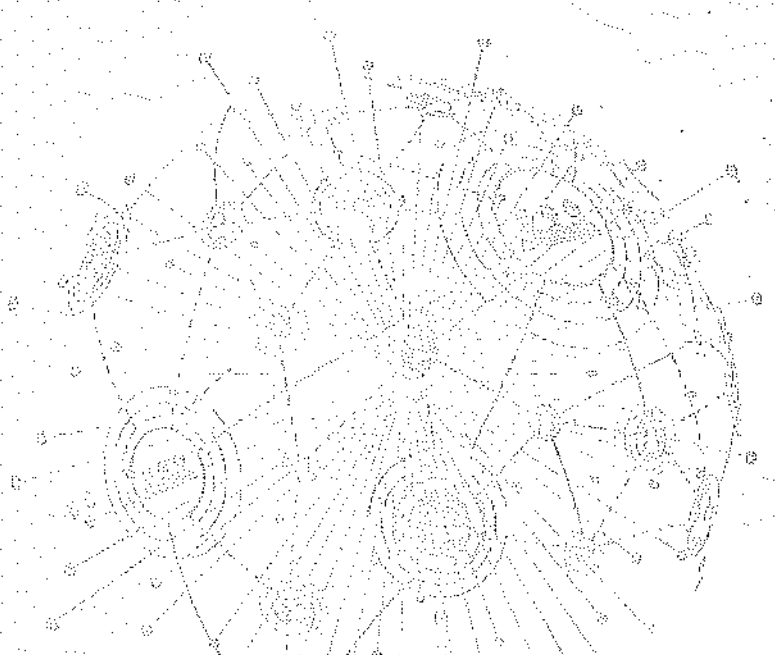
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|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Finance Dept / Information Systems Division                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>SUBMITTED BY:</b><br>Louis Jutras                                                                                                                                                                                                                                                                                                                                                       |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Switch Replacements                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$235,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>DESCRIPTION:</b><br>Replacement of all network switches for municipal buildings                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Most of our existing switches were installed in 2008 when we first installed Town Fiber between our buildings. The devices are beyond their useful life and no longer supported. In the last year we have had 5 switches fail at various locations. There are 35 main switches in 22 different locations. Many of the fiber transceivers in the existing equipment will be reused in the new equipment. We have also been notified that many vendors are implimenting new pricing for next year and that prices may increase as high as 20% from the quoted number. Price locks are only being honored for 30 to 45 days. |                                                                                                                                                                                                                                                                                                                                                                                            |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                                                                                 | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ (#) OF 6 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                                                               | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                               |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                            |

FORM B - Switches



44 Norfolk Ave.  
South Easton, MA 02375  
www.hubtech.com  
(508) 238-9887

We have prepared a quote for you



**#5217 v1 - Switch Conversation - Regarding current switches - Inventory / Firmware - Options - Cost - Replace**

Quote # 005217  
Version 1  
Opportunity: 4816

Prepared for:

Town of Canton

Louis Jutras  
ljutras@town.canton.ma.us

Prepared by:

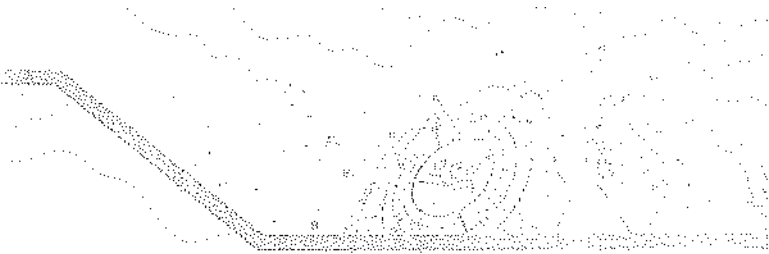
Hub Technical Services LLC

Ed Zak  
ezak@hubtech.com





44 North A Avenue  
 South Easton, MA 02375  
 www.hubtech.com  
 508-238-9887



**Bolivar Pool**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |

**Cemetary**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |

**COA**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL675A   | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1   | \$1,880.82 |
| Subtotal |                                 |            |     | \$1,880.82 |

**DPW**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |

**Fire 1st**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 2   | \$2,473.40 |
| Subtotal |                                 |            |     | \$2,473.40 |

**Fire 2nd**

| Item #   | Description                     | Price      | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |



44 North A Avenue  
 South Easton, MA 02575  
 www.hubtech.com  
 508-238-9387

Fire Revere

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL675A   | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1   | \$1,880.82 |
| Subtotal |                                 |            |     | \$1,880.82 |

Fire Sassamon

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL675A   | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1   | \$1,880.82 |
| Subtotal |                                 |            |     | \$1,880.82 |

Garage Admin

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |

Hemmingway

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |

Ice-Rink

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL675A   | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1   | \$1,880.82 |
| Subtotal |                                 |            |     | \$1,880.82 |

Indian

| Item     | Description                     | Unit Price | Qty | Total      |
|----------|---------------------------------|------------|-----|------------|
| JL677A   | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1   | \$1,236.70 |
| Subtotal |                                 |            |     | \$1,236.70 |



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Library

| Item ID | Description                     | Unit Price | Quantity | Total Price |
|---------|---------------------------------|------------|----------|-------------|
| JL677A  | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |

Library 2nd

| Item ID | Description                     | Unit Price | Quantity | Total Price |
|---------|---------------------------------|------------|----------|-------------|
| JL675A  | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1        | \$1,880.82  |

Library Core

|        |                                 |            |   |            |
|--------|---------------------------------|------------|---|------------|
| JL677A | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
| JL675A | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 2 | \$3,761.64 |

Library LL

|        |                                 |            |   |            |
|--------|---------------------------------|------------|---|------------|
| JL675A | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1 | \$1,880.82 |
|--------|---------------------------------|------------|---|------------|

Paul-Revere

|        |                                 |            |   |            |
|--------|---------------------------------|------------|---|------------|
| JL677A | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
|--------|---------------------------------|------------|---|------------|

PD 1st

|        |                                 |            |   |            |
|--------|---------------------------------|------------|---|------------|
| JL677A | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
|--------|---------------------------------|------------|---|------------|



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**Pecunit**

| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL677A           | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
| Subtotal:        |                                 |            |   | \$1,236.70 |

**PEQ1**

| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL677A           | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
| Subtotal:        |                                 |            |   | \$1,236.70 |

**PEQ-2**

| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL677A           | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
| Subtotal:        |                                 |            |   | \$1,236.70 |

**PEQ-BARN**

| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL677A           | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1 | \$1,236.70 |
| Subtotal:        |                                 |            |   | \$1,236.70 |

**Police-1st**

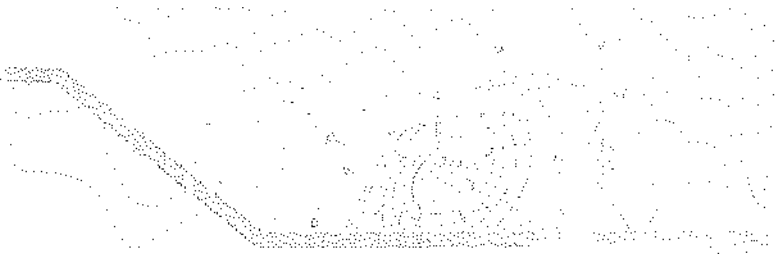
| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL675A           | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1 | \$1,880.82 |
| Subtotal:        |                                 |            |   | \$1,880.82 |

**Police-2nd**

| Item Description |                                 |            |   |            |
|------------------|---------------------------------|------------|---|------------|
| JL675A           | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1 | \$1,880.82 |
| Subtotal:        |                                 |            |   | \$1,880.82 |



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**Police Station**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL675A    | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1        | \$1,880.82  |
| Subtotal: |                                 |            |          | \$1,880.82  |

**Recreation Garage**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL677A    | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |
| Subtotal: |                                 |            |          | \$1,236.70  |

**Tolman**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL677A    | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |
| Subtotal: |                                 |            |          | \$1,236.70  |

**Town-Hall 1**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL675A    | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1        | \$1,880.82  |
| Subtotal: |                                 |            |          | \$1,880.82  |

**Town-Hall 2**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL675A    | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1        | \$1,880.82  |
| Subtotal: |                                 |            |          | \$1,880.82  |

**Town-Hall 3**

| Item      | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL675A    | Aruba 6100 48G CL4 4SFP+ Switch | \$1,880.82 | 1        | \$1,880.82  |
| Subtotal: |                                 |            |          | \$1,880.82  |



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Town-Hall Core

| Item Code | Description                                          | Unit Price  | Quantity | Total Price |
|-----------|------------------------------------------------------|-------------|----------|-------------|
| R0X26A    | Aruba 6405 Switch                                    | \$6,081.92  | 1        | \$6,081.92  |
| HL8P0E    | Aruba 3Y FC 4H OS 6405 SVC [for R0X26A]              | \$9,135.95  | 1        | \$9,135.95  |
| R0X35A    | Aruba 6400 1800W Power Supply with C16 Inlet Adapter | \$1,123.66  | 4        | \$4,494.64  |
| R0X31A    | Aruba 6400 Management Module                         | \$4,042.05  | 1        | \$4,042.05  |
| R0X41A    | Aruba 6400 48p SR5 CL6 PoE 4SFP56 Module             | \$5,844.73  | 1        | \$5,844.73  |
| R0X44A    | Aruba 6400 48p 10G/25G SFP28 Module                  | \$22,411.85 | 2        | \$44,823.70 |

Subtotal: \$100,794.04

VM-Rack-5400

| Item Code | Description                                          | Unit Price  | Quantity | Total Price |
|-----------|------------------------------------------------------|-------------|----------|-------------|
| R0X26A    | Aruba 6405 Switch                                    | \$6,081.92  | 1        | \$6,081.92  |
| HL8P0E    | Aruba 3Y FC 4H OS 6405 SVC [for R0X26A]              | \$9,135.95  | 1        | \$9,135.95  |
| R0X35A    | Aruba 6400 1800W Power Supply with C16 Inlet Adapter | \$1,123.66  | 4        | \$4,494.64  |
| R0X31A    | Aruba 6400 Management Module                         | \$4,042.05  | 1        | \$4,042.05  |
| R0X43A    | Aruba 6400 24p SFP+ 4SFP56 Module                    | \$11,205.76 | 1        | \$11,205.76 |
| R0X41A    | Aruba 6400 48p SR5 CL6 PoE 4SFP56 Module             | \$5,844.73  | 1        | \$5,844.73  |

Subtotal: \$51,806.06

Wash-St-Tnk

| Item Code | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL677A    | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |

Subtotal: \$1,236.70

WaterFacility

| Item Code | Description                     | Unit Price | Quantity | Total Price |
|-----------|---------------------------------|------------|----------|-------------|
| JL677A    | Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |

Subtotal: \$1,236.70



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WilliamsEstate

| Description                            | Unit Price | Quantity | Total Price |
|----------------------------------------|------------|----------|-------------|
| JL677A Aruba 6100 24G CL4 4SFP+ Switch | \$1,236.70 | 1        | \$1,236.70  |

Fiber Transceivers

| Description                                                                                                                                                                                              | Unit Price | Quantity | Total Price |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|----------|-------------|
| J9151E Aruba 10G SFP+ LC LR 10km SMP Transceiver - For Data Networking, Optical Network - 1 x LC 10GBase-LR Network - Optical Fiber - Single-mode - 10 Gigabit Ethernet - 10GBase-LR                     | \$1,304.37 | 2        | \$2,608.74  |
| J9150D Aruba 10G SFP+ LC SR 300m OM3 MMF Transceiver - For Data Networking, Optical Network - 1 x LC 10GBase-SR Network - Optical Fiber - Multi-mode - 10 Gigabit Ethernet - 10GBase-SR - Plug-in Module | \$406.37   | 10       | \$4,063.70  |
| 01113 C2G 7m LC-LC 10Gb 50/125 Duplex Multimode OM3 Fiber Cable - Aqua - 23ft - 7m LC-LC 10Gb 50/125 Duplex Multimode OM3 Fiber Cable - Aqua - 23ft                                                      | \$19.71    | 10       | \$197.10    |
| JL563A Aruba 10GBASE-T SFP+ RJ45 30m Cat6A Transceiver - For Data Networking - 1 x RJ-45 10GBase-T LAN - Twisted Pair 10 Gigabit Ethernet - 10GBase-T                                                    | \$1,079.50 | 2        | \$2,159.00  |

Project Services

|                                                                    |             |   |             |
|--------------------------------------------------------------------|-------------|---|-------------|
| Project Labor Services                                             | \$28,830.00 | 1 | \$28,830.00 |
| Labor Services - Installation, Configuration, & Project Management |             |   |             |
| Project Labor Services - Time & Materials                          | \$3,720.00  | 1 | \$3,720.00  |
| Labor Services - Time & Materials                                  |             |   |             |

**Please Note :**

Town of Canton has requested a proposal from HUB Tech to upgrade the Town Network Switching Infrastructure. The existing switching infrastructure has aged out and is end of life/support. If anything happens to these switches the support vendor will not assist and an extensive period of downtime will



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### Project Services

occur if there are no replacement switches. Any of the existing HPE 2600 ProCurve switches will be replaced with a Aruba CX 6100 switches. The two HPE 5400 chassis switches at the Town Hall will be replaced by the Aruba CX 6400 chassis.

The Aruba CX Switches are the latest switch line from HPE/Aruba. Each switch has a built in Aruba Analytics Engine for more detailed reporting and information. Tools such as NetEdit can be used in conjunction with Aruba CX switches to push out configuration changes. These switches can also be managed by Aruba Central, Aruba's cloud management portal for network devices.

Along with the new switches HUB Tech will be reconfiguring the VLAN 2 on the local sites to be on a different VLAN for organizational purposes. Town hall is on VLAN 56 for example. This phase of the project will be T&M due to the complexity or unknowns with network devices and moving them to a new VLAN.

- The Aruba CX 6100 Switches will be installed during normal business hours
- The two Aruba CX 6400 Chassis Switches will be installed after hours
- Aruba Central and NetEdit requires additional licenses not included in this scope of work.
- VLAN reconfiguration work does not include end user devices, only backend switch reconfiguration.





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## #5217 v1 - Switch Conversation - Regarding current switches - Inventory / Firmware - Options - Cost - Replace

**Quote Information:**

**Quote #:** 005217  
**Version:** 1  
**Delivery Date:** 11/04/2021  
**Expiration Date:** 08/26/2022

**Prepared for:**

**Town of Canton**  
 Attn: Louis Juras  
 801 Washington Street  
 Canton, MA 02021  
 Louis Juras  
 (617) 763-6272  
 ljuras@town.canton.ma.us

**Prepared by:**

**Hub Technical Services LLC**  
 Ed Zak  
 (508) 238-9887 x 4211  
 ezak@hubtech.com

### Quote Summary

|               |            |
|---------------|------------|
| Bolivar Pool  | \$1,236.70 |
| Cemetary      | \$1,236.70 |
| COA           | \$1,880.82 |
| DPW           | \$1,236.70 |
| Fire 1st      | \$2,473.40 |
| Fire 2nd      | \$1,236.70 |
| Fire Revere   | \$1,880.82 |
| Fire Sassamon | \$1,880.82 |
| Garage Admin  | \$1,236.70 |
| Hemmingway    | \$1,236.70 |
| Ice-Rink      | \$1,880.82 |
| Indian        | \$1,236.70 |
| Library       | \$1,236.70 |
| Library 2nd   | \$1,880.82 |
| Library Core  | \$4,998.54 |
| Library LL    | \$1,880.82 |
| Paul-Revere   | \$1,236.70 |
| PD 1st        | \$1,236.70 |
| Pecunit       | \$1,236.70 |
| PEQ1          | \$1,236.70 |
| PEQ-2         | \$1,236.70 |
| PEQ-BARN      | \$1,236.70 |
| Police-1st    | \$1,880.82 |
| Police-2nd    | \$1,880.82 |



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Quote Summary

|                    |             |
|--------------------|-------------|
| Police Station     | \$1,880.82  |
| Recreation Garage  | \$1,236.70  |
| Toileman           | \$1,236.70  |
| Town-Hall 1        | \$1,880.82  |
| Town-Hall 2        | \$1,880.82  |
| Town-Hall 3        | \$1,880.82  |
| Town-Hall Core     | \$74,422.99 |
| VM-Rack-5400       | \$40,805.05 |
| Wash-St-Tnk        | \$1,236.70  |
| Water Facility     | \$1,236.70  |
| Williams Estate    | \$1,236.70  |
| Fiber Transceivers | \$9,028.54  |
| Project Services   | \$32,550.00 |

Total: \$219,511.33

Taxes, shipping, handling and other fees may apply. We reserve the right to cancel orders arising from pricing or other errors.

Hub Technical Services LLC

Town of Canton

Signature: \_\_\_\_\_

Signature: \_\_\_\_\_

Name: Ed Zak

Name: Louis Jutras

Title: Sales Account Manager

Date: \_\_\_\_\_

Date: 11/04/2021



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## Terms & Conditions

### Statement of Confidentiality

The contents of this document have been developed by HUB Technical Services, LLC. HUB Technical Services, LLC considers the contents of this document to be proprietary and business confidential information where applicable by law. This information is to be used only in the performance of its intended use. This document may not be released to another vendor, business partner or contractor without prior written consent from HUB Technical Services, LLC. Additionally, no portion of this document may be communicated, reproduced, copied or distributed without the prior consent of the client and HUB Technical Services, LLC.

### Quotation Terms

Tax, Freight, Insurance, Delivery, Setup Fees, Cabling and Cabling Services are not included unless specified above. All prices are subject to change without notice. Supply subject to availability.

### Terms, Conditions, and Procedures

#### Change of Scope Procedures

Should the Client require additional services as a result or adjunct to this project, it will be considered a Change of Scope and will result in additional hours and charges. A Change of Scope agreement form must be signed in order for any additional work to be performed. Upon receipt of a purchase order for the Change of Scope, HUB Technical Services will begin work. The service rate is based on installation during the hours of 8:30 AM-5:30 PM; Monday through Friday.

#### General Terms

This proposal is for a fixed price project. Any deviation from the Scope of Work defined in this proposal will result in a change order which may change the price of the project. HUB technical Services, LLC will monitor the progress of the project and notify the Client of any deviations for discussion and approval before implementation. Client will be invoiced as per Project Milestones.

#### Payment Terms

Payment is due within thirty (30) days of original invoice date. Tangible products are invoiced on the initial shipment date; services are invoiced as they are performed or at the milestones defined above or in the project plan if applicable. All invoices will include the description of the item and the work being billed. Complete payment in full is due for each invoice within thirty (30) days of invoice date. Payments that are past due will result in a finance charge of one percent (1%) per month on an unpaid balance (twelve percent (12%) per year) or the maximum allowed by law. Tax, Freight, Insurance, Delivery, Setup Fees, Storage, Cabling, and Cabling Services Not Included. Fixed priced projects are invoiced in full and are not eligible for labor rebate.

#### Terms of Sales for Professional Services

Client will designate primary contact(s) for scheduling installations. Normal service delivery hours are 8:30AM-5:30PM; Monday through Friday. After hours and weekend service will be billed at a higher rate. Travel charges will apply beyond 50 mile radius of Hub Tech's main office. Rates are subject to change with a fifteen-day written notice. Support contracts, support services and related replacement parts may be subject to sales, use or other applicable local taxes and is based on the location to which the parts or services are delivered. Unless otherwise noted, HUB Technical Services, LLC prices does not include taxes. The Client acknowledges it has the responsibility to pay all taxes if applicable.

Warranty: 30 days from date of final signoff by client.

Non-Solicit: Should the Client hire any HUB Technical Services employee during the period of this contract or within 12 months of the expiration of the contract, then the Client shall pay HUB Technical Services an amount equivalent to 26 weeks of the employee's salary to recompense HUB Technical Services for its loss.

Delays which occur due to software application related issues will constitute a "Change of Scope" and will be subject to additional labor hours.

#### Terms of Sales for Tangible Products



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Client is responsible for the receipt and safeguarding of all equipment delivered. Client is responsible for judging suitability and appropriateness for any particular purpose. Products, pricing and availability are subject to change without notice. Client understands that HUB Technical Services, LLC is not the manufacturer of the products specified in this proposal and the only warranties offered are those of the manufacturer. All products are sold with the manufacturer's warranty and are covered by their terms. All warranty claims must be submitted directly to the manufacturer. HUB Technical Services, LLC reserves the right to bill and Client agrees to pay for all time spent troubleshooting or repairing equipment under warranty. HUB Technical Services, LLC does not assure compatibility with any existing equipment. HUB Technical Services, LLC shall not be held responsible for any lost time due to DOA, defective or malfunctioning equipment provided by HUB Technical Services, LLC or by others. Product prices do not include set up, installation, configuration or training, unless specifically noted. A quote for these services will be provided upon request. Product totals exclude sales tax and shipping charges which be billed separately. Tax, Freight, Insurance, Delivery, Setup Fees, Storage, Cabling, and Cabling Services Not included unless otherwise stated.

#### Warranty and Disclaimer

**Warranty:** HUB Technical Services, LLC warrants that the services or equipment provided comply with the statements made within this SOW and for a period of thirty (30) days from the date of signoff.

**Limitation of Liability:** Notwithstanding any provision contained herein to the contrary, except in case of bodily injury or death where, and then only to the extent that applicable law requires such liability, the maximum liability of HUB Technical Services, LLC to the client, or to any party whatsoever arising out of or in connection with any sale, use, or other application of any product or service delivered to the client hereunder, whether such liability arises from a claim based upon contract, warranty, tort, or otherwise, shall not under any circumstance exceed the actual amount paid by the client for the product or service giving rise to such liability.

**Disclaimer of Liability:** Except in case of bodily injury or death where, and then only to the extent that, applicable law requires such liability, HUB Technical Services, LLC shall not be liable for any of the client's loss of profits (even if they arise as a direct or immediate consequence of the event that generated the damages), loss of business, loss of use or loss of data, interruption of business, nor for indirect, special, incidental or consequential damages of any kind whether under this agreement or otherwise, even if HUB Technical Services, LLC has been advised of the possibility of such loss and notwithstanding any failure of essential purpose of any limited remedy, in no case will HUB Technical Services, LLC be liable for any representation or warranty made by client, or any agent of the client.


**Service provider indemnity:** Client agrees to defend, indemnify and hold harmless HUB Technical Services, LLC from and against any and all damages, liabilities, costs, expenses (including reasonable attorney's fees, expert fees and other legal expenses) in connection with any suit, claim or action by any third party against the client or HUB Technical Services, LLC as a result of the actual or alleged negligence, misrepresentation, error or omission on the part of the client or its representatives relating to or concerning the products or support services provided by HUB Technical Services, LLC.

#### Returns

HUB Technical Services, LLC Return Policy is as follows: No returns without an RMA#.

You may return most tangible products only if we are able to return them to our supplier within ten (10) days of your product's shipping date; please refer to the specific details below. All returns require a HUB Technical Return Merchandise Authorization Number (RMA#). We are not responsible for receiving, tracking or crediting any item returned to us without a clearly identifiable RMA# on the packing slip. Many non-discontinued, unopened products may be returned within 10 days of the product's shipping date. Manufacturer return policies vary greatly based on the specific product type. Items must be in original packaging, sealed in as-new condition with the packing slip. Opened computer systems, software, laser printers, inkjet printers and networking equipment are not returnable. Defective merchandise can be returned for repair only to HUB Technical Services, directly to the manufacturer or any authorized service center in your area. In order to return an item, please call 508-238-9887 and contact to our Service Department to obtain a Return Merchandise Authorization Number (RMA#) prior to shipping your product. No returns of any type will be accepted without an RMA#. For faster service, please have the following information available when calling requesting an RMA#: Client name, invoice number or Purchase Order number, serial number and nature of the problem.

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|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DEPARTMENT:</b><br/>Finance Dept / MIS Division</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>SUBMITTED BY:</b><br/>Randy Scollins</p>                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Financial Chart of Accounts Redesign and Implementation</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$50,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DESCRIPTION:</b><br/>Engage the Town's financial software provider, Tyler, and a Chart of Accounts redesign consultant to migrate the Town's 246 different funds into a chart with no more than ~36 funds. Municipal finance is managed with fund accounting.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>The Town of Canton's Financial Chart of Accounts (general ledger) is decades old, extremely cumbersome and not intuitive. There are currently 246 different funds contained within the Chart. A Chart of Accounts with no more than ~36 funds would streamline transaction entry and reporting. This is accomplished by grouping like funds into a single fund and segregate at the account level. As an example, rather than having federal and state grants mingled with no useful organization within the Chart, a Federal Grant fund would be established for both School and Municipal (2 funds) and each grant would have a unique account within the respective funds. The same can be done for State Grants. All accounts would be reindexed from the current COA structure to the new COA structure, with account history being moved accordingly. A project like this takes months of planning and testing. Given that the Town Accountant has plans to retire in about 1 1/2 years, it would be optimal to complete this project while we still have access to her institutional knowledge.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input checked="" type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p>_____ (#) OF _____ (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                          |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                          |

FORM B - New Chart



1 Tyler Drive, Yarmouth, ME 04096 Phone 800.772.2260 www.tylertech.com

| Tyler Technologies Development Client Sign-Off |                            |
|------------------------------------------------|----------------------------|
| Client Name                                    | Town of Canton, MA         |
| Modification Description                       | Chart of Accounts Redesign |
| Reference #                                    | MUN-424491                 |
| Service/Modification Cost                      | \$34,000                   |
| Delivery Version and/or Date                   | 2020.3 by TBD              |
| Document Date                                  | November 4, 2021           |
| Sign-Off Required By                           | December 4, 2021           |

Following this Tyler Technologies Development Client Sign Off is a Statement of Work for your review and approval. This will be entered into our Work Order system with the noted delivery date if approved by the above date. If the modification is not approved within this timeframe, the delivery date will be adjusted to fit into the development schedule at a later date as determined by the Product Manager.

In order to schedule and begin work on the described services, Tyler requires your authorization. For authorization please print, sign and date the bottom of this letter and return to Kathy Thompson at [kathy.thompson@tylertech.com](mailto:kathy.thompson@tylertech.com). Please provide a purchase order if needed along with your specification sign-off.

Tyler will invoice the Client fees for this modification 50% upon sign-off and 50% upon execution in the client's live environment.

\_\_\_\_\_  
Printed Name

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Date



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**Munis Professional Services  
Chart of Accounts Redesign  
Statement of Work (SOW)**

**Objective**

The objective of this project is to redesign the client's current chart of accounts. This process will change all associated history that reference an org/object/project combination to the new chart based upon a crosswalk developed under this Statement of Work.

**Approach**

The approach is collaboration between the client, Munis Business Analyst (BA), and the Munis Professional Services team. Each party has specific responsibilities under this agreement. Detailed division of responsibilities is listed in this SOW. The overall responsibilities can be categorized as follows:

- The Munis BA is responsible for education of the processes necessary to implement the new chart in Munis and the technical processing of the chart.
- The client is responsible for development, cross-walking, conversion proofing and establishment of the new chart. It is required that the client remain at a constant Munis version from the start to completion of the conversion project.
- Our Munis Professional Services team is responsible for error checking and creating a customized data conversion utility to be used in processing the test and live conversion passes. This statement of work provides up to 4 conversion passes. Additional conversion passes beyond 4 will be chargeable at \$1,400 per additional pass.
- A Live Conversion Pass date will be determined once the project has begun. That will be shown in the Proposed Timeline chart, to be completed at a later date, and shown at the end of this document. Tyler and Professional Services requires that an actual completion of the conversion in live must occur no later than 180 days from the stated Live Conversion Pass date.

**Terms of Payment**

Upon acceptance of the statement of work, Tyler will bill 50% of the total project with the remaining 50% due upon delivery of the final "live" Conversion pass.



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### Deliverable Phases

1. **First Deliverable Phase:** This phase consists of providing the COA Conversion Interface tables and programs. The BA will provide MUN numbers for the necessary package installation. These must be installed in Live. Note: these are separate tables and any data entered or updated here will not affect the Live COA or any transactions in Munis.
2. **Second Deliverable Phase:** This phase consists of the initial completion of the new chart of accounts. The BA will schedule status calls to review set up, as well as conversion errors found during the Validation steps. It is the responsibility of the client to make changes to the COA segment and accounts if issues relate to the data; the BA and developer will work with the client to resolve program related errors. The BA will coordinate a time with the client to run the first conversion pass in the client's test/train environment. The client will refresh Train or Test for the first COA pass prior to the designated date.
3. **Third Deliverable Phase:** The BA will conduct a status call with the client to review conversion errors found in the first conversion run. It is the responsibility of the client to correct errors in the set up tables; should deleting records be necessary the BA or developer will assist. The BA or Professional Service Representative will coordinate a time with the client to run the 2nd conversion pass in the client's test/train environment. This project scope includes four conversion passes, after which the BA will review any resulting error reports. If additional conversion passes are required, the client will be charged for each.
4. **Final Deliverable Phase:** The BA will coordinate a time with the client to run the final conversion pass into the client's test/train environment. A status call will be scheduled with the BA, client and Professional Service Representative to review the final pass.

The client will sign off on the conversion data that will give Professional Service the authority to run the final conversion in the client's LIVE environment.

### **Division of Responsibilities:**

| <b>Client Responsibilities</b>                                                                                                                                                                                                                                | <b>BA Responsibilities</b>                                                                                                                                                                                                                                                                                | <b>Professional Services (Development)</b>                                                                                                                                                                                                                                 |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>• Load the COA Conversion Interface tables and custom conversion program</li> <li>• Using the COA Conversion Interface, crosswalk all old accounts to new accounts (Orgs, Objects, Projects, and segments).</li> </ul> | <ul style="list-style-type: none"> <li>• The BA cannot provide design recommendations on any new chart settings. If that is required, a Tyler Implementation consultant service should be arranged.</li> <li>• Provide COA Conversion Interface documentation.</li> <li>• Provide project plan</li> </ul> | <ul style="list-style-type: none"> <li>• Develop and customize a conversion utility to convert the GL Accounts, orgs, objects and projects as needed in all Munis modules used by the client.</li> <li>• Convert old to new chart in Train or Test environment.</li> </ul> |





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|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                   |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>• Remain at a constant Munis version from the start to completion of the conversion project.</li> <li>• Proof Conversion</li> <li>• Development and execution of testing plan (with items listed in this SOW as post-conversion as a minimum)</li> <li>• Sign-off on redesign set up, test conversion, and final conversion.</li> <li>• Manually update tables that only reference org or object such as Security and Payroll tables. Note: these are tables that store only a portion of the Account (such as Object).</li> <li>• Educate users on new chart of accounts format</li> <li>• Archive any historical reports ensuring all reporting requirements are satisfied prior to live conversion.</li> </ul> | <p>within one week of analysis session.</p> <ul style="list-style-type: none"> <li>• Provide feedback to questions related to functionality and best practice setup in Munis</li> <li>• Review validation errors prior to conversion.</li> <li>• Review conversion errors with client.</li> <li>• Assist client in developing testing plan.</li> <li>• Establish and monitor project schedule.</li> <li>• Provide 15-30 minute weekly or biweekly status calls.</li> </ul> | <ul style="list-style-type: none"> <li>• Convert old to new chart in LIVE environment.</li> </ul> |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------|



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**Pre-Conversion Tasks**  
(Client responsibility)

- All funds must be in balance.
- All revenues and expenses must be reconciled before the conversion.
- All encumbrances must be reconciled before the conversion.
- All batches should be posted in all modules when the conversion is run.
- A clean table validation report must be run prior to conversion. If there are any errors, they must be cleaned up prior to the conversion.

Before the conversion is run the following tasks must be completed:

- Clean Table validation report
- YTD Budget report for all accounts
- Trial balance for balance sheet accounts only for all funds
- Trial balance for all accounts for all funds
- PO's by GL account report
- AR Charge code list with GL accounts

**Post Conversion Testing**  
(Both for training conversion and live conversion)  
(Client responsibility)

Once the conversion has been run the following module-specific processes should be tested.

**General Ledger**

- **GL Table Validation** – This will list all errors found between GL tables. The Validation Table must be clean before proceeding with tests within other modules.



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- **Trial Balance** – Run this to make sure the fund is in balance, that all accounts correctly had their balances moved/merged.
- **Year to Date budget report** – Run this to make sure all budgets were converted correctly.
- **Fund Attribute Table** – Verify that every fund has an attribute table with complete control accounts.
- **Due to/Due From Table** – Verify that all new funds have been added to the DT/DF table with a relationship between the appropriate funds.
- **Journal Entry** – Enter a journal entry that crosses funds. Confirm the proper control accounts and balancing DT/DF entries are created.

#### Purchase Orders

- **PO by GL Account** – Run this report to make sure all accounts were correctly converted/merged. Best to run this report before conversion with old accounts & then again with new.
- **PO Maintenance** – Choose a sampling of Purchase Orders (some with multiple lines, multiple accounts, etc.) and perform PO Maintenance as well as posting the journal to the GL.
- **Requisition processing** – run through the entire requisition processing using different id codes (if possible) or change the 'munis' defaults to test the requisition dept/loc defaults and the posting of requisitions.
- **Commodity Codes**- Update the GL object code if applicable

#### Accounts Payable

- **Invoice Maintenance** – Run several invoices through invoice maintenance changing amounts and accounts.
- **Void Check** – Void several checks and run the cash disbursement journal
- **Invoice Processing** – run the entire invoice process, liquidating Purchase orders both partially and fully.



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#### **Contract Management**

- **Contract Maintenance**—Update GL segments for “Amounts by Segments” or “Items w/Account Segments” enforcement methods.

#### **Project Ledger**

- **Default GL and Budget Accounts**—Update default GL and Budget accounts on PL strings if the default is not a full account. (Just a segment, org, or object.)

#### **Payroll**

- Manually update payroll tables that reference only org or object codes such as Employee Master, Deduction Master etc.
  - Control File – if currently defining default orgs but not partial accounts
  - Pay Types
  - Deduction Master
  - Job Class
- Run Payroll and Post to General Ledger, note errors in Payroll Proof and those listed when posting to the GL

#### **Accounts Receivable**

- Review Charge Codes Report

#### **Role Based Security**

- Manually update General Ledger Account Restrictions

#### **Workflow Business Rules**

- SEG or SOA Business rules



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### Proposed Timeline

Note: The timeline will be built after project startup and collective review of necessary steps and mutual schedules. If a 3<sup>rd</sup> (or 4<sup>th</sup>) pass is not needed, developer availability will be reviewed at that time to determine if an earlier Live run can be scheduled.

| Task                                              | Date         |
|---------------------------------------------------|--------------|
| Redesign Analysis                                 | Upon signoff |
| COA Conversion Interface set up completed in Live | TBD          |
| 1 <sup>st</sup> Test Conversions Pass             | TBD          |
| 2 <sup>nd</sup> Test Conversions Pass             | TBD          |
| 3 <sup>rd</sup> Test Conversions Pass             | TBD          |
| 4 <sup>th</sup> Test Conversions Pass             | TBD          |
| Approve Live COA Conversion                       | TBD          |
| Live Conversion Pass                              | TBD          |

# Hassett Financial Services, LLC

November 3, 2021

William R. Scollins, Finance Director  
Canton Town Offices  
801 Washington Street  
Canton, MA 02021

Dear Mr. Scollins:

In response to your request for a written quotation, Hassett Financial Services, LLC (HFS) is pleased to offer our services to assist the Town of Canton with the municipal finance and accounting services that your community requires.

As we understand it, the Town of Canton wishes to engage a municipal finance-consulting firm to assist your financial team with the implementation of your new financial software applications. Our role will be to provide accounting and software implementation services to the Town of Canton; specifically, the development of a re-designed Town chart of accounts and a new, integrated School chart of accounts.

The scope of services will include but not be limited to on-site professional services on an as-needed basis. Services shall be scheduled as needed based upon our availability.

Our understanding is that the Town will provide us remote access to your "Live" Munis database, in order to utilize their conversion tools. You would like us to review the structure for conformity to current practices (DOR/UMAS and DESE), to improve the structure for improved analysis/reporting, and to address any concerns expressed by your independent audit firm. Further we understand that the School Department portion of the chart of accounts may require more effort, due to the increased reporting complexities required by the Massachusetts Department of Elementary and Secondary Education (DESE).

The approach will be collaborative. We plan to work with designated staff from your office, the School Business office, the software firm, and others as you may designate. In brief, these services will include:

- Segment Requirements & Account Design 8-12 hours
- ORG Code Options 6-8 hours
- Account Development – Town 26-32 hours
- Account Development – Schools 34-40 hours
- Conversion Workbook to Software Firm 4 hours
- Review/Edit Account Exceptions 2-4 hours

**82 Cottonwood Street, Fairhaven, MA 02719**

(508) 944-1123  
todd.hassett.hfs@gmail.com

Our understanding is that you plan to implement during FY2023 or effective July 1, 2023. Depending upon your level of participation and the extent to which changes are required, an initial estimate of our hours ranges from 80 to 100. As the project progresses, we can better refine that estimate.

We propose that Todd K. Hassett will serve as our firm's primary consultant for this engagement. Todd has extensive experience with chart of accounts development. His client work in this area includes (Munis clients highlighted in BLUE):

- **Integrated w/Schools** - City of Waltham, City of Malden, City of Everett, **Town of Belmont**, Town of Braintree, Town of Cohasset, Town of Duxbury, Town of East Bridgewater, Town of Falmouth, **Town of Foxborough**, **Town of Franklin**, Town of Hanover, Town of Holbrook, **Town of Mansfield**, Town of Milton, Town of Norwell, Town of Richmond, Town of Rockport, Town of Sandwich, **Town of Walpole**, **Town of Wellesley** (including Municipal Electric), Town of West Boylston, **Town of Westford**, and Town of Wrentham.
- **City/Town only** - Town of Hanson, **Town of Lakeville**, **Town of North Attleboro** (partial), and **City of Annapolis, MD**.
- **School only** - Littleton Public Schools, **Medfield Public Schools**, **Norfolk Public Schools**, **Plymouth Public Schools**, and City of Amesbury Public Schools.
- **District** - EDCO Collaborative, Valley Collaborative, Old Colony Regional Vocational School, Foxborough Regional Charter School, West Barnstable Fire District, Raynham Center Water District, and South Essex Sewer District.

Currently we are assisting the Town of Harvard with a similar Munis chart revision effort.

We propose our invoicing will be monthly, net due in 15 days. Todd will be billed for his professional services at a rate of \$160. Based upon the initial estimate of service hours needed for this project, the cost is projected is estimated to be between \$12,800 and \$16,000. We are prepared to commence work upon receipt of a written notice to proceed from the Town.


We recognize the importance of this assignment. We welcome the opportunity to assist you and the Town of Canton. Please feel free to contact any of our former or present clients for the purpose of references.

Yours sincerely,

HASSETT FINANCIAL SERVICES, LLC



Todd K. Hassett  
Owner

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                         |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Finance Dept / Information Systems Division                                                                                                                                                                                                                                                                                                                                                                                          | <b>SUBMITTED BY:</b><br>Louis Jutras                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Server Replacement                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                         |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$12,000                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                         |
| <b>DESCRIPTION:</b><br>Fire Server Replacement                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                         |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This server was installed back in 2014 but it was already a few years old as it was repurposed from another installation. This is the only onsite server for the Fire Dept and it contains various records and software that is utilized by the Fire department.                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                         |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority).</i><br>_____ (#) OF _____ 6 _____ (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input checked="" type="checkbox"/> Will Reduce Cost by \$ _____ 800 _____<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                 | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                            |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                         |

FORM B - Fire Server





**TOWN OF CANTON  
FORM B - FISCAL 2023  
CAPITAL PROJECT / EQUIPMENT REQUEST**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                        |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Finance Dept / Information Systems Division                                                                                                                                                                                                                                                                                                                                                                                              | <b>SUBMITTED BY:</b><br>Louis Jutras                                                                                                                                                                                                                                                                                                                                                                   |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Server Replacement and software licensing                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$30,000                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>DESCRIPTION:</b><br>Replacement of physical server, consolidation of current virtual machines, licensing and support for current operating system and virtual environment                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>PURPOSE AND JUSTIFICATION:</b><br>The library server was installed back in 2014 and needs to be replaced. The operating system is out of date and this one server runs most of the network services for the library. This replacement will also include the upgrade to the time management software that is utilized by the public computers.                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ (#) OF _____ 6 _____ (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                               | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                           |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                        |

FORM B - Library Server



455 Fortune Blvd. Milford, MA 01757

## Quotation

To Louis Jutras Tel 781-575-6607 Quote No 89538  
 Co Town Of Canton Date 11/1/21  
 From Chris Coskren (P) 508-244-2451 (F) - (E) CCoskren@retrofit.com  
 Project Town of Canton Library Server

| Qty | Mfg Part No.   | OEM       | Description                                                                                                     | Unit Price | Ext Price |
|-----|----------------|-----------|-----------------------------------------------------------------------------------------------------------------|------------|-----------|
| 1   | 652503-B21     |           | HPE 10GbE 2p SFP+ 57810S Adptr                                                                                  | 520.71     | 520.71    |
| 1   | 726536-B21     |           | HPE 9.5mm SATA DVD-ROM Optical Drive                                                                            | 74.14      | 74.14     |
| 1   | 864279-B21     |           | 864279-B21                                                                                                      | 67.24      | 67.24     |
| 1   | 865414-B21     |           | HPE 800W FS Plat Ht Plg LH Pwr Sply Kit                                                                         | 210.22     | 210.22    |
| 1   | 874577-B21     |           | 874577-B21                                                                                                      | 33.48      | 33.48     |
| 1   | AF556A         |           | HPE 1.83m 10A C13-UL Dom Pwr Cord                                                                               | 6.06       | 6.06      |
| 1   | E6U59ABE       |           | HPE iLO Adv Elec Lic 1yr Support                                                                                | 232.86     | 232.86    |
| 1   | H39N2E         |           | HPE 3Y TC Bas ML350 Gen10 SVC                                                                                   | 767.02     | 767.02    |
| 15  | P00920-B21     |           | HPE 16GB 1Rx4 PC4-2933Y-R Smart Kit                                                                             | 289.51     | 4,342.65  |
| 4   | P18436-B21     |           | HPE 1.92TB SATA MU SFF SC MV SSD                                                                                | 1046.05    | 4,184.20  |
| 1   | P19791-B21     |           | Intel Xeon-S 4210R Kit for ML350 G10                                                                            | 735.76     | 735.76    |
| 1   | P21788-001     |           | HPE ML350 Gen10 4210R 1P 16G 8SFF Svr                                                                           | 2721.35    | 2,721.35  |
| 2   | P21868-B21     |           | HPE 32GB microSD RAID 1 USB Boot Drive                                                                          | 375.68     | 751.36    |
|     |                | VMWare    |                                                                                                                 |            |           |
| 1   | VS7-ESSL-KIT-C |           | VSPHERE 7 ESSL KIT 3 HOSTS MA X 2 PROCS PER HOST                                                                | 519.44     | 519.44    |
| 1   | VS7-ESSL-SUB-C |           | SUB ONLY VSPHERE 7 ESSL KIT 1YR                                                                                 | 72.21      | 72.21     |
|     |                | Microsoft |                                                                                                                 |            |           |
| 1   | 9EA-01070      |           | MICROSOFT : Microsoft WindowsServerDCCore 2019 English LocalGovernment OLP 16Licenses NoLevel CoreLic Qualified | 6142.30    | 6,142.30  |
| 50  | R1B-05793      |           | MICROSOFT : Microsoft Windows ServerCAL 2019 English LocalGovernment OLP 1License NoLevel DvcCAL                | 35.93      | 1,796.50  |
| 1   | EN-ENG         |           | Server assembly and ESXi 7 install, Server 2008 to 2019 migration, and existing VM migrations                   | 6125.00    | 6,125.00  |

**Fax Orders to Sales: 508.478.2040**

Please attach this quote when submitting the Purchase Order.

*Typographical Errors - RetroFit cannot be held bound or held responsible for typographical errors or omissions.*

**RetroFit is an approved vendor on state contracts ITC47, OFF27, ITS43 TECH SOL and ERATE**



# Quotation

Quote No 89538

Date 11/1/21


| Qty                                                                                                                                                             | Mfg Part No. | OEM | Description | Unit Price         | Ext Price          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|-----|-------------|--------------------|--------------------|
| INSTALLATION not included unless itemized above.                                                                                                                |              |     |             | Subtotal           | \$29,302.50        |
| PRICES SUBJECT TO CHANGE AT ANY TIME.                                                                                                                           |              |     |             | Shipping           | \$0.00             |
| QUOTE MAY INCLUDE PROMOTIONAL PRICING VALID THROUGH THE END OF THE CURRENT MONTH.<br>PRICES MAY CHANGE IF ORDER IS RECEIVED AFTER THE END OF THE CURRENT MONTH. |              |     |             | <b>GRAND TOTAL</b> | <b>\$29,302.50</b> |

**Fax Orders to Sales: 508.478.2040**

Please attach this quote when submitting the Purchase Order.

*Typographical Errors - RetroFit cannot be held bound or held responsible for typographical errors or omissions.*

**RetroFit is an approved vendor on state contracts ITC47, OFF27, ITS43 TECH SOL and ERATE**

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                               |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Finance Dept / Information Systems Division                                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>SUBMITTED BY:</b><br>Louis Jutras                                                                                                                                                                                                                                                                                                                                                                          |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Desktop Computer Replacements                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                               |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$32,500                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                               |
| <b>DESCRIPTION:</b><br>Desktop computer replacements                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                               |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This funding item will allow for the replacement of about 25 to 30 systems. We have not replaced any desktop system in the last year and now with the new hardware requirements for Windows 11 most of our systems are not capable of running the new operating system. It will probably take us 2 to 3 years before we need to migrate everything to a new operating system but we need to take steps and replace hardware on a yearly basis to make that deadline. |                                                                                                                                                                                                                                                                                                                                                                                                               |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ (#) OF _____ 6 _____ (#)<br><br><b>Expected Useful Life:</b> <i>(Check one)</i><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                          | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                                  |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                               |
| FORM B - PC's                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                               |




**DEAR LOUIS JUTRAS,**

Thank you for considering CDW•G LLC for your computing needs. The details of your quote are below. [Click here to convert your quote to an order.](#)

| QUOTE # | QUOTE DATE | QUOTE REFERENCE | CUSTOMER # | GRAND TOTAL |
|---------|------------|-----------------|------------|-------------|
| MKDJ137 | 9/28/2021  | HP 58 800 G6    | 1877748    | \$26,100.00 |

| ITEM                                                                                                                                                          | QTY | CDW#    | UNIT PRICE | EXT. PRICE  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|---------|------------|-------------|
| HP EliteDesk 800 G6 - SFF - Core i7 10700 2.9 GHz - vPro - 8 GB - SSD 256 G<br>Mfg. Part#: 26S67UT#ABA<br>Contract: SYNEX GSA SCHEDULE (SLED) (47QTCA19D00MM) | 20  | 6255992 | \$1,305.00 | \$26,100.00 |

| PURCHASER BILLING INFO                                                                                                                                                                |  | SUBTOTAL                                                                                                   |  |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|------------------------------------------------------------------------------------------------------------|--|
| Billing Address:<br>TOWN OF CANTON<br>ACCTS PAYABLE<br>801 WASHINGTON ST<br>MIS DEPT<br>CANTON, MA 02021-2554<br>Phone: (617) 821-5010<br>Payment Terms: Net 30 Days-Govt State/Local |  | \$26,100.00                                                                                                |  |
| DELIVER TO<br>Shipping Address:<br>TOWN OF CANTON<br>LOUIS JUTRAS<br>801 WASHINGTON ST<br>MIS DEPT<br>CANTON, MA 02021-2554<br>Phone: (617) 821-5010<br>Shipping Method: UPS Ground   |  | SHIPPING \$0.00                                                                                            |  |
|                                                                                                                                                                                       |  | SALES TAX \$0.00                                                                                           |  |
|                                                                                                                                                                                       |  | GRAND TOTAL \$26,100.00                                                                                    |  |
|                                                                                                                                                                                       |  | Please remit payments to:<br>CDW Government<br>75 Remittance Drive<br>Suite 1515<br>Chicago, IL 60675-1515 |  |


 Dan Palmieri | (855) 822-4918 | [dan.palmieri@cdwg.com](mailto:dan.palmieri@cdwg.com)

| FMV TOTAL   | FMV LEASE OPTION | BO TOTAL    | BO LEASE OPTION |
|-------------|------------------|-------------|-----------------|
| \$26,100.00 | \$706.01/Month   | \$26,100.00 | \$813.54/Month  |

Monthly payment based on 36 month lease. Other terms and options are available. Contact your Account Manager for details. Payment quoted is subject to change.

**Why finance?**

- Lower Upfront Costs. Get the products you need without impacting cash flow. Preserve your working capital and existing credit line.
- Flexible Payment Terms. 100% financing with no money down, payment deferrals and payment schedules that match your company's business cycles.
- Predictable, Low Monthly Payments. Pay over time. Lease payments are fixed and can be tailored to your budget levels or revenue streams.


- **Technology Refresh.** Keep current technology with minimal financial impact or risk. Add-on or upgrade during the lease term and choose to return or purchase the equipment at end of lease.
- **Bundle Costs.** You can combine hardware, software, and services into a single transaction and pay for your software licenses over time! We know your challenges and understand the need for flexibility.

**General Terms and Conditions:**

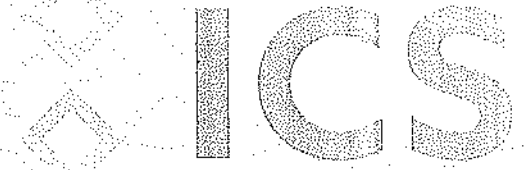
This quote is not legally binding and is for discussion purposes only. The rates are estimate only and are based on a collection of industry data from numerous sources. All rates and financial quotes are subject to final review, approval, and documentation by our leasing partners. Payments above exclude all applicable taxes. Financing is subject to credit approval and review of final equipment and services configuration. Fair Market Value leases are structured with the assumption that the equipment has a residual value at the end of the lease term.

This quote is subject to CDW's Terms and Conditions of Sales and Service Projects at <http://www.cdw.com/content/terms-conditions/product-sales.aspx>  
For more information, contact a CDW account manager

© 2021 CDW•G LLC 200 N. Milwaukee Avenue, Vernon Hills, IL 60061 | 800.808.4239

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p><b>TOWN OF CANTON</b><br/> <b>FORM B - FISCAL 2023</b><br/> <b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>DEPARTMENT:</b><br/>                 Finance Dept / Information Systems Division</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <p><b>SUBMITTED BY:</b><br/>                 Louis Jutras</p>                                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>                 Backup Appliance</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>                 \$61,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>DESCRIPTION:</b><br/>                 Replacement of existing backup appliance</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>                 The current backup device lacks functionality of newer backup devices. An Immutable backup location is the best way to protect and recover from disaster events. With various changes in the environment in the last year the current device does not have the capacity to cover all of our data backup storage. Our support contract for the current device will expire in June of 2023 so when trying to account for the budget cycle, functionality, and support we wanted to incorporate this item into our current plan</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety<br/> <input type="checkbox"/> Required by Law or Mandate<br/> <input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input checked="" type="checkbox"/> Planned Project or Replacement<br/> <input type="checkbox"/> Unplanned Project or Replacement<br/> <input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p>                                                                                                          | <p><b>Departmental Priority Ranking:</b><br/>                 Please rank this request out of your total requests for this year: (#1 as top priority)<br/>                 _____ (#) OF _____ 6 _____ (#)</p> <p><b>Expected Useful Life:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br/> <input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____<br/> <input checked="" type="checkbox"/> No Impact<br/> <input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                                                                                                            | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br/> <input checked="" type="checkbox"/> Revenue Neutral (no impact)<br/> <input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                             |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |
| <p>FORM B - Backup</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                         |

AI3 ARCHITECTS, LLC  
1000 W. 10th St., Suite 100  
Wichita, KS 67203  
Phone: 781.612.1000



AI3 ARCHITECTS, LLC  
1000 W. 10th St., Suite 100  
Wichita, KS 67203  
Phone: 781.612.1000

## Replacement Storage Unit

QUOTE # 030211 V1

DATE: 03/11/11

Town of Canton

DATE: 03/11/11

Gaile Pranckevicius



### Statement of Work

This Statement of Work ("SOW") is governed under the Master Service Agreement (the "Agreement") between **INTEGRATED COMPUTER SOLUTIONS OF VESTAL LLC ("ICS")**, and the client whose name and authorized signatory appear in the signature block of this SOW ("**Client**"), below. Capitalized terms in this SOW will have the same meaning as those in the Agreement, unless otherwise indicated below.

### Change Log

|                                                                                                                                                                                                               |   |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---|
| Original                                                                                                                                                                                                      | 1 |
| <p><b>Please Note:</b> This quote is budgetary and cannot be used to place an order. We have included an estimated labor charge, but this is subject to change pending a full scope of work and proposal.</p> |   |



ExaGrid Storage

\* Contains Optional Items

|                                                                                                                                                    |   |             |             |                      |             |
|----------------------------------------------------------------------------------------------------------------------------------------------------|---|-------------|-------------|----------------------|-------------|
| ExaGrid EX36000 Storage Unit - Disk<br>Capacity: Raw: 96 TB, Useable: 72 TB. 36 TB Full Backup. Includes 1 - 10GB Add-on card. Disks are Encrypted | 1 | \$68,981.00 | \$31,041.00 | \$37,940.00          | \$37,940.00 |
| ExaGrid 10 Gigabit Ethernet Dual Port SFP + TWINAX (Copper) - Add on                                                                               | 1 | \$1,600.00  | \$1,600.00  | \$0.00               | \$0.00      |
| ExaGrid 1 Year 8x5 Maintenance and Support                                                                                                         | 1 | \$6,000.00  | \$600.00    | \$5,400.00           | \$5,400.00  |
| ExaGrid 3 Year 8x5 Maintenance and Support                                                                                                         | 1 | \$16,000.00 | \$1,600.00  | \$14,400.00          | \$14,400.00 |
|                                                                                                                                                    |   |             |             | * Optional Subtotal: | \$5,400.00  |
|                                                                                                                                                    |   |             |             | Subtotal:            | \$52,340.00 |

Services

|                                                                                                                                                                                                                                                                        |          |    |                      |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------|----|----------------------|
| EST-SYSENG LABOR ESTIMATE - SYSTEMS ENGINEER                                                                                                                                                                                                                           | \$215.00 | 40 | \$8,600.00           |
| <p>Estimate only; Actual time may be less than or exceed the estimate given. Actual labor will be billed separately. Client is responsible for full payment of the actual time used, regardless of estimate given. Labor estimate does not include travel charges.</p> |          |    |                      |
|                                                                                                                                                                                                                                                                        |          |    | Subtotal: \$8,600.00 |

## Replacement Storage Unit



**ICS - New England**  
 Gaile Pranckevicius  
 508-471-9724  
 gpranckevicius@icscomplete.com

**Town of Canton**  
 801 Washington Street  
 Room 206 & 211, Second Floor  
 Canton, MA 02021  
 Louis Jutras  
 (781) 821-5069  
 ljutras@town.canton.ma.us

**Quote #: 030211**  
 Version: 1  
 Delivery Date: 02/11/2021  
 Expiration Date: 30/11/2021

### Quote Summary

|                 |                    |
|-----------------|--------------------|
| ExaGrid Storage | \$52,340.00        |
| Services        | \$8,600.00         |
| Subtotal:       | <b>\$60,940.00</b> |
| Shipping:       | <b>\$525.00</b>    |
| Total:          | <b>\$61,465.00</b> |

### \*Optional Expenses

|                    |                   |
|--------------------|-------------------|
| ExaGrid Storage    | \$5,400.00        |
| Optional Subtotal: | <b>\$5,400.00</b> |

Net 30 Days

### ICS - New England

Signature:   
 Name: Gaile Pranckevicius  
 Title: Account Executive  
 Date: 02/11/2021

### Town of Canton

Signature: \_\_\_\_\_  
 Name: Louis Jutras  
 Date: \_\_\_\_\_

**CHARLES E. DOODY**  
CHIEF OF DEPARTMENT  
cdood@town.canton.ma.us



**SCOTT E. JOHNSON**  
DEPUTY CHIEF  
sjohnson@town.canton.ma.us

**Town of Canton, Massachusetts**  
**FIRE DEPARTMENT**

99 REVERE STREET, CANTON, MA 02021  
BUSINESS: 781-575-6654 FAX: 781-821-0956

**EMERGENCY 911**

November 8, 2021

Mr. William Scollins  
Finance Director  
Town of Canton

Dear Randy:

Please find attached seven (7) Capital Budget requests for the Canton Fire Department for FY 2023 and an updated Form A. The total amount of requested is \$463,000 with \$180,000 in cash capital and \$283,000 in debt capital. The following is summary of the Fire Department's five Capital requests:

1. Complete Floor replacement project @ Station 2 - \$24,000
2. Replace Ford F450 Brush Truck/Squad - \$230,000
3. Replace Deputy Fire Chief's Vehicle - \$65,000
4. Replace Fire Prevention Vehicle - \$55,000
5. Upgrade Diesel Exhaust Systems - \$23,000
6. Painting interior Station 2 - \$15,000
7. EMS Simulation Mannequin - \$53,000

I look forward to working with you, the Board of Selectmen and the Capital Outlay Committee on the Fire Department's FY 23 Capital Plan.

Yours truly,

A handwritten signature in blue ink that reads "Charles E. Doody".

Charles E. Doody  
Chief of the Department  
Canton Fire Department

Cc: Scott Johnson, Deputy Fire Chief

**PLEGED TO FIRE PREVENTION**

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2021 and ending with 2026  
(000's omitted)

|                 |        |        |        |        |        |                 |                 |
|-----------------|--------|--------|--------|--------|--------|-----------------|-----------------|
| FY2021<br>VOTED | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 | 5-Year<br>TOTAL | 6-Year<br>TOTAL |
|-----------------|--------|--------|--------|--------|--------|-----------------|-----------------|

**FIRE DEPARTMENT**

**CASH CAPITAL**

| VEHICLES                             | FY2021   | FY2022     | FY2023     | FY2024    | FY2025    | FY2026   | 5-Year<br>TOTAL | 6-Year<br>TOTAL |
|--------------------------------------|----------|------------|------------|-----------|-----------|----------|-----------------|-----------------|
| Car-1 Chief                          |          |            |            | 64        |           |          | 64              | 64              |
| Car-2 Deputy                         |          | 61         | 63         |           |           |          | 124             | 124             |
| Command Car C-3                      |          |            |            |           | 75        |          | 75              | 75              |
| Car-4 Fire Prevention                |          |            | 55         |           |           |          | 55              | 55              |
| Car-6 EMS                            |          |            |            |           |           |          | 0               | 0               |
| Pick up                              |          | 63         |            |           |           |          | 63              | 63              |
| American LaFrance                    |          |            |            |           |           |          | 0               | 0               |
| 2017 Ford Explorer # A711            |          |            |            |           |           |          |                 |                 |
| 2015 Ford Explorer # 5963            |          |            |            |           |           |          |                 |                 |
| 2019 Ford Explorer # 8598            |          |            |            |           |           |          |                 |                 |
| 2014 Ford Explorer MFA461            |          |            |            |           |           |          |                 |                 |
| 2010 Ford Explorer # 3255            |          |            |            |           |           |          |                 |                 |
| 2008 Ford F-350 XL Super Duty # 5965 |          |            |            |           |           |          |                 |                 |
| 1925 LaFrance # 5979                 |          |            |            |           |           |          |                 |                 |
| <b>TOTAL-VEHICLES</b>                | <b>0</b> | <b>124</b> | <b>118</b> | <b>64</b> | <b>75</b> | <b>0</b> | <b>381</b>      | <b>381</b>      |

**TECHNOLOGY**

|                                           |           |          |          |          |          |          |           |           |
|-------------------------------------------|-----------|----------|----------|----------|----------|----------|-----------|-----------|
| Fire Records & Dispatch Software          | 62        |          |          |          |          |          | 62        | 62        |
| Station Alerting System available for use |           |          |          |          |          |          |           |           |
| <b>TOTAL-TECHNOLOGY</b>                   | <b>62</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>62</b> | <b>62</b> |

**EQUIPMENT**

|                                                 |           |           |          |           |          |          |           |           |
|-------------------------------------------------|-----------|-----------|----------|-----------|----------|----------|-----------|-----------|
| Generator #1 (Station 1)                        |           |           |          |           |          |          |           |           |
| Boat-1 Trailer                                  |           |           |          |           |          |          |           |           |
| Boat-2 Trailer                                  |           |           |          |           |          |          |           |           |
| Trailer                                         |           |           |          |           |          |          |           |           |
| Emerg Lighting Plant                            |           |           |          |           |          |          |           |           |
| Boat 1                                          |           |           |          | 25        |          |          | 25        | 25        |
| Boat 2                                          |           |           |          | 25        |          |          | 25        | 25        |
| Washer & Drying Cabinet for Gear                |           |           |          |           |          |          |           |           |
| Radio Master Boxes                              |           |           |          |           |          |          |           |           |
| Other Equipment                                 |           |           |          |           |          |          |           |           |
| Replace Hurst Extrication Equipment (Station 1) |           | 18        |          |           |          |          | 18        | 18        |
| Turnout Gear                                    |           |           |          |           |          |          |           |           |
| Thermal Imaging Camera                          |           | 20        |          |           |          |          | 20        | 20        |
| <b>TOTAL-EQUIPMENT</b>                          | <b>20</b> | <b>38</b> | <b>0</b> | <b>50</b> | <b>0</b> | <b>0</b> | <b>88</b> | <b>88</b> |

**BUILDING & GROUNDS IMPROVEMENTS**

|                     |  |  |           |  |  |  |           |           |
|---------------------|--|--|-----------|--|--|--|-----------|-----------|
| Overhead Doors      |  |  |           |  |  |  |           |           |
| Repair Fire Alarm   |  |  |           |  |  |  |           |           |
| Repair Fire Alarm 2 |  |  | 24        |  |  |  | 24        | 24        |
| <b>TOTAL</b>        |  |  | <b>24</b> |  |  |  | <b>24</b> | <b>24</b> |

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2021 and ending with 2026  
(000's omitted)

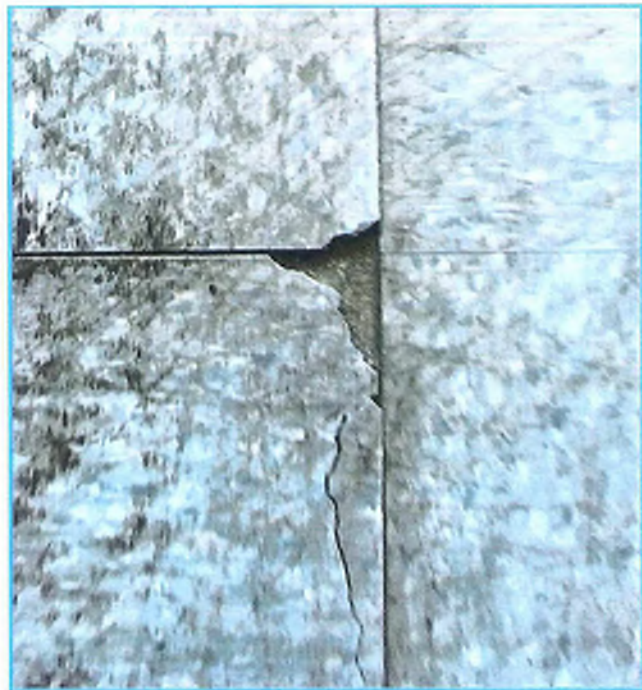
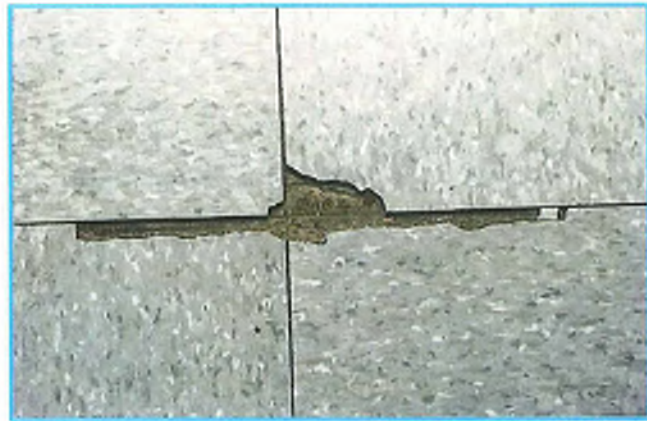
|                                      | FY2021<br>VOTED | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 | 5-Year<br>TOTAL | FY2027 | 6-Year<br>TOTAL |
|--------------------------------------|-----------------|--------|--------|--------|--------|--------|-----------------|--------|-----------------|
| Paint Ceilings Walls Sta. 2          |                 |        | 16     |        |        |        | 16              |        | 16              |
| Diesel Exhaust System Upgrade        |                 |        | 22     |        |        |        | 22              |        | 22              |
| <b>TOTAL - BUILDINGS, ETC</b>        | 0               | 0      | 62     | 0      | 0      | 0      | 62              | 0      | 62              |
| <b>TOTAL CASH CAPITAL</b>            | 82              | 162    | 180    | 114    | 75     | 0      | 531             | 0      | 531             |
| <b>DEBT</b>                          |                 |        |        |        |        |        |                 |        |                 |
| <b>VEHICLES</b>                      |                 |        |        |        |        |        |                 |        |                 |
| Engine 2 Replace # 7235              |                 |        |        |        |        | 750    | 750             |        | 750             |
| Squad 1 Replace # 3272               |                 |        |        |        |        |        | 0               |        | 0               |
| Squad 2 Replace # 3270               |                 |        | 230    |        |        |        | 230             |        | 230             |
| E-6 Replace # 3267                   |                 |        |        |        | 750    |        | 750             |        | 750             |
| L-1 # 3266                           |                 |        |        |        |        |        | 0               | 1.1    | 1               |
| L-2 # 3736                           |                 |        |        |        |        |        | 0               |        | 0               |
| T-1 (previously E-4) # 3268          |                 |        |        |        |        |        | 0               |        | 0               |
| F.A. (Fire Alarm) # 3275             |                 |        |        |        |        |        | 0               |        | 0               |
| <b>TOTAL - VEHICLES</b>              | 0               | 0      | 230    | 0      | 750    | 750    | 1,730           | 1.1    | 1,731           |
| <b>Space Needs</b>                   |                 |        |        |        |        |        |                 |        |                 |
| Fire Station 2 Replacement           |                 |        |        |        |        |        |                 |        |                 |
| Fire Station 1 Replacement           |                 |        |        |        |        |        |                 |        |                 |
| <b>TOTAL - SPACE NEEDS</b>           | 0               | 0      | 0      | 0      | 0      | 0      | 0               | 0      | 0               |
| <b>Equipment</b>                     |                 |        |        |        |        |        |                 |        |                 |
| Airpacks (SCBA)                      |                 |        |        |        |        |        | 0               |        | 0               |
| Portable/Mobile Radios               |                 |        |        |        | 200    |        | 200             |        | 200             |
| Radio Master Box/Fire Alarm Upgrades |                 |        |        |        |        |        | 0               |        | 0               |
| Thermal Imaging Cameras              |                 |        |        | 105    |        |        | 105             |        | 105             |
| Air Compressor System                |                 |        | 155    |        |        |        | 155             |        | 155             |
| Sim Mannequin EMS                    |                 |        | 53     |        |        |        | 53              |        | 47              |
| <b>TOTAL - EQUIPMENT</b>             | 0               | 155    | 53     | 105    | 200    | 0      | 513             | 0      | 513             |
| <b>TOTAL DEBT</b>                    | 0               | 155    | 283    | 105    | 960    | 750    | 2,243           | 1      | 2,244           |
| <b>TOTAL - FIRE DEPARTMENT</b>       | 82              | 317    | 463    | 219    | 1,025  | 750    | 2,774           | 1      | 2,775           |

Form A Fire Dept  
6-26-2020 11:19 AM  
11/8/2021 12:19 PM

| <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                        |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Complete Floor replacement at Station 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$24,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>This is a continuation of a project that was approved in FY21. The floor system at Station is failing and presents a hazard to employees working in the building. The tiles must be removed and replaced on floors one and two. In addition, there is a large volume of furniture and equipment that must be removed from the building and stored in temporary trailers in order to complete the project in a timely manner and reduce the amount of time crews are unable to respond from the station.                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This project was unable to be completed for two reasons. First, the company that won the bid went out of business. The second bidder's price exceeded the available budget to complete the project. Additionally, the cost to move furniture and equipment was not included in the original request because we felt as though department personnel to move furniture and equipment in phases to facilitate the floor replacement. Upon further review, this method would extend the length of the project for several weeks and hamper emergency response from that station. There is \$21,097 available from the original |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                                                            | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 1 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>See attached quotation and pictures</i>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2018

**STATION 2 FLOORS**







**\*Inclusions:**

- \*Manufacturers Standard warranty
- \* All work, including deliveries, to be performed during REGULAR hours.
- \*REGULAR = 7am-3pm weekdays
- \* Includes limited moisture testing, with one reading any additional testing shall be provided by others.
- \* Assumes free use of hoists, elevators & locking onsite storage for all materials and equipment.
- \* Assumes availability & free use of water, electricity & adequate lighting.
- \* Assumes clean up to central location or on-site dumpster provided by Capital Carpet.
- \* All labor to be Union.
- \* All pricing shall be good for 60 days.
- \*Removing Existing VCT & Wall Base
- \*Includes 1/16" Skim Coat as floor preparation
- \*Includes Wash and Wax of new VCT

**\* Exclusions:**

- \*PREMIUM = Saturdays or after 3pm weekdays
- \*DOUBLE TIME = Sundays, holidays and after 8 hours of premium time
- \* Excludes Massachusetts Sales / Use tax of 6.25%.
- \* Excludes any moisture mitigation or PH correction systems to sub-floor.
- \* Exclusions: P&P Bonds, Protection, Abatement, **Floor Preparation other than listed above,** Removal of Substrate Coatings, Sealers & Curing Compounds, **Moving Furniture,** Cleaning other than job site clean-up
- \* Any hand written changes or alterations to this proposal not agreed upon and initialed by an authorized representative of Capital Carpet will not be a recognized part of the final contract terms.
- \*Electrical hook up for shot blasting equipment

Sincerely,

*Alan B. Mousseau*  
Chief Estimator  
alanm@capitalcarpetonline.com

ACCEPTANCE

By: \_\_\_\_\_

Name: \_\_\_\_\_ Title: \_\_\_\_\_ Date: \_\_\_\_\_



September 10, 2021

HEATHER CAHILL  
CANTON PUBLIC WORKS  
TOWN HALL  
801 WASHINGTON ST.  
CANTON, MA 02021

**Re: CANTON FIRE STATIONS VCT**  
Bid # F0000868  
7 Sassamon Street

Dear Steven:

Thank you for the opportunity to submit the following proposal for the above referenced project.

Scope of Work:

7 Sassamon Street VCT Replacement

|                        |                    |
|------------------------|--------------------|
| DEMOLITION             | \$9,128.00         |
| FLOOR PREP             | \$5,244.00         |
| VINYL COMPOSITION TILE | \$12,547.00        |
| RUBBER WALL BASE 4"    | \$2,951.00         |
| <b>Total Price</b>     | <b>\$29,870.00</b> |

Please see attached page for Qualifications.

64 Industrial Way • Wilmington, MA 01887 • Office (781) 935-9430 • Fax (781) 935-5737



181 Campanelli Pkwy  
Stoughton, MA 02072

Tel#: 800-NICEJOB  
Fax: (781) 436-4750

### **ORDER FOR SERVICE**

Steven Choiniere

Date: 9/24/2021  
Job#: 153454  
Sales Rep: Holly Diauto

Dear Steven Choiniere:

Thank you for choosing Isaacs Moving and Storage. Below are the details of your move:

Origin: Canton Fire Dept #2 7 Sassamon St Canton, MA 02021  
Destination: Moving goods to storage containers on-site  
Move Dates: TBD - Summer 2022  
Estimated Volume: 2,200 cubic ft.

**Total Estimated Cost: \$12,100.00** (see details below)

#### **Phase I - Move goods into storage containers located on-site:**

Movers Required : 6  
Trucks Required: 2  
Hourly Rate: \$574.00 - Prevailing wage rates  
Estimated Labor\*: 09:00 (Hours)  
Fuel: \$36.00  
Estimated Materials: Charged per actual use  
Blanket Rental: \$975.00 (65 blankets at \$15.00 each)

Phase I Estimated Cost: **\$6,177.00**

#### **Phase II - Move goods from storage containers located on-site back into building:**

Movers Required : 6  
Trucks Required: 2  
Hourly Rate: \$574.00 - Prevailing wage rates  
Estimated Labor\*: 08:00 (Hours)  
Fuel: \$36.00  
Estimated Materials: Charged per actual use  
Blanket Rental Credit: -\$455.00 (credit of \$7.00 for each blanket returned - assuming all 65 are returned)

Phase II Estimated Cost: **\$4,173.00**

3rd Party Service: **\$1,750.00**

- Includes disassembly & reassembly of wall mounted exercise equipment, weight rack, and treadmill
- This service is to be paid during phase I

- \* Labor is marked from the time the movers arrive at the origin until they finish unloading at the destination
- \*\* Travel time is marked from the time the movers leave our office until they arrive at the pick up location & the time that it takes from the delivery address back to our office

**There is a 4 hour daily minimum on the total hours charged. Rates shown are valid for 15 days.**

The above charges are for the services shown. Any additional services will be charged as used. **The final charge will be based upon the actual time and materials necessary to complete your move**, plus the flat travel time to and from our office, plus any optional valuation coverage and other optional or necessary services.

**Payment Terms:** We accept bank or certified check, money order, cash, and ACH (personal check - electronic by phone – routing and account number) at no additional fee. Payment by credit/debit card will incur a 2.5 % convenience fee. Payments are to be paid at the conclusion of each day based on the work that was done.

A 25% deposit (non-refundable within 5 business days of pickup) is required to book the job. To formally book this job please sign this form and return it as soon as possible.

Sincerely,

Holly Diauto  
Isaacs Moving And Storage  
Director of Sales  
(800) 642-3562 Ext: 746  
hdiauto@isaacsmoving.com

Name: \_\_\_\_\_ Signature: \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_



| <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                        |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>SQUAD 2 REPLACEMENT                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$240,000                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Replace 2001 Ford 450 squad/brush truck. This is a multi-purpose truck that responds to brush fires and areas of Canton that are not accessible to traditional fire apparatus. (Blue Hills Reservation, Glen Echo Lake area, parking garages). The truck is also used to tow our rescue boats to water and ice rescue emergencies in addition to the technical rescue trailer and emergency management trailer. Finally, Squad 2 is often staffed with paramedics during storms and responds to medical calls when |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This truck has reached the end of its 20-year anticipated service life. Although the vehicle has low miles (approx. 10,000) the fire pump, piping and chassis are of sufficient age that the reliability and durability of the vehicle cannot be guaranteed. Much of the equipment carried on the vehicle will be able to be transferred to the new unit.                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                      | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 2 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                          | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2018

SQUAD 2





**FW: Brush truck budget pricing**

From: Aonghus O'Nia (aonia@greenwoodev.com)

To: winac1974@yahoo.com

Date: Friday, October 29, 2021, 03:58 PM EDT

Hi Captain

This is what I am looking at for the Brush truck:

**CHASSIS**

- 2023 Ford F550
  - Dual rear wheels (steel)
  - Four wheel drive
  - Payload Plus Upgrade Package (19,500 lb. GVW, 12,160 lb. payload)
  - Heavy duty front suspension (7500 lb. Front GAWR)
  - 168" Wheelbase, 60" cab to axle
  - 6.7L V8 diesel engine
  - 6-speed automatic transmission
  - 4.30 ltd slip (also available in 4.10 & 4.88)
  - Max traction 225/70Rx19.5G 4x4 tires
  - Super cab painted race red
  - Vinyl floors
  - Vinyl bench seats
  - XL trim package
  - Daytime running lights
  - Power equipment group package (power windows, locks, heat & remote windows)
  - Utility lighting system
  - Operator Commanded Regeneration
  - Electronic-Shift-On-the-Fly
  - Dual HD alternators
  - Backup alarm
  - Backup camera
  - Front wheel well liners
  - Trailer brake controller
  - Transfer case skid plates
- Nerf style cab running boards
- 9,000 lb. Front hitch with winch power
- 16,000 lb. Class V Rear hitch with winch power & trailer plug
- Black steel brush guard
- Pflimovent adaptor

**BODY**

- Console with plates for Whelen siren controls, switches, USB & 12V outlets, map light, radio and document storage
- Red/white dome lights switched via switch & door open



### BODY

- 94" W x 120" L Magnum Aluminum Platform
  - Extruded Aluminum Box Tube Floor
  - 1/4" Smooth Aluminum Mill Finish Rear Apron w/ LED ST/TL & BU'S
  - Recessed LED Body Lights, mud flaps, backup alarm
- Rear body rubber D-bumpers
- Side & front body c-channel rub rails with reflective insert
- Custom fabricated aluminum side compartments (2) with ROM roll up doors
- Custom fabricated aluminum transverse compartments with ROM roll up doors
- Underbody compartments (2) 30"w x 18"h x 18"d with flip down doors.
- Aluminum diamond plate side skirts.
- Mateflex matting in all compartment floors
- Slidemaster pull out tool boards in front transverse compartment. One each side or dual direction full depth.
- Aluminum diamond plate hose trays (2)
- Folding steps & grab rail at rear

### PUMP & TANK

- 300 Gal UPF Defender 1 custom water tank with sump
- 10 Gal foam cell
- 2 x Hannay aluminum polished reels with electric rewind for up to 200' of 1" or 300' of 3/4" booster hose
- CET SM-PFP-25HPDSL-MR Skid mounted pump (see attached for pump curve)
  - Diesel 25Hp Kubota engine connected to truck fuel tank
  - Stainless steel intake & discharge manifold
  - 1" Akron tank fill
  - 1 x 1.5NHF 1 1/2" Akron ball valve discharges with cap and chain
  - 1 x 1.5NHF 1 1/2" Akron ball valve discharges preconnected to hosebed
  - 2 x 1" Akron hose reel valves
  - Pressurize air fitting to blow out line
  - Suction FF (2) Standard suction with two 2 1/2" Akron ball valve & 2.5 NHF INLET
- 2.5" direct tank fill with valve
- Scotty around the pump foam system
- Class 1 LED tank level gauge
- Removable diamond plate deck over rear pump. Removable vinyl flaps (3) over reel and pump openings.

### ELECTRICAL

- Tecniq LED compartment strip lights (2 per compartment)
- Tecniq P06 LED work lights (2,000lm) 1 each body side and 2 at rear body
- Tecniq D07 LED ground/step lights on body front, sides, above winch mounts, above reels, above folding steps, above pump compartment.
- Whelen Liberty duo red/white lightbar with take down, alley lights, Opticom, traffic advisor
- 16x Whelen Ion-T LED warning lights (duo red/white in front) & 2 x Whelen strip-lite plush duo red amber
- All lights wired to Whelen cencom core full vehicle programmable system
- 2 x rear Tecniq P-06 2000lm LED Work lights switched at pump controls
- Whelen 100W Siren & PA
- Kussmaul auto eject & charge

### PAINT & LETTERING

- Paint Cab FLNA 3225 red
- Paint outside of outside wheels red
- Lettering & reflective stripe
- 3M diamond grade rear body & skirt reflective chevron

**EQUIPMENT**

- Warn portable winch zenon 10s 10,000 lb

**MISC**

- \$5,000 mounting allowance

**OPTIONS (PRICED SEPERATELY)**

- White cab paint red from windows down leave roof white DEDUCT: \$1,500
- Pump hose heater to prevent pump freezing during winter with switchable pump and shut off valves ADD: \$1,700

A base budget price for this truck (not including the options priced separately above) would be \$215,000. We estimate that it will take 4 months to build once we receive the chassis.

Let me know if you want to make any changes or if I left out anything we discussed.

I have attached a drawing with example designs (bear in mind that anything in the drawing that doesn't work for you can be changed).

Again, thank you for the opportunity to provide budget pricing for this project. If you choose to proceed with this project, we would happy to assist in generating a detailed specification. Feel free to contact me if I can be of any further assistance.

Regards

Aonghus

---

Aonghus Ó Nia

Greenwood Emergency Vehicles, Inc.

530 John Diestch Blvd

North Attleboro MA 02763

Phone: (508) 809-9845

Cell: (617) 877-8489

Fax: (508) 695-9047

[AONia@GreenwoodEV.com](mailto:AONia@GreenwoodEV.com)

02/28/2021

The information contained in this communication from the sender is confidential. It is intended solely for use by the recipient and others authorized to receive it. If you are not the recipient, you are hereby notified that any disclosure, copying, distribution, or other action in reliance on the contents of this information is strictly prohibited and may be unlawful.



SM-PFP-25hp-DSL-MR.pdf  
540,380



60192-00-01 Stoughton Brush.pdf  
246,749



QUOTE-1595072

Quote Date:11/05/2021  
 Expiration Date:01/01/2022  
 Quote Created By:  
 Madeline DiLeonardi  
 Maddie.DiLeonardi@  
 motorolasolutions.com

End Customer:  
 CANTON, TOWN OF

Payment Terms:30 NET

| Line # | Item Number            | Description                                                                      | Qty | List Price | Sale Price | Ext. Sale Price |
|--------|------------------------|----------------------------------------------------------------------------------|-----|------------|------------|-----------------|
|        | APX™ 8000 Series       | APX8000                                                                          |     |            |            |                 |
| 1      | H98SDF9P*W6BN          | APX8000 UHF R2 MODEL 2.5<br>PORTABLE                                             | 2   | \$3,268.00 | \$2,483.68 | \$4,967.36      |
| 1a     | Q58AL                  | ADD: 3Y ESSENTIAL<br>SERVICE                                                     | 2   | \$121.00   | \$121.00   | \$242.00        |
| 1b     | H358U                  | ADD: CONVENTIONAL<br>OPERATION                                                   | 2   | \$500.00   | \$380.00   | \$760.00        |
| 1c     | QA01427AB              | ALT: IMPACT GREEN<br>HOUSING                                                     | 2   | \$25.00    | \$19.00    | \$38.00         |
| 1d     | Q806BM                 | ADD: ASTRO DIGITAL CAI<br>OPERATION                                              | 2   | \$515.00   | \$391.40   | \$782.80        |
| 1e     | Q629AK                 | ENH: AES ENCRYPTION AND<br>ADP                                                   | 2   | \$475.00   | \$361.00   | \$722.00        |
| 2      | LSV00Q00381A           | ENGRAVING SERVICES                                                               | 2   | \$57.14    | \$57.14    | \$114.28        |
| 3      | PMNN4547A              | BATT IMPRES 2 LIION<br>TIA4950 R IP68 3100T                                      | 2   | \$169.00   | \$116.61   | \$233.22        |
| 4      | PMAS4001A              | UHF (380-520) /7-800 GPS                                                         | 2   | \$31.00    | \$21.39    | \$42.78         |
| 5      | NNTN8575A              | AUDIO ACCESSORY-<br>REMOTE SPEAKER<br>MICROPHONE,IMPRES XE<br>RSM XT CABLE GREEN | 2   | \$538.00   | \$371.22   | \$742.44        |
|        | APX™ 8500 / Enh Series | APX8500                                                                          |     |            |            |                 |



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.  
 Motorola Solutions, Inc. 900 West Monroe, United States - 60661 - #: 36-1115800



QUOTE-1595072

| Line # | Item Number  | Description                                             | Qty | List Price | Sale Price | Ext. Sale Price |
|--------|--------------|---------------------------------------------------------|-----|------------|------------|-----------------|
| 6      | M25SSS9PW1AN | APX6500 UHF R2 MID<br>POWER MOBILE                      | 1   | \$2,633.00 | \$2,001.08 | \$2,001.08      |
| 6a     | B18CR        | ADD: AUXILIARY SPKR 7.5<br>WATT APX                     | 1   | \$60.00    | \$45.60    | \$45.60         |
| 6b     | G843AH       | ADD: AES ENCRYPTION AND<br>ADP                          | 1   | \$475.00   | \$361.00   | \$361.00        |
| 6c     | G806BE       | ADD: ASTRO DIGITAL CAI<br>OPERATION                     | 1   | \$515.00   | \$391.40   | \$391.40        |
| 6d     | GA00235AA    | ADD: NO GPS ANTENNA<br>NEEDED APX                       | 1   | \$0.00     | \$0.00     | \$0.00          |
| 6e     | G67EG        | ADD: REMOTE MOUNT E5<br>MID POWER                       | 1   | \$297.00   | \$225.72   | \$225.72        |
| 6f     | G444AE       | ADD: APX CONTROL HEAD<br>SOFTWARE                       | 1   | \$0.00     | \$0.00     | \$0.00          |
| 6g     | G48BD        | ENH: CONVENTIONAL<br>OPERATION APX6500                  | 1   | \$500.00   | \$380.00   | \$380.00        |
| 6h     | GA01670AA    | ADD: APX E5 CONTROL<br>HEAD                             | 1   | \$852.00   | \$495.52   | \$495.52        |
| 6i     | W22BA        | ADD: STD PALM<br>MICROPHONE APX                         | 1   | \$72.00    | \$54.72    | \$54.72         |
| 6j     | G78AT        | ENH: 3 YEAR ESSENTIAL<br>SVC                            | 1   | \$176.00   | \$176.00   | \$176.00        |
| 6k     | GA00505AA    | ADD: ANT 2DB WIDEBAND<br>380-520 MHZ                    | 1   | \$50.00    | \$38.00    | \$38.00         |
| 7      | NNTN7624C    | CHARGER,CHR IMP VEH EXT<br>NA/EU KIT                    | 2   | \$472.00   | \$325.68   | \$651.36        |
| 8      | NNTN8880A    | CHARGER, SINGLE-UNIT,<br>IMPRES 2, 3A, 115VAC,<br>US/NA | 2   | \$157.00   | \$108.33   | \$216.66        |

Grand Total

**\$13,681.94(USD)**

## Notes:

- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.

Motorola Solutions, Inc.: 500 West Monroe, United States - 60501 - #: 36-1115800

| <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                 |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>REPLACE DEPUTY FIRE CHIEF VEHICLE                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$65,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>DESCRIPTION:</b><br>Replace 2015 Deputy Chief's vehicle with a new 2022 Chevrolet Tahoe. The vehicle will be equipped with radios and equipment that will allow it to function at a Command Post, including a mobile data terminal and multiple radios. In addition it will carry emergency response tools and equipment such as a defibrillator, first aid equipment, thermal imaging camera, ballistic vest and helmet and self contained breathing apparatus and hazardous materials response equipment.                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>PURPOSE AND JUSTIFICATION:</b><br>The Deputy Fire Chief's car was not approved by the SB last year and the vehicle now over 135,000 miles on it. The cost of the vehicle has also increased since FY 21. The Deputy Fire Chief's vehicle responds to all major incidents including but not limited to structure fires, hazardous materials incidents and mass casualty incidents. This vehicle is often required to function as the an incident command post. In addition to responding to emergencies, it serves an administrative function providing transportation to local, state and regional fire service and emergency management meetings. |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>NEED CLASSIFICATION:</b> (Check all that apply)<br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                                                             | <b>Departmental Priority Ranking:</b><br>Please rank this request out of your total requests for this year: (#1 as top priority)<br>_____ 3 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> (Check one)<br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                                                             | <b>Revenue Impact:</b> (Check one)<br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                             |

FORM B - FISCAL 2018





QUOTE-1595072

Quote Date:11/05/2021  
 Expiration Date:01/01/2022  
 Quote Created By:  
 Madeline DiLeonardi  
 Maddie.DiLeonardi@  
 motorolasolutions.com

End Customer:  
 CANTON, TOWN OF

Payment Terms:30 NET

| Line # | Item Number            | Description                                                             | Qty | List Price | Sale Price | Ext. Sale Price |
|--------|------------------------|-------------------------------------------------------------------------|-----|------------|------------|-----------------|
|        | APX™ 6000 Series       | APX6000                                                                 |     |            |            |                 |
| 1      | H98SDF9PW68N           | APX6000 UHF R2 MODEL 2.5 PORTABLE                                       | 2   | \$3,268.00 | \$2,483.68 | \$4,967.36      |
| 1a     | Q68AL                  | ADD: 3Y ESSENTIAL SERVICE                                               | 2   | \$121.00   | \$121.00   | \$242.00        |
| 1b     | H35BU                  | ADD: CONVENTIONAL OPERATION                                             | 2   | \$500.00   | \$380.00   | \$760.00        |
| 1c     | QA01427AB              | ALT: IMPACT GREEN HOUSING                                               | 2   | \$25.00    | \$19.00    | \$38.00         |
| 1d     | Q808BM                 | ADD: ASTRO DIGITAL CAI OPERATION                                        | 2   | \$515.00   | \$391.40   | \$782.80        |
| 1e     | Q629AK                 | ENH: AES ENCRYPTION AND ADP                                             | 2   | \$475.00   | \$361.00   | \$722.00        |
| 2      | LSV00Q00381A           | ENGRAVING SERVICES                                                      | 2   | \$57.14    | \$57.14    | \$114.28        |
| 3      | PMNN4547A              | BATT IMPRES 2 LIION TIA4950 R IP68 3100T                                | 2   | \$169.00   | \$116.61   | \$233.22        |
| 4      | PMAS4001A              | UHF (380-520) /7-800 GPS                                                | 2   | \$31.00    | \$21.39    | \$42.78         |
| 5      | NNTN8575A              | AUDIO ACCESSORY- REMOTE SPEAKER MICROPHONE,IMPRES XE RSM XT CABLE GREEN | 2   | \$538.00   | \$371.22   | \$742.44        |
|        | APX™ 6500 / Enh Series | APX6500                                                                 |     |            |            |                 |



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 Motorola Solutions, Inc.: 500 West Monroe, United States - 60661 - #: 36-1115800





QUOTE-1595072

| Line # | Item Number  | Description                                       | Qty | List Price | Sale Price | Ext. Sale Price |
|--------|--------------|---------------------------------------------------|-----|------------|------------|-----------------|
| 6      | M25SSS9PW1AN | APX6500 UHF R2 MID POWER MOBILE                   | 1   | \$2,633.00 | \$2,001.08 | \$2,001.08      |
| 6a     | B18CR        | ADD: AUXILIARY SPKR 7.5 WATT APX                  | 1   | \$60.00    | \$45.60    | \$45.60         |
| 6b     | G843AH       | ADD: AES ENCRYPTION AND ADP                       | 1   | \$475.00   | \$361.00   | \$361.00        |
| 6c     | G806BE       | ADD: ASTRO DIGITAL CAI OPERATION                  | 1   | \$515.00   | \$391.40   | \$391.40        |
| 6d     | GA00235AA    | ADD: NO GPS ANTENNA NEEDED APX                    | 1   | \$0.00     | \$0.00     | \$0.00          |
| 6e     | G87EG        | ADD: REMOTE MOUNT E5 MID POWER                    | 1   | \$297.00   | \$225.72   | \$225.72        |
| 6f     | G444AE       | ADD: APX CONTROL HEAD SOFTWARE                    | 1   | \$0.00     | \$0.00     | \$0.00          |
| 6g     | G48BD        | ENH: CONVENTIONAL OPERATION APX6500               | 1   | \$500.00   | \$380.00   | \$380.00        |
| 6h     | GA01670AA    | ADD: APX E5 CONTROL HEAD                          | 1   | \$652.00   | \$495.52   | \$495.52        |
| 6i     | W22BA        | ADD: STD PALM MICROPHONE APX                      | 1   | \$72.00    | \$54.72    | \$54.72         |
| 6j     | G78AT        | ENH: 3 YEAR ESSENTIAL SVC                         | 1   | \$176.00   | \$176.00   | \$176.00        |
| 6k     | GA00505AA    | ADD: ANT 2DB WIDEBAND 380-520 MHZ                 | 1   | \$50.00    | \$38.00    | \$38.00         |
| 7      | NNTN7624C    | CHARGER,CHR IMP VEH EXT N/A/EU KIT                | 2   | \$472.00   | \$325.68   | \$651.36        |
| 8      | NNTN8860A    | CHARGER, SINGLE-UNIT, IMPRES 2, 3A, 115VAC, US/NA | 2   | \$157.00   | \$108.33   | \$216.66        |

Grand Total

\$13,681.94(USD)

## Notes:

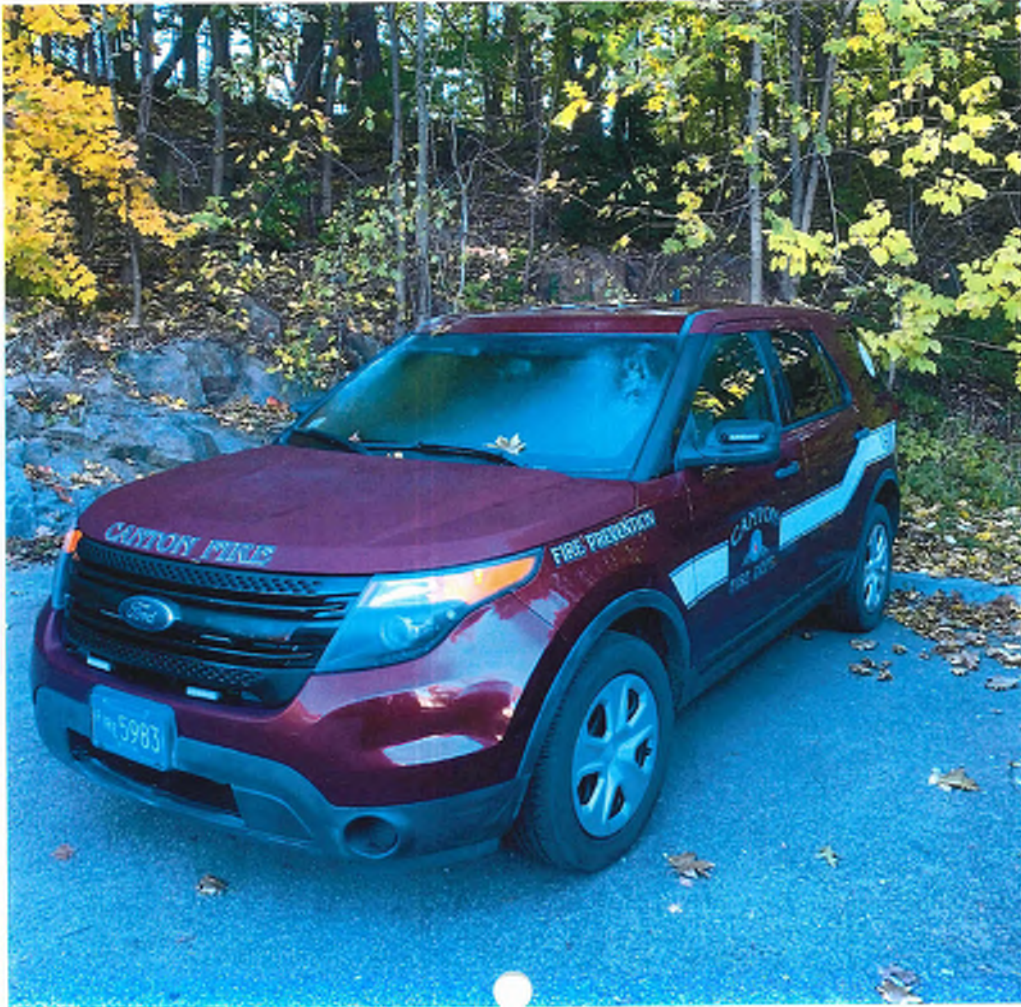
- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.



Any sales transaction following Motorola's quote is based on and subject to the terms and conditions of the valid and executed written contract between Customer and Motorola (the "Underlying Agreement") that authorizes Customer to purchase equipment and/or services or license software (collectively "Products"). If no Underlying Agreement exists between Motorola and Customer, then Motorola's Standard Terms of Use and Motorola's Standard Terms and Conditions of Sales and Supply shall govern the purchase of the Products.

Motorola Solutions, Inc. 500 West Monroe, United States - 60661 - ©: 36-1115800

| <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                 |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>REPLACE THE FIRE PREVENTION SUV (C-4)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$55,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>DESCRIPTION:</b><br>Replace Fire Prevention Ford Explorer (C-4). The current vehicle is eight years old with approximately 40,000 miles. The unit has high engine hours as it is in service at least 8 hours per day 5 days per week. The unit carries a variety of equipment for testing fire alarm systems and performing inspections in multiple types of occupancies. The unit is equipped with medical equipment, including a defibrillator and responds to fire emergencies.                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>PURPOSE AND JUSTIFICATION:</b><br>The Fire Prevention Lt. is responsible for all residential inspections and business inspections in the Town of Canton. This vehicle is critical to the operation of the Division as dozens of inspections are conducted each day and residents and business owners are dependent on an efficient and timely response to their requests. As the vehicle continues high usage, it's repair costs increase and its reliability decreases. With the backlog of available vehicles, we need to place an order in 2022 in order to have with any hope of receiving the vehicle in FY 24. |                                                                                                                                                                                                                                                                                                                                                                                             |
| <b>NEED CLASSIFICATION:</b> (Check all that apply)<br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                           | <b>Departmental Priority Ranking:</b><br>Please rank this request out of your total requests for this year: (#1 as top priority)<br>_____ 4 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life:</b> (Check one)<br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> (Check one)<br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                               | <b>Revenue Impact:</b> (Check one)<br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                             |





# Estimate

Date: 11/15/2021

Customer ID: Canton FD

TO: Canton Fire Department  
Chief Doody

Salesperson: Dave Green

| Qty                                                                                  | Item # | Description                                             | Unit Price       | Line Total   |
|--------------------------------------------------------------------------------------|--------|---------------------------------------------------------|------------------|--------------|
| 1.00                                                                                 | KBA    | 2022 Ford Police Utility AWD Gasoline                   | \$ 33,452.50     | \$ 33,452.50 |
|                                                                                      |        | Color: Dark Toreador Red                                | no charge        | no charge    |
| 1.00                                                                                 | 549    | Power Heated Mirrors                                    | \$ 58.20         | \$ 58.20     |
| 1.00                                                                                 | 76R    | Reverse Sensing System                                  | \$ 266.75        | \$ 266.75    |
| 1.00                                                                                 | 86P    | Front Headlamp Housing                                  |                  |              |
| 1.00                                                                                 | 87R    | Rear View Mirror with Rear Camera                       |                  |              |
| 1.00                                                                                 | 18D    | Rear Liftgate Lock Disable                              |                  |              |
| 1.00                                                                                 | 64E    | 18" Painted Aluminum Wheels                             | \$ 460.75        | \$ 460.75    |
| 1.00                                                                                 | 55F    | Keyless Entry (4 Fobs)                                  | \$ 329.80        | \$ 329.80    |
| 1.00                                                                                 | 65U    | Interior Upgrade Package- Carpet, Factory Console, SYNC | \$ 378.30        | \$ 378.30    |
| 1.00                                                                                 | 55B    | Blind Spot Info Pkg                                     | \$ 534.10        | \$ 534.10    |
| 1.00                                                                                 | 76P    | Pre Collision Assist                                    | \$ 142.10        | \$ 142.10    |
| 2.00                                                                                 |        | Weather Tech Floor Liner Front/Rear                     | \$ 125.00        | \$ 250.00    |
| 1.00                                                                                 |        | Tint Front Windows                                      |                  | \$ 195.00    |
| 1.00                                                                                 |        | (2) Whelen ION LED (Qtr. Window) Red                    | \$ 365.00        | \$ 365.00    |
| 2.00                                                                                 |        | (2) Whelen ION DUO LED (Front Grill) Red/White          | \$ 370.00        | \$ 740.00    |
| 1.00                                                                                 |        | (2) Whelen TION LED DUO (Fog Light Area) Red/White      | \$ 370.00        | \$ 370.00    |
| 1.00                                                                                 |        | Whelen Front Inner Edge XLP DUO Red/White               |                  | \$ 1,295.00  |
| 1.00                                                                                 |        | Whelen Rear Inner Edge RST SOLO Red                     |                  | \$ 985.00    |
| 1.00                                                                                 |        | (2) Whelen Hideaway LED (Brake) Red                     |                  | \$ 255.00    |
| 1.00                                                                                 |        | (2) Whelen Hideaway LED (Reverse) White                 |                  | \$ 255.00    |
| 1.00                                                                                 |        | Whelen Under Mirror LINSV Red w/ Bracket                |                  | \$ 285.00    |
| 1.00                                                                                 |        | Whelen CORE Siren/Controller- Handheld                  |                  | \$ 1,455.00  |
| 1.00                                                                                 |        | Whelen 100 Watt Siren Speaker                           |                  | \$ 250.00    |
| 1.00                                                                                 |        | Install Customer Supplied Two Way Radio                 |                  | \$ 230.00    |
| 1.00                                                                                 |        | Shop Supplies                                           |                  | \$ 295.00    |
| <b>Special Instructions:</b> Custom or Special Orders are Non-Refundable             |        |                                                         | <b>Subtotal</b>  | \$ 42,837.50 |
| This Estimate is for Budgetary Purposes and is Not a Guarantee of Cost for Services. |        |                                                         | <b>Sales Tax</b> |              |

Estimate is Based on Current Information From Client About the Project  
Requirements  
Actual Cost May Change Once Project Elements are Finalized

**Grand Total**

\$ 42,837.50



QUOTE-1595072

Quote Date:11/05/2021  
 Expiration Date:01/01/2022  
 Quote Created By:  
 Madeline DiLeonardi  
 Maddie.DiLeonardi@  
 motorolasolutions.com

End Customer:  
 CANTON, TOWN OF

Payment Terms:30 NET

| Line # | Item Number            | Description                                                                      | Qty | List Price | Sale Price | Ext. Sale Price |
|--------|------------------------|----------------------------------------------------------------------------------|-----|------------|------------|-----------------|
|        | APX™ 6000 Series       | APX6000                                                                          |     |            |            |                 |
| 1      | H98SDF9PW6BN           | APX6000 UHF R2 MODEL 2.5<br>PORTABLE                                             | 2   | \$3,268.00 | \$2,483.68 | \$4,967.36      |
| 1a     | Q58AL                  | ADD: 3Y ESSENTIAL<br>SERVICE                                                     | 2   | \$121.00   | \$121.00   | \$242.00        |
| 1b     | H35BU                  | ADD: CONVENTIONAL<br>OPERATION                                                   | 2   | \$500.00   | \$380.00   | \$760.00        |
| 1c     | QA01427AB              | ALT: IMPACT GREEN<br>HOUSING                                                     | 2   | \$25.00    | \$19.00    | \$38.00         |
| 1d     | Q806BM                 | ADD: ASTRO DIGITAL CAI<br>OPERATION                                              | 2   | \$515.00   | \$391.40   | \$782.80        |
| 1e     | Q629AK                 | ENH: AES ENCRYPTION AND<br>ADP                                                   | 2   | \$475.00   | \$361.00   | \$722.00        |
| 2      | LSV00Q00381A           | ENGRAVING SERVICES                                                               | 2   | \$57.14    | \$57.14    | \$114.28        |
| 3      | PMNN4547A              | BATT IMPRES 2 LIION<br>TIA4950 R IP68 3100T                                      | 2   | \$169.00   | \$116.61   | \$233.22        |
| 4      | PMAS4001A              | UHF (380-520) /7-800 GPS                                                         | 2   | \$31.00    | \$21.39    | \$42.78         |
| 5      | NNTN8575A              | AUDIO ACCESSORY-<br>REMOTE SPEAKER<br>MICROPHONE,IMPRES XE<br>RSM XT CABLE GREEN | 2   | \$538.00   | \$371.22   | \$742.44        |
|        | APX™ 6500 / Enh Series | APX6500                                                                          |     |            |            |                 |



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 Motorola Solutions, Inc. 500 West Monroe, United States - 60661 - ©: 36-1115800



QUOTE-1595072

| Line #             | Item Number  | Description                                       | Qty | List Price | Sale Price              | Ext. Sale Price |
|--------------------|--------------|---------------------------------------------------|-----|------------|-------------------------|-----------------|
| 6                  | M25SSS9PW1AN | APX6500 UHF R2 MID POWER MOBILE                   | 1   | \$2,633.00 | \$2,001.08              | \$2,001.08      |
| 6a                 | B18CR        | ADD: AUXILIARY SPKR 7.5 WATT APX                  | 1   | \$60.00    | \$45.60                 | \$45.60         |
| 6b                 | G843AH       | ADD: AES ENCRYPTION AND ADP                       | 1   | \$475.00   | \$361.00                | \$361.00        |
| 6c                 | G806BE       | ADD: ASTRO DIGITAL CAI OPERATION                  | 1   | \$515.00   | \$391.40                | \$391.40        |
| 6d                 | GA00235AA    | ADD: NO GPS ANTENNA NEEDED APX                    | 1   | \$0.00     | \$0.00                  | \$0.00          |
| 6e                 | G67EG        | ADD: REMOTE MOUNT E5 MID POWER                    | 1   | \$297.00   | \$225.72                | \$225.72        |
| 6f                 | G444AE       | ADD: APX CONTROL HEAD SOFTWARE                    | 1   | \$0.00     | \$0.00                  | \$0.00          |
| 6g                 | G48BD        | ENH: CONVENTIONAL OPERATION APX6500               | 1   | \$500.00   | \$380.00                | \$380.00        |
| 6h                 | GA01670AA    | ADD: APX E5 CONTROL HEAD                          | 1   | \$652.00   | \$495.52                | \$495.52        |
| 6i                 | W22BA        | ADD: STD PALM MICROPHONE APX                      | 1   | \$72.00    | \$54.72                 | \$54.72         |
| 6j                 | G78AT        | ENH: 3 YEAR ESSENTIAL SVC                         | 1   | \$176.00   | \$176.00                | \$176.00        |
| 6k                 | GA00505AA    | ADD: ANT 2DB WIDEBAND 380-520 MHZ                 | 1   | \$50.00    | \$38.00                 | \$38.00         |
| 7                  | NNTN7624C    | CHARGER,CHR IMP VEH EXT N/VEU KIT                 | 2   | \$472.00   | \$325.68                | \$651.36        |
| 8                  | NNTN8860A    | CHARGER, SINGLE-UNIT, IMPRES 2, 3A, 115VAC, US/NA | 2   | \$157.00   | \$108.33                | \$216.66        |
| <b>Grand Total</b> |              |                                                   |     |            | <b>\$13,681.94(USD)</b> |                 |

## Notes:

- Unless otherwise noted, this quote excludes sales tax or other applicable taxes (such as Goods and Services Tax, sales tax, Value Added Tax and other taxes of a similar nature). Any tax the customer is subject to will be added to invoices.



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Motorola Solutions, Inc. 500 West Monroe, United States - 60661 - ©: 38-1115800

| <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                        |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Diesel Exhaust Conversion                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$23,000                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>The diesel exhaust systems at both fire stations (Plymovent) are designed to capture and exhaust harmful diesel fumes generated by fire apparatus inside of the garage areas at each station. Currently, the system is pneumatic. The "boot" that attaches to the exhaust of the truck compresses and released using an air pressure system. The system is prone to failure due the small plastic components used on the hoses and the frequency with which is it used. |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This sysem is vital to maintaining indoor air quality free from contaminates that can potentially cause illness to our firefighters, in particular cancer. It also keeps our building free of soot and other particles of combustion. The replacement system utilized a magnetic boot that more reliable and forms a tighter seal to the exhaust. All of the existing hoses and mechanical equipment can remain. The connections only will be upgraded.   |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input checked="" type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)               | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 5 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                               | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                    |



**Plymovent Diesel Exhaust System**





of New England LLC

1525 Hanover Street  
 Hanover, MA 02339  
 Phone 781-826-9755  
 Fax 781-829-0240

[www.aircleaningspecialistsne.com](http://www.aircleaningspecialistsne.com)

|       |                                                              |       |                        |  |                          |
|-------|--------------------------------------------------------------|-------|------------------------|--|--------------------------|
| DATE: | June 30 <sup>th</sup> , 2021                                 |       |                        |  |                          |
| TO:   | Canton MA. Fire Department<br>99 Revere Street<br>Canton, MA |       |                        |  |                          |
| ATTN: | Chief Charles Doody                                          | phone | 781-575-6654 x<br>3103 |  | CDOODY@town.canton.ma.us |

#### PROPOSAL

Convert the existing PLYMOVENT Source Capture Vehicle Exhaust System from Pneumatic to Magnetic.

Fire Headquarters has Seven (7) Hose Drops  
 Station # 2 Sassamon St. has Five (5) Hose Drops

Parts and Materials : \$21,400.00

Labor: \$ 1600.00

Total: \$23,000.00

ACS is on the State Venders List  
 State Venders #0020065, Category: TRD-03 Exhaust Systems

Proposed By: Tom Perry  
 Project Manager

Accepted By:

C:\Users\cdoody\AppData\Local\Microsoft\Windows\INetCache\Content.Outlook\8ZGIU61P\proposal Form tp DOC (3) (4) (4) (3) (3) (3) (3) (3) (3) (3) (3).doc Page 1 of 1

| <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                                        |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>PAINTING STATION 2                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$15,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Paint the 2nd floor walls, ceilings, trims, doors and the stairway and the lower lobby including hand rails and compressor room ceiling.                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Station 2 is the older of the two fire stations and was constructed in 1964. The building's age requires more frequent maintenance and repair. In addition to completing the planned floor replacement, the paint on the walls and ceilings has begun to delaminate and recent communications work has created penetrations that need to be filled and painted. This scope of this project is beyond what building and grounds can accomplish within their existing responsibilities for multiple town buildings. |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input type="checkbox"/> Planned Project or Replacement<br><input checked="" type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                   | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 6 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                       | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2018

**STATION 2 PAINT**





1020 Turnpike Street, Unit 12  
 Canton MA 02021  
 Phone 781-828-9313 • Fax 781-828-9314  
 www.dandiscontracting.com

**PRICE PROPOSAL**

|              |                                  |
|--------------|----------------------------------|
| <b>DATE:</b> | 10.28.2021                       |
| <b>RE:</b>   | Town of Canton Painting Request  |
| <b>TO:</b>   | Steven Choiniere, Town of Canton |

**DESCRIPTION OF WORK**

**COST**

|                                                                                                                                                                                                                             |                 |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------|
| <b>Provide work associated with <u>Painting Scope (Section 099100)</u></b>                                                                                                                                                  |                 |
| Painting the 2 <sup>nd</sup> Floor Walls, Ceilings, Trims, Doors and the Stairway & the whole lower lobby, hand rails, and just the ceiling in the weight room are at the FS on 7 Sassamon St. Canton MA<br>Prevailing Wage |                 |
| <b>TOTAL:</b>                                                                                                                                                                                                               | <b>\$14,960</b> |

*Parthena Dandis, Owner*

| <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                        |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Fire Department                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | <b>SUBMITTED BY:</b><br>Chief Charles Doody                                                                                                                                                                                                                                                                                                                                            |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>EMS Simulation Mannequin                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$53,000                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>DESCRIPTION:</b><br>The simulation mannequin is an advanced patient simulator that can display neurological symptoms as well as physiological. It is simple to operate and features innovative technology such as automatic drug recognition. The mannequin is adapted for training rapid assessment of trauma emergencies.                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Canton Fire has 54 EMT's and paramedics that respond to over 2,500 medical emergencies per year. It is vital to maintain life saving emergency medical skills in order to maintain our ambulance license and to provide the highest quality care to our residents. Our full time EMS Coordinator is responsible for continuing education and training for our firefighters and would utilize this equipment to train our people in house reducing the cost of sending our firefighters off site to train. |                                                                                                                                                                                                                                                                                                                                                                                        |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input type="checkbox"/> Planned Project or Replacement<br><input checked="" type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                      | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>7 (#) OF 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input checked="" type="checkbox"/> Will Reduce Cost by \$ 5,000<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                               | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                           |
| <b>OTHER COMMENTS OR INFORMATION:</b> See attached quote and pictures                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                        |

### EMS SIMULATION MANNEQUIN



Build competencies and improve teamwork

#### SimMan<sup>®</sup> ALS

SimMan<sup>®</sup> ALS is a high-fidelity, full-body simulation mannequin designed for advanced life support (ALS) training. It features a realistic human form with a head, torso, and limbs, providing a lifelike experience for healthcare professionals. The mannequin is equipped with various sensors and monitoring systems, allowing for the simulation of complex medical scenarios. It is used for training in advanced resuscitation techniques, including airway management, advanced cardiac life support (ACLS), and trauma care. The mannequin's realistic appearance and responsive features help trainees develop critical decision-making skills and teamwork in high-pressure situations.





## Quotation

Quotation#:

04/08/2021

Account Number: 106933-SHIP001

**BILL-TO**

CANTON FIRE DEPARTMENT  
99 REVERE ST  
CANTON, MA 02021-2918

Ship Method: &gt;\$150 NO FRT

Payment Terms: CREDIT CARD PMT

**SHIP-TO**

CANTON FIRE DEPARTMENT  
99 REVERE ST  
CANTON, MA 02021-2918

| Item          | UOM  | Description                                                                                                   | Qty | Price        | Ext.Price   |
|---------------|------|---------------------------------------------------------------------------------------------------------------|-----|--------------|-------------|
| LA235-02350   | 1/EA | SimMan ALS Light Skin Manikin (Laerdal #235-02350)                                                            | 1   | \$ 17,790.00 | \$17,790.00 |
| 3616-24311    | 1/EA | SimPad PLUS incl SimPad PLUS Remote, AC Adapter, Power Cord *DOES NOT COME WITH LINKBOX* (Laerdal #204-30101) | 1   | \$ 716.00    | \$ 716.00   |
| 3616-24515    | 1/EA | LLEAP for SimPad PLUS, incl License Key *SEE NOTES - DROP SHIP* (Laerdal #204-50150)                          | 1   | \$ 2,692.00  | \$ 2,692.00 |
| LA204-30001PP | 1/EA | SimPad PLUS PP1 2 years protection (Laerdal #204-30001PP)                                                     | 1   | \$ 1,099.00  | \$ 1,099.00 |
| 3616-12140    | 1/EA | Laptop LLEAP Instructor - Patient Monitor *DROP SHIP* incl Laptop PC and Power Supply (Laerdal #400-10201)    | 1   | \$ 1,794.00  | \$ 1,794.00 |
| 3650-18515    | 1/EA | ShockLink System incl Device, Guide, Training Pads, Remote Control, Pouch (Laerdal #185-10050)                | 1   | \$ 542.00    | \$ 542.00   |
| 3616-50518    | 1/EA | Shocklink to Lifepak Quik Combo Adapter *Not for Clinical Use* (Laerdal #185-50050)                           | 1   | \$ 69.00     | \$ 69.00    |
| 3650-50450    | 1/EA | Shocklink Training Adapter (Laerdal #185-50450)                                                               | 1   | \$ 67.00     | \$ 67.00    |
| LA212-07850   | 1/EA | Amputated Arm - Right Arm (Laerdal #212-07850)                                                                | 1   | \$ 348.00    | \$ 348.00   |
| LA212-07950   | 1/EA | Gunshot Arm - Left Arm (Laerdal #212-07950)                                                                   | 1   | \$ 647.00    | \$ 647.00   |
| LA212-08150   | 1/EA | Amputated Leg (Laerdal #212-08150)                                                                            | 1   | \$ 398.00    | \$ 398.00   |
| LA212-08250   | 1/EA | Gunshot Leg (Laerdal #212-08250)                                                                              | 1   | \$ 2,486.00  | \$ 2,486.00 |
| LA212-08375   | 1/EA | Trauma Module Adapter, PVS SimMan (Laerdal #212-08375)                                                        | 2   | \$ 149.00    | \$ 298.00   |
| 3616-35100    | 1/EA | SimMan ALS Getting Started Course One Day (Laerdal #235-EDGS100)                                              | 1   | \$ 3,128.00  | \$ 3,128.00 |
| 3616-23502    | 1/EA | SimMan ALS ValuePlus Platinum (36 Months) *DROP SHIP ONLY* (Laerdal #235-B-Vplus-SMALS)                       | 1   | \$ 14,483.70 | \$14,483.70 |

Quote Total \$46,557.70

Comments:

Maria VanBuskirk





Laerdal Medical Corporation  
 167 Myers Corners Road  
 Wappingers Falls, NY 12590  
 Phone Order To: 877-LAERDAL  
 Fax Order To: (800) 227-1143  
 customerservice@laerdal.com

**CLIENT EXECUTIVE**  
 Tara Landry  
 (845) 242-0570  
 tara.landry@laerdal.com

*To prevent any delays in processing your purchase, please include your quote # when ordering.*

**DATE:** 4/5/2021  
**ATTN:** Leo Reardon  
 Interim EMS Coordinator  
 +16178215010  
 lreardon@town.canton.ma.us

**QUOTE NUMBER:** Q-434428  
**CREDIT TERMS:** 30 days  
**EXPIRATION DATE:** 8/3/2021

**BILL TO:** 00004628  
 TOWN OF CANTON  
 801 WASHINGTON ST  
 CANTON MA 02021

**SimMan ALS**

| QTY | PRODUCT   | DESCRIPTION                                                                                                                                                                                                         | TERM (MONTHS) | LIST PRICE  | UNIT PRICE  | EXTENDED PRICE |
|-----|-----------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|-------------|-------------|----------------|
| 1   | 235-02350 | SimMan ALS Light Manikin and Accessories<br>Includes SimMan ALS Manikin, Torso Skin w/LS Tags, SimPad PLUS link box, Li-Ion Battery, Consumables, Clothing, Soft Sided Carry Cases, 1 Year Manufacturer's Warranty. |               | \$20,582.00 | \$20,582.00 | \$20,582.00    |
| 1   | 204-30101 | SimPad PLUS Only (US)<br>SimPad PLUS Only (Hand Held Remote) 204-50150<br>LLEAP for SimPad PLUS software license required for operation.                                                                            |               | \$763.00    | \$763.00    | \$763.00       |
| 1   | 204-50150 | LLEAP for SimPad PLUS<br>Includes: License Key providing access to Manual Mode, Automatic Mode, and Log Viewer Application.                                                                                         |               | \$2,757.00  | \$2,757.00  | \$2,757.00     |

| QTY | PRODUCT     | DESCRIPTION                                                                                                                                                                                                                                                                                           | TERM (MONTHS) | LIST PRICE | UNIT PRICE | EXTENDED PRICE |
|-----|-------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|------------|------------|----------------|
| 1   | 204-30001PP | <p>SimPad PLUS PP1 2 years protection<br/>Replacement SimPad remote in the event of non-warranty product failure (spills, immersion in water, breakage due to drops). The plan allows for 3 instances of free remote replacement during a 2 yr period and does not cover instances of theft/loss.</p> | 24            | \$1,172.00 | \$1,172.00 | \$1,172.00     |
| 1   | 212-07850   | <p>Amputated Arm<br/><br/>Right Arm<br/><br/>Note: If used with SimMan® ALS, bleeding control is not available. Modules are for visual affect only and can be used with moulage.</p>                                                                                                                  |               | \$371.00   | \$371.00   | \$371.00       |
| 1   | 212-07950   | <p>Gunshot Arm<br/><br/>Left Arm<br/><br/>Note: If used with SimMan® ALS, bleeding control is not available. Modules are for visual affect only and can be used with moulage</p>                                                                                                                      |               | \$690.00   | \$690.00   | \$690.00       |
| 1   | 212-08150   | <p>Amputated Leg<br/><br/>SimMan customers with the new articulating pelvis can use their Laerdal Gunshot Leg, 212-08250 and Amputated leg,<br/><br/><a href="#">212-08150 with the Trauma Module Leg Adapter.</a><br/><br/>Modules are for visual affect only and can be used with moulage</p>       |               | \$424.00   | \$424.00   | \$424.00       |

| QTY                      | PRODUCT            | DESCRIPTION                                                                                                                                                                                                                                                                                               | TERM (MONTHS) | LIST PRICE  | UNIT PRICE  | EXTENDED PRICE |
|--------------------------|--------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------|-------------|-------------|----------------|
| 1                        | 212-08250          | <p>Gunshot Leg</p> <p><b>Right Leg</b></p> <p>SimMan customers with the new articulating pelvis can use their Laerdal Gunshot Leg, 212-08250 and Amputated leg, 212-08150 with the <a href="#">Trauma Module Leg Adapter</a></p> <p>Modules are for visual affect only and can be used with moulage.</p>  |               | \$2,652.00  | \$2,652.00  | \$2,652.00     |
| 2                        | 212-08375          | <p>Trauma Module Adapter for SimMan Articulating Pelvis</p> <p>This adapter enables SimMan customers with the new articulating pelvis to use their Laerdal <a href="#">Gunshot leg 212-08250</a> and <a href="#">Amputated leg 212-08150</a>.</p>                                                         |               | \$159.00    | \$159.00    | \$318.00       |
| 1                        | 400-10201          | Laptop<br>For use with LLEAP, Ultrasound, or as a Patient Monitor                                                                                                                                                                                                                                         |               | \$1,985.00  | \$1,985.00  | \$1,985.00     |
| 1                        | 185-10050          | ShockLink System                                                                                                                                                                                                                                                                                          |               | \$599.00    | \$599.00    | \$599.00       |
| 1                        | 185-60050          | PhysioMindray ShockLink Training Adapter                                                                                                                                                                                                                                                                  |               | \$72.00     | \$72.00     | \$72.00        |
| 1                        | 185-60450          | Zoll ShockLink Training Adapter                                                                                                                                                                                                                                                                           |               | \$72.00     | \$72.00     | \$72.00        |
| 1                        | 235-EDGS100        | <p>SimMan ALS Course Getting Started</p> <p>1 day on customer site for up to 8 participants. Course gives participants knowledge of the simulator and instructor device operations, operating modes, and system features. Hands-on activities familiarize faculty with simulator and its applications</p> |               | \$3,245.00  | \$3,245.00  | \$3,245.00     |
| 1                        | 235-B-VplusP-SMALS | <p>ValuePlus SimMan ALS Platinum</p> <p>Includes Installation, Extended Warranty, Preventative Maintenance On-Site &amp; Loaner.</p>                                                                                                                                                                      | 36            | \$20,691.00 | \$14,483.70 | \$14,483.70    |
| <b>SimMan ALS TOTAL:</b> |                    |                                                                                                                                                                                                                                                                                                           |               |             |             | \$50,185.70    |

|                            |             |
|----------------------------|-------------|
| ITEM TOTAL :               | \$50,185.70 |
| SHIPPING/HANDLING :        | \$550.00    |
| TAX :                      | \$1,989.71  |
| ADDITIONAL CHARGE/CREDIT : | \$0.00      |
| TOTAL :                    | \$52,725.41 |

There are various payment options; please see bottom of your quote for further clarification.  
 Appropriate Sales Tax will be added to invoice – Pricing and Availability are subject to change  
 Shipping/Handling costs will be added to invoice

**By Accepting this Quote, the following terms are hereby incorporated into customer's order:**

**Products:**

Products that are currently on contract will be removed immediately if manufacturing or distribution of the product is discontinued.

**Payment:**

Net 30 Days for approved open accounts; CIA; Credit Cards accepted. Financing options now available – sample leasing payment terms follow. For additional information, ask your Account Manager listed above.

Lease term 24 months: USD 2,113.99 \*

Lease term 36 months: USD 1,409.33 \*

Lease term 48 months: USD 1,056.99 \*

\* Quoted payments do not include Interest, Taxes, Maintenance, Cancellation fees or Insurance. Quotes are subject to credit approval and may change without notice.

**Warranty:**

One(1) year warranty on manufactured products and 90 day warranty on refurbished products

Two(2) year parts replacement warranty with technical assistance by phone on all Hill-Rom refurbished products

**Delivery:**

Delivery of product to a specific location within your building, if requested is at an additional charge and not included in this quote

**Training:**

Training will be scheduled within a year of the customer's agreed upon due date.


**CANCELLATION or RESCHEDULING of EDUCATIONAL or TECHNICAL SERVICES WILL RESULT IN CANCELLATION/RESCHEDULING FEES.**

7 DAYS OR LESS: 100% of Course / Service Cost  
 8 DAYS to 2 WEEKS: 75% of Course / Service Cost  
 15 DAYS to 20 DAYS: 50% of Course / Service Cost  
 3 WEEKS or MORE: NO FEE

Customer will be required to submit a new PO to reschedule a cancelled course / service.

Library

| Date       | Company                     | Amount      | Description of Work Performed                                                                                                                     |
|------------|-----------------------------|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------|
| 12/28/2011 | Empire Engineering          | \$1,600.00  | Glycol installation into Library HVAC System                                                                                                      |
| 12/28/2011 | Empire Engineering          | \$305.48    | Water temp adjusted on roof make up air unit from 170 to 200 degrees.                                                                             |
| 1/6/2012   | Empire Engineering          | \$305.48    | A/H rooftop MAU fan not cycling properly                                                                                                          |
| 1/9/2012   | Empire Engineering          | \$169.74    | HVAC Repairs                                                                                                                                      |
| 2/8/2012   | Empire Engineering          | \$495.00    | Blocker Controls Company; Troubleshoot RTU#1; Replace adjustable current switch.                                                                  |
| 3/8/2012   | Empire Engineering          | \$123.16    | Boiler not firing up. Fastened pilot solenoid bolt to valve and reset flame failure.                                                              |
| 4/28/2012  | Empire Engineering          | \$3,145.59  | Blower 2nd floor burning smell; installed new blower unit                                                                                         |
| 6/27/2012  | Empire Engineering          | \$169.74    | Children's library smell; motor burnt out. Order new replacement motor.                                                                           |
| 8/8/2012   | Empire Engineering          | \$2,112.00  | Children's library fan motor replacement                                                                                                          |
| 9/17/2012  | Empire Engineering          | \$194.45    | Exhaust maintenance materials and labor charge                                                                                                    |
| 8/25/2012  | Empire Engineering          | \$169.74    | HVAC repairs on 2nd floor coil                                                                                                                    |
| 6/17/2013  | Empire Engineering          | \$169.74    | VAV #3 burning smell                                                                                                                              |
| 6/17/2013  | Empire Engineering          | \$2,068.22  | Tested chiller, glycol found propylene at -5 degrees. Tested compressors, condenser and RTU#2.                                                    |
| 8/1/2013   | Empire Engineering          | \$169.74    | Glycol leak in boiler room. Fill tank overflowing. Both heat and cool fill tanks now isolated.                                                    |
| 7/25/2013  | Empire Engineering          | \$1,315.79  | picked up replacement motors far above front (old) entrance. Remove faulty motors and reinstall new motors.                                       |
| 9/5/2013   | Empire Engineering          | \$1,194.00  | Fan motor replacement labor and materials.                                                                                                        |
| 9/5/2013   | Empire Engineering          | \$262.90    | Condenser coils on chiller are plugged solid and need cleaning.                                                                                   |
| 10/2/2013  | Empire Engineering          | \$6,874.97  | Emergency glycol leak repairs to library's A/C system labor and materials.                                                                        |
| 10/21/2013 | Empire Engineering          | \$402.64    | Service needed due to boiler pressure too high.                                                                                                   |
| 11/7/2013  | Empire Engineering          | \$262.90    | Service - found two units off line.                                                                                                               |
| 2/13/2014  | Empire Engineering          | \$169.74    | Checked out "special collections" blower problem                                                                                                  |
| 4/28/2014  | Empire Engineering          | \$235.32    | Checked fan coil blower in jr. Room                                                                                                               |
| 4/28/2014  | Empire Engineering          | \$635.54    | Chiller start up.                                                                                                                                 |
| 4/15/2014  | Empire Engineering          | \$2,522.00  | Fan motor replacement. The existing fan motor will be replaced in one of the fan coil units.                                                      |
| 5/8/2014   | Empire Engineering          | \$728.70    | Motor replacement labor and materials                                                                                                             |
| 11/25/2014 | Empire Engineering          | \$191.90    | Replaced damaged rooftop exhaust fan belt for bathrooms.                                                                                          |
| 4/16/2015  | Empire Engineering          | \$1,029.41  | Pick up and install heat valve and commission valve and CO2 sensor. Cycle boiler and valve. Emergency HVAC repairs.                               |
| 4/6/2015   | Empire Engineering          | \$824.56    | Check units for high CO2. Found filters plugged and belts loose. Replace filters and belts.                                                       |
| 4/22/2015  | Empire Engineering          | \$1,467.11  | Installed and test VAV-1 CO2 sensor. Installation CO2 alarm VAV-1                                                                                 |
| 8/18/2015  | Empire Engineering          | \$235.32    | Community Room cold - found dampers supplying too much air.                                                                                       |
| 6/8/2016   | Empire Engineering          | \$883.00    | Chiller - seasonal start up.                                                                                                                      |
| 6/15/2016  | Empire Engineering          | \$169.74    | Chiller maintenance                                                                                                                               |
| 6/22/2016  | Empire Engineering          | \$975.90    | Relocated Staff Room sensor. Found burned out fan motor and 3 broken fan belts. Installed new motor and fan belts                                 |
| 11/28/2016 | Empire Engineering          | \$362.90    | Checked roof top #2 for problem. Found overhead tripped, reset and run supply fan.                                                                |
| 5/22/2017  | Empire Engineering          | \$327.48    | Historical Rooms unit needs new blower. Checked chiller; found loop has some air, removed air from loop for better flow.                          |
| 7/12/2017  | Empire Engineering          | \$323.16    | Checked blower; found broken belt. Adjusted bracket to install new belt.                                                                          |
| 7/27/2017  | Empire Engineering          | \$428.62    | Vacuumed and cleaned 4 condensate fans and traps. Blew all drains with nitrogen.                                                                  |
| 7/31/2017  | Empire Engineering          | \$801.30    | Historical Room motor removal and replacement. Labor and materials.                                                                               |
| 9/29/2017  | Empire Engineering          | \$453.75    | Found blower fuses blown on RTU #2. Found 100% outdoor air dampers closed, Actuator not working properly.                                         |
| 10/20/2017 | Empire Engineering          | \$257.43    | Service condensate leak. Blew out condensate line with CO2 to unplug the condensate line.                                                         |
| 12/29/2017 | Empire Engineering          | \$279.48    | No heat in Trustees Conference Room. Need 2 blower motors for fan coil #33.                                                                       |
| 12/20/2017 | Empire Engineering          | \$1,180.13  | Replace 2 bad motors in fan coil #33, Trustees Conference Room. Labor and materials.                                                              |
| 1/25/2018  | Empire Engineering          | \$3,694.00  | Repair Aeon unit #1 and Aeon unit #2 of the HVAC system and VTD Drive unit, Economizer motor, potentiometer.                                      |
| 3/1/2018   | Empire Engineering          | \$690.27    | Motor swap unit #28 above reference office. Labor and materials.                                                                                  |
| 8/2/2018   | Empire Engineering          | \$1,224.50  | Chiller not working. Investigate source and correct. Labor and materials.                                                                         |
| 10/2/2018  | Empire Engineering          | \$1,166.03  | Replaced chilled water valve regulator for RTU2. Replaced micro relay on stage 1 chiller circuit.                                                 |
| 11/23/2018 | Empire Engineering          | \$1,396.32  | Loop freeze protection. Added glycol prep (anti-freeze) and pressurized loop to spec. Retested system.                                            |
| 12/23/2018 | Empire Engineering          | \$1,103.77  | No heat basement Art and Activity Room. Installed new thermostat and replaced valve.                                                              |
| 1/9/2019   | Empire Engineering          | \$1,215.12  | Boiler problem. Replaced Aquastat on boiler #2. Installed new controller on boiler #1.                                                            |
| 1/31/2019  | Empire Engineering          | \$216.32    | Found blower motor in Reference office bound up. Must remove and replace. Found computer not seeing discharge sensor                              |
| 4/9/2021   | Victory Mechanical Services | \$1,644.00  | NSVC Comm labor and supplies (nitrogen)                                                                                                           |
| 4/9/2021   | Victory Mechanical Services | \$710.00    | Chemically washed condenser coil on chiller to remove build up.                                                                                   |
| 4/30/2021  | Victory Mechanical Services | \$4,980.00  | Semi Annual Service Contract billing invoice                                                                                                      |
| 5/6/2021   | Victory Mechanical Services | \$9,488.00  | Repair refrigerant leak in stage 1 of chiller. Repair refrigerant leak with R-22 refrigerant and start and test operation. → on ALPPOSE REFILLING |
| 6/14/2021  | Victory Mechanical Services | \$600.00    | diagnosed 6 defective blower motors for 3 fan coils serving second floor.                                                                         |
| 6/21/2021  | Victory Mechanical Services | \$522.50    | Found kinked discharge hose off condensate pump servicing reference area. Water leak in childrens area. Blew out drain.                           |
| 7/6/2021   | Victory Mechanical Services | \$5,360.00  | 6 blower motors and 3 actuators for library's HVAC system.                                                                                        |
| 7/9/2021   | Victory Mechanical Services | \$550.00    | Investigated water leak from ceiling at YA area. Returned and insulated section of pipe that was cut out.                                         |
| 7/16/2021  | Victory Mechanical Services | \$2,915.00  | SVC Con Labor & Parts for library HVAC System                                                                                                     |
| 8/2/2021   | Victory Mechanical Services | \$1,425.00  | Found overflowing drain pan from fan coil in fiction/mys. Section. Also leak in young adult section poor insulation cause.                        |
| 8/24/2021  | Victory Mechanical Services | \$385.00    | Found three condensate pans to be sweating at bottom causing water leak into space. Reinsulated pans                                              |
| 9/24/2021  | Victory Mechanical Services | \$285.00    | Investigated water leak from foundation wall from roof line at chimney                                                                            |
| 10/1/2021  | Victory Mechanical Services | \$4,980.00  | Semi Annual Service Contract billing invoice                                                                                                      |
| TOTAL      |                             | \$80,423.80 | All HVAC                                                                                                                                          |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p><b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>DEPARTMENT:</b><br/>Canton Public Library</p>                                                                                                                                                                                                                                                                                                                                                                                                                                       | <p><b>SUBMITTED BY:</b><br/>Andrea Capone</p>                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Replace Inoperable Chiller Compressor</p>                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$44,647</p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>DESCRIPTION:</b><br/>Remove and replace an inoperable chiller compressor from the library roof.</p>                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>One of the library's two chiller compressors is inoperable, putting strain on the remaining equipment and leading to extreme temperature fluctuations throughout the library. The compressor needs to be replaced. The library spent \$9K trying to repair the compressor in FY21, but those repairs were unsuccessful. System was installed in 2001 and has reached the end of its useful life.</p>                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input checked="" type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p style="text-align: center;">2 (#) OF 2 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                       | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                              |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                              |

FORM B - FISCAL 2023

### Quote

**Victory Mechanical Services, Inc.**

115 Mendon Street  
 Bellingham MA 02019  
 508-966-9858 FAX: 508-966-9859  
 04-3325405

Quote # 372549  
 Date: 11/8/2021  
 Page # 1 of 4

|                                                                            |                                                                                           |
|----------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|
| CANTON PUBLIC LIBRARY<br>786 WASHINGTON STREET<br>SOUTH<br>CANTON MA 02021 | Service At:<br>CANTON PUBLIC LIBRARY<br>786 WASHINGTON STREET<br>SOUTH<br>CANTON MA 02021 |
|----------------------------------------------------------------------------|-------------------------------------------------------------------------------------------|

Job # 329959

Contract #

Claim #

To whom it may concern:

Victory Mechanical Services thanks you for the opportunity to quote you.

DURING A RECENT SERVICE CALL WE FOUND THE CHILLER COMPRESSOR TO BE NOISY. WHEN ONSITE WE TRIED TO ADD OIL BUT THAT DIDN'T FIX THE PROBLEM, THE COMPRESSOR NEEDS TO BE REPLACED. BELOW IS A QUOTE TO REPLACE DEFECTIVE COMPRESSOR.

**\*\* PLEASE NOTE THIS PRICE IS ONLY GUARANTEED FOR 30 DAYS, AFTER 30 DAYS QUOTE NEEDS TO BE REVISITED\*\***

| Proposed Work                          | Quantity | Unit Price  | Extended Price     | Tax                                 |
|----------------------------------------|----------|-------------|--------------------|-------------------------------------|
| SVC COM LABOR                          | 45       | \$120.00    | \$5,400.00         |                                     |
| CRANE                                  | 1        | \$3,125.00  | \$3,125.00         |                                     |
| COMPRESSOR                             | 1        | \$34,819.70 | \$34,819.70        | <input checked="" type="checkbox"/> |
| LBS OF R22                             | 20       | \$80.00     | \$1,600.00         | <input checked="" type="checkbox"/> |
| NITROGEN, FILTER DRIER AND MISC. PARTS | 1        | \$652.00    | \$652.00           | <input checked="" type="checkbox"/> |
| COMPRESSOR CORE                        | -1       | \$950.00    | (\$950.00)         | <input checked="" type="checkbox"/> |
|                                        |          |             | Sub Total          | <input checked="" type="checkbox"/> |
|                                        |          |             | MA Tax             | <input type="checkbox"/>            |
|                                        |          |             | <b>Total Quote</b> | <input type="checkbox"/>            |

## Quote

Victory Mechanical Services, Inc.  
115 Mendon Street  
Bellingham MA 02019  
508-966-9858 FAX: 508-966-9859  
04-3325405

Quote # 372549  
Date: 11/8/2021  
Page # 2 of 4

### TERMS AND CONDITIONS

1. If Work is on a time and material basis, the following shall constitute emergency service work by Victory Heating & Air Conditioning Co., Inc. ("Contractor") and shall be paid at a rate of one and one-half times the Contractor's commercial rate then in effect for its employees ("the Overtime Rate"): any call after 1:30 p.m. requiring same day service; any holiday service; any weekend service; and regardless of when the call is made, all work performed after 4:30 p.m. or before 8:00 a.m.
2. The Customer will grant the Contractor's representative free and safe access to the location of all equipment covered by this Contract, for the purposes of inspections or adjustments and repairs. The Customer will allow the Contractor to shut down the equipment as necessary to perform maintenance and repair services as necessary.
3. Any changes to the Contract must be in writing, signed by both parties. Additional work ordered by the Customer, work necessitated by unforeseen conditions, or work otherwise not called for in this document, shall constitute additional work for which a change order must issue. The change order shall identify the changed/additional work, the agreed to cost of that work, and any adjustment in time to complete the work necessitated by the changed/additional work. The change order must be in writing and signed by the Contractor and Customer before any such work is required, unless for emergency health or other safety reasons, or to prevent imminent and substantial property damage, in which case Contractor may perform and shall be paid but shall not be liable for failing to perform. Additionally, if the Contractor is delayed at any time in the progress of the work by fire, labor disputes, Acts of God, or any other causes beyond the Contractor's control, the completion schedule for the Work or affected parts of the Work (if a deadline exists) shall be extended by the same amount of time caused by the delay. In event of the delay, the Contractor also shall be entitled to a change order for its on-site overhead costs, including without limitation, the costs of on-site supervisory personnel and the rental costs of any equipment. Upon signing a change order, payment shall be due in accordance with that change order or, absent specification in the change order, upon substantial completion of that change order work.
4. The phrase "Substantial Completion," as used in this Contract, is defined as follows: the stage in the Work when it is sufficiently complete in accordance with the Contract that the Customer can occupy or utilize the Work area for its intended use. The phrase "Final Completion" as used in this Contract is defined as that time when all Work is complete. In the event a warranty is provided, that warranty shall run from Substantial Completion.
5. Contractor is not responsible for the inspection, discovery, abatement or removal of hazardous materials, including but not limited to, asbestos, lead paint (except as required by statute or regulation), radon, mold and U.F.L. If any hazardous materials are identified, Contractor will leave the job until another licensed and approved contractor makes the area free of the hazardous material(s). Upon Contractor's return, any additional work will be handled by a change order to the original contract. Contractor is not responsible for any damages caused by, arising out of, or related to any of these hazardous materials including without limitation, mold or lead paint and the Owner waives, remises, releases and discharges all claims against Contractor caused by, arising out of, or related to these hazardous materials including without limitation, mold or lead paint, known and unknown, currently existing or hereafter arising, in any way related to, caused by, or arising from any Work and agrees to indemnify, defend and hold Contractor harmless from all such claims. The remise, release, waiver, and discharge includes, without limitation, all claims for property damage and personal injury of any and all kinds.
6. The Contractor shall give written notice to the Customer when it achieves Final Completion. In the event of a disagreement concerning whether Final Completion has occurred, the Customer shall pay all remaining sums minus the value of any items claimed to be incomplete and the Contractor reserves all rights concerning the amount being held by the Customer. Upon receipt of notice of Final Completion, the Customer shall have the right and opportunity to make a final inspection of said Work and materials used in connection therewith within three (3) business days after receipt of notice of Final Completion of the Work. In the event that the Customer is dissatisfied with the Work (and/or the materials used), the Customer shall notify the Contractor in writing within three (3) business days after his/her inspection that he/she is dissatisfied and shall specify the reasons therefore. The failure to provide this notice shall constitute a release and waiver of the Customer's claims.



### Quote

#### Victory Mechanical Services, Inc.

115 Mendon Street  
Bellingham MA 02019  
508-966-9858 FAX: 508-966-9859  
04-3325405

Quote # 372549  
Date: 11/8/2021  
Page # 3 of 4

7. One and one-half percent (1.5%) service charge per month will accrue on all amounts not paid within thirty (30) days from the invoice date. Contractor may terminate without liability for Customer's failure to make timely payments and Customer shall be liable for all costs and attorneys' fees incurred to collect any amount due from Customer.

8. Contractor is released and Customer does hereby waive any and all claims of negligence and breach of contract against Contractor arising out of, caused by, or in any way related to, in whole or in part, the Customer's own negligence or its misuse of equipment, tools, or materials.

9. The Customer shall be responsible for purchasing and maintaining the Customer's usual liability insurance including such insurance as will protect the full value of the property and the Work from fire however caused, and other hazards, and against Acts of God, during the course of the Work. Customer agrees that its insurance shall include a waiver of subrogation against Contractor, agrees that all subrogation rights are hereby forever waived and released, and agrees that this waiver and release shall be permanent and final, effective even after all work is completed. Further, to the extent not covered by insurance, and to the fullest extent permitted by law, Customer's recoverable damage for any claims shall be limited to no more than the amount paid to Contractor under this Contract. The Contractor shall purchase and maintain insurance for claims of worker's compensation, claims for damages because of bodily injury, and claims for property damages, to the extent these claims arise out of or are the result of the Contractor's negligent work.

10. The Customer and the Contractor agree to waive all claims against each other for any consequential damages that may arise out of or relate to this Agreement. The Customer agrees to waive damages including but not limited to the Customer's loss of use of the Work, any rental expenses incurred, loss of income, profit or financing related to the Work, as well as the loss of business, loss of financing, principal office overhead and expenses, loss of profits not related to the Work, and for loss of reputation. The Contractor agrees to waive damages not related to this Work including loss of business, loss of financing, and for loss of bonding capacity and loss of reputation. The provisions of this Paragraph shall survive termination of the Contract.

11. If Contractor materially defaults on the terms herein, the Customer shall provide written notice of the default and provide five days to cure that default from the date of serving that notice. If after five days from serving the notice, the default is not cured, the Contractor may be terminated at the Customer's discretion.

12. This document and any exhibits and addenda, specifications and/or drawings expressly referenced herein, form the full and complete Contract between the parties and replace and supersede all prior discussions, proposals and negotiations between the parties. Further, the parties agree and expressly represent that they are relying on no representations to enter into this Contract other than the terms set forth herein. This Contract shall not be amended except by written agreement signed by both parties and notarized. The invalidity of one or more phrases, sentences, clauses, or articles, shall not affect the remaining portions of the Contract and if any part of the Contract should be declared invalid by final order, decree or judgment of a court of competent jurisdiction, this Contract shall be construed as if such invalid phrases, sentences, clauses, or articles had not been inserted. The Contract shall be construed in accordance with the laws of the Commonwealth of Massachusetts, excluding any choice of law doctrine that would result in application of foreign law. Massachusetts substantive law shall be applied to interpret this Contract in all disputes. All civil actions which arise between the parties concerning the project that is the subject of this Contract shall be filed in Norfolk County Superior Court or Milford District Court, except that Contractor shall have the right, at its sole discretion, to require arbitration of any dispute pursuant to the Construction Industry Rules of the American Arbitration Association ("AAA"), in which case any court action shall be stayed until arbitration is completed. The Contractor shall have the right to choose AAA or JAMS as the arbitration forum.

### Quote

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Date: 11/8/2021  
Page # 4 of 4


ACCEPTANCE OF PROPOSAL – The individual signing below warrants and represents that he/she is duly authorized to bind the Customer to the terms set forth above and that he/she fully understands these terms and conditions. The undersigned further warrants and represents that he/she has read the back of this Proposal and that by signing below, Customer agrees to not only all terms stated above including all prices and specifications, but all terms stated on the back of this page as forming the parties' contract ("the Contract").

Signature \_\_\_\_\_ Date \_\_\_\_\_

Acceptance (Customer) \_\_\_\_\_ Date \_\_\_\_\_ Approval (Company) \_\_\_\_\_ Date \_\_\_\_\_

Method of Payment    Check [ ]    Cash [ ]

|                                                                                                                                                                                           |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <input type="checkbox"/> Credit [ ]<br><input type="checkbox"/> Master Card [ ] <input type="checkbox"/> Visa [ ]<br>Acct # _____ Exp Date _____<br>Name on Card _____<br>Signature _____ |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                       |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p><b>TOWN OF CANTON</b><br/> <b>FORM B - FISCAL 2023</b><br/> <b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>DEPARTMENT:</b><br/>Canton Public Library</p>                                                                                                                                                                                                                                                                                                                                                                                                                             | <p><b>SUBMITTED BY:</b><br/>Andrea Capone</p>                                                                                                                                                                                                                                                                                                                                                                         |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Canton Library Rubber Roof Replacement</p>                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$228,000</p>                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>DESCRIPTION:</b><br/>Replace the rubber roofs of the Canton Public Library that have come to the end of their useful life.</p>                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>The library's rubber roofs are in disrepair and need replacement. Roofs were installed in 2001-2002 and are continuously leaking, causing interior damage to the building and property. While spot repairs are made to address leaks as they arise, the entire roof now needs to be replaced.</p>                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input checked="" type="checkbox"/> Required for Safety<br/> <input type="checkbox"/> Required by Law or Mandate<br/> <input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br/> <input type="checkbox"/> Planned Project or Replacement<br/> <input type="checkbox"/> Unplanned Project or Replacement<br/> <input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/> <i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br/>         1 (#) OF 2 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years<br/> <input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____<br/> <input checked="" type="checkbox"/> No Impact<br/> <input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                 | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br/> <input checked="" type="checkbox"/> Revenue Neutral (no impact)<br/> <input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                           |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i><br/>         Roof system comes with a 20-year manufacturer full system warranty. Price is quoted based upon prevailing wage.</p>                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                       |

FORM B - FISCAL 2023 (2)



# Gibson Roofs, Inc.

369 Winter St., Hanover, MA 02339

Ph: 781-826-6344

800-495-6344

Fax: 781-826-8063

November 8, 2021

Andrea Capone  
Canton Library

RE: Canton Library Roof Replacement

Dear Andrea,

GIBSON ROOFS, INC. is pleased to provide the following proposal for work at the above referenced project for your review and consideration. We propose the following:

**Scope of Work: Roof Replacement at Low Slope Rubber Roofs**

- Remove and dispose of existing roof systems down to existing deck.
- Furnish and install self-adhered vapor barrier along entire roof deck.
- Furnish and install new tapered polyiso insulation system with a minimum R-30 thickness to meet building code.
- Furnish and install 1/2" HD Coverboard over tapered polyiso.
- Furnish and install a 60mil EPDM membrane, fully adhered to the insulation board.
- Install pressure treated wood on edge as necessary to match insulation height.
- Flash all base walls and penetrations per manufacturer's specifications.
- Fabricate and install 040 aluminum edge metal with hook strip and concealed joints.
- Roof system comes with a 20-year manufacturer full system warranty.


*Total Cost for this Project* .....\$228,000

**Notes**

- Price above assumes that there is only a one roof system currently on the roof (i.e. a second roof was no just installed over an original roof prior).
- Price above assumes that no abatement of hazardous materials will be necessary to complete the work.

Thank you for the opportunity to submit this quotation. If you have any questions or require further information, please feel free to contact the office at 781-826-6344.

Sincerely,  
GIBSON ROOFS, INC.

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>DEPARTMENT:</b><br/><u>PARKS &amp; RECREATION</u></p>                                                                                                                                                                                                                                                                                                                                                                                                                                          | <p><b>SUBMITTED BY:</b><br/><u>DENNIS ADRICH</u></p>                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/><u>SAND PRO 5040</u></p>                                                                                                                                                                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b> <u>\$35,737.23</u></p>                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>DESCRIPTION:</b><br/><u>BALL FIELD SCARIFIER USED TO GROOM AND LEVEL BALL FIELDS. CAN SOFCUT ALSO.</u></p>                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/><u>THIS MACHINE WILL REPLACE OUR OLD SMITHCO SCARIFIER (BUNKER KARA) WHICH IS OVER 10 YRS OLD AND NOT MADE FOR BALLFIELD WORK. ULTIMATELY THIS MACHINE WILL DO BETTER WORK, QUICKER AND EASIER.</u></p>                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input checked="" type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p><u>1</u> (#) OF <u>2</u> (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input checked="" type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                             | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                           |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                |



157 Moody Road • PO Box 1200 • Enfield, CT 06082  
Main Office: (800) 243-4355 • FAX: (860) 763-5550

# QUOTE

Prepared For: Dennis Aldrich  
**CANTON RECREATION DEPARTMENT**  
92 PLEASANT STREET; CANTON,  
Massachusetts 2021 United States


Ship To: 5040  
Quote Number: Q87716  
Quoted Date: **10/01/2021**  
Prepared By: Scott Lagana  
slagana@turfproductscorp.com

| Qty | Model #      | Description               | MSRP        | % Disc | Award       | Extended    |
|-----|--------------|---------------------------|-------------|--------|-------------|-------------|
| 1   | <b>08745</b> | <b>Sand Pro 5040</b>      | \$26,459.00 | 21 %   | \$20,902.61 | \$20,902.61 |
| 1   | 08713        | Flex Blade                | \$1,350.00  | 21 %   | \$1,066.50  | \$1,066.50  |
| 1   | 08712        | Front Lift Frame Assembly | \$2,374.00  | 21 %   | \$1,875.46  | \$1,875.46  |
| 1   | 08732        | Weeder Tine Toolbar       | \$1,284.00  | 21 %   | \$1,014.36  | \$1,014.36  |
| 1   | 08733        | Spring Tine Toolbar       | \$1,377.00  | 21 %   | \$1,087.83  | \$1,087.83  |
| 1   | 08781        | Rear Remote Hydraulic Kit | \$2,557.00  | 21 %   | \$2,020.03  | \$2,020.03  |
| 1   | 08838        | Midmount Toolbar System   | \$1,790.00  | 21 %   | \$1,414.10  | \$1,414.10  |
| 1   | 08761        | QAS Nail Drag             | \$1,804.00  | 21 %   | \$1,425.16  | \$1,425.16  |
| 1   | 08762        | QAS Flex Groomer Kit      | \$1,296.00  | 21 %   | \$1,023.84  | \$1,023.84  |
| 1   | 08766        | Sport Field Edger         | \$4,946.00  | 21 %   | \$3,907.34  | \$3,907.34  |

## FAC116

|                     |                    |
|---------------------|--------------------|
| Toro Total:         | <b>\$35,737.23</b> |
| Non - Toro Total:   | \$0.00             |
| Set Up:             | \$0.00             |
| Freight:            | \$0.00             |
| Trade Ins:          | (\$0.00)           |
| State Sales Tax:    | \$0.00             |
| <b>Total Price:</b> | <b>\$35,737.23</b> |



| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                             |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>PARKS AND RECREATION                                                                                                                                                                                                                                                                                                                                                                                                                            | <b>SUBMITTED BY:</b><br>DENNIS ALDRICH                                                                                                                                                                                                                                                                                                                                      |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>BILLYGOAT 73000 STANDON BLOWER                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                             |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b> \$10950                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                             |
| <b>DESCRIPTION:</b><br>STAND ON LEAF BLOWER                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                             |
| <b>PURPOSE AND JUSTIFICATION:</b><br>THIS MACHINE WILL ALLOW US TO MORE EFFICIENTLY REMOVE FIELD LEAVES AND DEBRIS. WE CAN ALSO USE THIS TO SPEED UP THE DRYING TIME OF FIELDS                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                             |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br>Please rank this request out of your total requests for this year: (#1 as top priority)<br>2 (#) OF 2 (#)<br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                 | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                           |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                             |



www.norfolkpower.com  
info@norfolkpower.com

Ship To: IN STORE PICKUP

5 Cushing Drive  
Wrentham, MA 02093  
Tel: (508) 384-0011  
Fax: (508) 384-8667

846 Bronco Highway  
Burrillville, RI 02830  
Tel: (401) 710-9911  
Fax: (401) 710-9466

45 North Main Street  
Carver, MA 02330  
Tel: (774) 213-9190  
Fax: (508) 465-0931

\*\*\*Please remit payment to Wrentham address\*\*\*

Invoice To: TOWN OF CANTON PARK AND REC  
92 PLEASANT STREET  
CANTON MA 02021

|                         |                        |                     |
|-------------------------|------------------------|---------------------|
| Branch<br>01 - WRENTHAM |                        |                     |
| Date<br>09/30/2021      | Time<br>12:30:35 (O)   | Page<br>1           |
| Account No<br>CANTO031  | Phone No<br>7819532515 | Est No 01<br>Q13452 |
| Ship Via                | Purchase Order         |                     |
| Tax ID No               |                        |                     |
| PETER TARASIDIS         |                        | Salesperson<br>PNT  |

**EQUIPMENT ESTIMATE - NOT AN INVOICE**

| Description                               | ** Q U O T E ** | EXPIRY DATE: 01/07/2022 | Amount   |
|-------------------------------------------|-----------------|-------------------------|----------|
| New BILLYGOAT Z3000 STAND ON BLOWER Z3000 |                 |                         | 10950.00 |
| New BILLYGOAT X3000 STAND ON BLOWER X3000 |                 |                         | 9295.00  |
| Subtotal:                                 |                 |                         | 20245.00 |
| Quote Total:                              |                 |                         | 20245.00 |

Authorization: \_\_\_\_\_

WHOLEGOODS RETURN POLICY: (1) All new equipment comes with a written manufacturer's warranty. Any defects in material workmanship are subject to repair according to the manufacturer's warranty. Unless directed by the manufacturer, equipment will not be replaced. (2) Equipment returned within seven business days in new unused conditions may be exchanged or refunded for the full amount. (3) Equipment returned within seven business days and has been used subject to a thirty percent restocking fee. (4) No returns after seven business days. (5) All special orders subject to a twenty percent cancellation fee. (6) Special order units are non-returnable.

\*\*\*All new equipment quotes valid for 45 days unless stated otherwise.\*\*\*

**Thank You For Your Business!**




**Jones, Ellen**


---

**From:** Rafferty, Helena  
**Sent:** Monday, November 8, 2021 10:25 AM  
**To:** Jones, Ellen  
**Subject:** Police  
**Attachments:** FORM - FISCAL 2023 CPC.xlsx


Here is police capital for FY23. I really don't have any idea what we would be looking for in future fiscal years except cruisers and vests-they are two constants. We seem to put in for four cruisers each year due to wear and tear. Vests I can let you know when Lt. Sherrill comes back from medical leave. However, the spread sheet is correct FY 23.

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Canton PD                                                                                                                                                                                                                                                                                                                                                                                                                                                  | <b>SUBMITTED BY:</b><br>DC Helena Rafferty                                                                                                                                                                                                                                                                                                                                                         |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>New Police Vehicles                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$176,000                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>4 New Ford Explorers.                                                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Wear and tear on our vehicles means we need to change them out every three to four years for officer safety reasons due to mileage accrued and part failures etc                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 1 (#) OF _____ 4 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input checked="" type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input checked="" type="checkbox"/> Will Reduce Cost by \$ _____<br><input type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                 | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                                  |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i><br>Will reduce costs to operating budgets for repairs etc.                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|                                                                                                                                                                                                                                                                                                                                                                                                     | <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                             |
| <b>DEPARTMENT:</b><br>Canton PD                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>SUBMITTED BY:</b><br>DC Helena Rafferty                                                                                                                                                                                                                                                                                                                                                         |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>New Body Armor                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$12,000                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>12 New Vests for 5 Present Officers & Anticipated 7 New Permanent Intermittents                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Vests are on a rotating replacement schedule as they expire after five years and the materials they are made of start to break down and do not offer the protection necessary for the officers.                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input checked="" type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br>Please rank this request out of your total requests for this year: (#1 as top priority)<br>_____ 2 (#) OF _____ 4 (#)<br><br><b>Expected Useful Life:</b> <i>(Check one)</i><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                     | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                                  |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i><br>Safety of our officers is of utmost concern and like the request for new cruisers, this falls under that category                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023

| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Canton PD                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>SUBMITTED BY:</b><br>DC Helena Rafferty                                                                                                                                                                                                                                                                                                                                                         |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Canton Police RMS Software                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$210,000                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Updated Record Management System                                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>FY 22, 200,000 was allocated to this project. Current software quote with updated training days and additional components is \$300,000. Server hardware, other related software and training costs for personnel total an additional \$210,000 bringing total project cost to \$410,000.                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 3 (#) OF _____ 4 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                     | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                                  |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i><br>Our last RMS update at the Canton PD was July of 2004-17 plus years ago. Company we currently utilize is no longer offering support and is slated to become obsolete. So basically, the costs break down to about 23,000 per year for anticipated life expectancy-hopefully longer.                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023



Pricing Proposal  
 Quotation #: 19252611  
 Created On: 8/7/2020  
 Valid Until: 8/31/2020

**City of Dedham**

**Inside Account Executive - SLE**

**Michael D'Entremont**  
 600 High Street  
 Dedham, MA 02026  
 United States  
 Phone: (781) 751-9324  
 Fax:  
 Email: mdentremont@police.dedham-ma.gov

**Christopher Nealon**  
 290 Davidson Ave.  
 Somerset, NJ 08873  
 Phone: 732-564-8507  
 Fax: 512-732-0232  
 Email: Christopher\_Nealon@SHI.com

All Prices are in US Dollar (USD)

| Product                                                                                                                                                             | Qty | Your Price   | Total               |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----|--------------|---------------------|
| 1 SOFTWARE: Application Software, Citizens Services and 3rd Party Software<br>ProPhoenix - Part#: SOFTWARE<br>Contract Name: Software Reseller<br>Contract #: ITS58 | 1   | \$99,920.30  | \$99,920.30         |
| 2 Interface, Installation, Conversion, Training and Project Management.<br>ProPhoenix - Part#: SERVICES<br>Contract Name: Software Reseller<br>Contract #: ITS58    | 1   | \$164,383.00 | \$164,383.00        |
|                                                                                                                                                                     |     | <b>Total</b> | <b>\$264,303.30</b> |

**Additional Comments**

Hardware items on this quote may be updated to reflect changes due to industry wide constraints and fluctuations.


- Milestone 1- Law Enforcement CAD-RMS and WDA Mobile Initiation of Project to be invoiced after kickoff meeting- \$95,149.19
- Milestone 2- Law Enforcement CAD-RMS and WDA Mobile Installation of Software To be invoiced when software is installed- \$63,432.79
- Milestone 3- Law Enforcement CAD-RMS and WDA Mobile Final Payment To be invoiced on July 15th 2021- \$105, 721.32

Application Software  
 CAD-CLI-SGL-PF CAD Client - SingleJuris - Police/Fire 4  
 CAD-STA-SITE CAD Status Client 1  
 RMS-SER-SGL-POL RMS Server - Single Juris - Police 1  
 RMS-CLI-SITEP RMS Client - Single Juris - Police (Site License) 1  
 WDA-SER-POL WDA (Mobile) Server - Police 1  
 WDA-CLI-POL-SITE WDA (Mobile) Client - Police (Site License) 1  
 WDA-SER-APP WDA - PD App Server License for Tablet and Phone 1  
 CAD-SER-SGLPF CAD Server - Single-Juris Police/Fire 1  
 Interface  
 INT-RAPIDSOS-II Interface - Enhanced RapidSOS E911 CAD Interface 1  
 NCI-SER-CLETS Interface - NCIC/CLETS Server TCP/IP 1  
 INT-ECITA-MA Interface - Massachusetts e-Citation 1  
 INT-FH-RMS Interface - CAD to FireHouse RMS 1  
 INT-CROSSMATCH F Interface - Crossmatch FTP 1

INT-HUNTER-MUG Interface - Hunter SmartShot Mugshot System 1  
INT-MA-DIST Interface - MA District Court Interface 1  
INT-911-NEXTGEN Interface - E911 Next Gen Features 1  
INT-MA-CRASH Interface - Massachusetts e Crash Reporting 1  
INT-CAD-TXT2DISP Interface - Text2Dispatch 1  
INT-KGIS-NET Interface - Key Global Information Sharing 1  
INT-SWISS Interface - SWISS-MA 1  
Citizen Services  
CIT-SETUP-SJ Citizen Services - Initiation and Setup - Single Agency 1  
CIT-SUP Citizen Services (Crime View) - Annual Subscription 1  
Installation  
PNX-INS Installation - Phoenix Software 1  
GOOG-MAP-SETUP Installation - Google Map Setup and Configuration 1  
Conversion  
CON-GC Populate Geo (Address) 1  
CON-PAMET Data Conversion - Pamet 1  
Training  
ProPhoenix Corporation  
TRN-ONS Training - On-Site 13  
TRN-ONS-SPECIAL Training - On-Site Specialized Training 2  
Project Management  
PM-GEN Project Management and Professional Services 1  
3rd Party Software  
GOOG-MAP-SAAS Google Map Subscription 1

---

*The products offered under this proposal are resold in accordance with the terms and conditions of the Contract referenced under that applicable line item.*

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DEPARTMENT:</b><br/>Canton PD</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | <p><b>SUBMITTED BY:</b><br/>DC Helena Rafferty</p>                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Bola Wrap Devices</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$6,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DESCRIPTION:</b><br/>(4) Bola Wrap Devices. Bola Wrap is a non invasive, proactive tool that allows officers to control a subject (ie. suspect or person having a mental health episode) without actually placing their hands on them. It wraps the subject up in a net for the time necessary to approach and effect interaction in whatever way is necessary.</p>                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>Subject and Officer Safety.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input checked="" type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p style="text-align: center;">_____ 4 (#) OF _____ 4 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input checked="" type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                             | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                                     |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

FORM B - FISCAL 2023

CENTRAL EQUIPMENT, LLC  
 PO BOX 781 MATTAPOISETT, MA 02739  
 jeanc@central-equipment.net  
 www.central-equipment.net

NOV 4 2021

Customer Phone: 781 828 1212

Email Address: sgoode@town.canton.ma.us

Town of Canton Police  
 Sgt Sean Goode  
 1492 Washington St  
 Canton MA 02021

## QUOTE ONLY



Contract FIR04 can be utilized by any agency  
[CommBuys - FIR04 Who Can Use.docx](#)

Lead Time

Valid Till

Salesperson

**Jean Cole**

Wrap Contact

jeanc@central-equipment.net

Amount

\$2978.00

Payment Terms

Net 30

Central Equipment is pleased to quote THE **NEW BOLAWRAP 150** on FIR04.

| Product Name                                                               | Unit Price | Qty | Amount     |
|----------------------------------------------------------------------------|------------|-----|------------|
| BolaWrap 150 Yellow #15021                                                 | \$924.95   | 2   | \$ 1849.90 |
| BolaWrap 150 Black #15022                                                  | \$924.95   | 00  | \$0000.00  |
| BolaWrap 150 Green #15024                                                  | \$924.95   | 00  | \$0000.00  |
| BolaWrap 150 Tan #15025                                                    | \$924.95   | 00  | \$0000.00  |
| Extended Warranty One year                                                 | \$189.95   | 2   | \$ 379.90  |
| BolaWrap 150 Cassette Black #15030<br>(6 cassettes recommended per device) | \$29.95    | 12  | \$ 359.40  |
| BolaWrap150 Battery Pack Yellow #15041                                     | \$59.95    | 00  | \$0000.00  |
| BolaWrap150 Battery Pack Black #15042                                      | \$59.95    | 00  | \$0000.00  |
| BolaWrap150 Battery Pack Green #15044                                      | \$59.95    | 00  | \$0000.00  |
| BolaWrap150 Battery Pack Tan #15045                                        | \$59.95    | 00  | \$0000.00  |
| BolaWrap 150 Blackhawk Retention Holster #15050<br>Belt Attachment Black   | \$69.95    | 2   | \$ 139.90  |
| BolaWrap 150 Blackhawk Retention Holster #15051<br>Molle Mount Black       | \$99.95    | 00  | \$0000.00  |
| BolaWrap 150 Blackhawk Retention Thigh Holster<br>Black #15052             | \$149.95   | 00  | \$0000.00  |
| BolaWrap 150 Dual Cassette Holster Black #15053                            | \$74.95    | 2   | \$ 149.90  |
| BolaWrap 150 Nylon Holster Black #15054<br>Belt Attachment                 | \$59.95    | 00  | \$0000.00  |
| BolaWrap 150 Nylon Holster Black #15055<br>Molle Attachment                | \$59.95    | 00  | \$0000.00  |
| BolaWrap 150 Nylon Thigh Rig Black #15056                                  | \$139.95   | 00  | \$0000.00  |
| BolaWrap 150 SO Tech Thigh Rig Black #15057                                | \$149.95   | 00  | \$0000.00  |



Continued on Page Two

SUBTOTAL \$2879.00

[WRAP-SOLE SOURCE LETTER.docx](#)

Attached for your review  
Right click Open hyperlink

Shipping \$100.00

[www.wrap.com](http://www.wrap.com)

This is the BolaWrap website for access to all media and  
video information on the WRAP.  
Right click Open hyperlink

Grand Total: \$2979.00

Sincerely,

*Jean Cole*

#### TESTIMONIAL FROM A WRAP DEMONSTRATION:

"I was impressed with the Bola Wrap Demonstration put on by the Chief and his colleague (at Springfield, MA). When Chief DeLucca said it bridges gaps in the use of force continuum, he nailed it. Being a Firearms Instructor and being involved in a On Duty Shooting involving a E.D.P. in July of 2008, I wish that I had this device back on that date and have no doubts it would have changed the outcome of the situation for the better. As a result, our department finally adopted the S.I.M.S. Program of the M.P.T.C., but it did not help us on that day, and this tool will assist in bridging that gap that continues to exist. This device is worthy, will reduce officer liability, and most importantly, will save lives and prevent injuries. I will bring this information with my recommendation to my Command Staff for their review."

Sergeant Daniel F. Reardon Holyoke, Massachusetts Police Department



**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
SIX-YEAR PLAN**

Beginning with Fiscal Year 2022 and ending with 2027  
(000's omitted)

FY2022  
VOTED

FY2023

FY2024

FY2025

FY2026

FY2027

5-Year  
TOTAL

FY2021

6-Year  
TOTAL

| DEBT                                                                    |                               |      | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 | FY2027 | 5-Year | FY2021 | 6-Year |
|-------------------------------------------------------------------------|-------------------------------|------|--------|--------|--------|--------|--------|--------|--------|--------|--------|
|                                                                         |                               |      | TOTAL  | TOTAL  | TOTAL  | TOTAL  | TOTAL  | TOTAL  | TOTAL  | TOTAL  | TOTAL  |
| <b>VEHICLES</b>                                                         |                               |      |        |        |        |        |        |        |        |        |        |
| Utility                                                                 | 2008 Ford F550                | # 10 |        | 75     |        |        |        |        | 75     |        | 75     |
| Dump                                                                    | 2014 International Dump #7400 | # 17 |        |        |        |        | 210    |        | 210    | 0      | 210    |
| Dump-Sander                                                             | 2009 Int'l 7400               | # 18 |        |        |        | 210    |        |        | 210    |        | 210    |
| Dump-4x4                                                                | 2002 Ford F750                | # 19 |        |        | 180    |        |        |        | 180    |        | 180    |
| Dump                                                                    | 2013 Int'l 7400               | # 22 |        |        |        |        |        |        | 0      |        | 0      |
| Dump - Sander                                                           | 2015 International 7400 SFA   | # 23 |        |        |        |        |        |        | 0      |        | 0      |
| Dump-Sander                                                             | 2000 Sterling                 | # 24 |        | 210    |        |        |        |        | 210    |        | 210    |
| Dump-4x4                                                                | 2016 Ford F550                | # 25 |        |        |        |        |        |        | 0      |        | 0      |
| Dump-4x4                                                                | 2012 Ford F550                | # 26 |        |        |        |        |        |        | 0      |        | 0      |
| Dump-Sander                                                             | 2011 Int'l 7400 SFA           | # 28 |        |        |        |        |        |        | 0      |        | 0      |
| Bucket Truck                                                            | 2000 Ford F-750 Forestry      | # 37 |        |        |        |        |        |        | 0      |        | 0      |
| Dump                                                                    | 10 Wheel 18 c.y. Dump         |      | 0      | 270    |        |        |        |        | 270    |        | 270    |
| Box Truck                                                               | Freightliner M2 106           |      |        |        |        |        |        |        | 0      |        | 0      |
| Dump                                                                    | 6 Wheel 5 c.y. Dump           |      |        | 224    |        |        |        |        | 224    |        | 224    |
| Loader                                                                  | 2008 CAT 928H                 | # 70 |        |        | 185    |        |        |        | 185    |        | 185    |
| <b>TOTAL - VEHICLES</b>                                                 |                               |      | 0      | 514    | 470    | 180    | 210    | 210    | 1,584  | 0      | 1,584  |
| <b>SPACE NEEDS</b>                                                      |                               |      |        |        |        |        |        |        |        |        |        |
| Cemetery Garage                                                         |                               |      |        |        |        | 275    | 0      |        | 275    | 0      | 275    |
| <b>TOTAL - SPACE NEEDS</b>                                              |                               |      | 0      | 0      | 0      | 0      | 275    | 0      | 275    | 0      | 275    |
| <b>TECHNOLOGY</b>                                                       |                               |      |        |        |        |        |        |        |        |        |        |
| Asset Management Software                                               |                               |      |        |        |        |        |        |        | 0      |        | 0      |
| available for use                                                       |                               |      |        |        |        |        |        |        | 0      |        | 0      |
| available for use                                                       |                               |      |        |        |        |        |        |        | 0      |        | 0      |
| <b>TOTAL - TECHNOLOGY</b>                                               |                               |      | 0      | 0      | 0      | 0      | 0      | 0      | 0      | 0      | 0      |
| <b>EQUIPMENT</b>                                                        |                               |      |        |        |        |        |        |        |        |        |        |
| Street Sweeper                                                          | 2010 Elgin Pelican            | # 35 |        | 210    |        |        |        |        | 210    |        | 210    |
| Sidewalk Tractor                                                        | 2015 MT Trackless             | # 47 |        |        |        |        |        |        | 0      |        | 0      |
| Sidewalk Tractor                                                        | 2008 Camoplast                | # 48 |        |        |        |        |        |        | 0      |        | 0      |
| Sidewalk Tractor/Flow                                                   | 1992 Bombardier               | # 49 |        |        |        |        |        |        | 0      |        | 0      |
| Bolivar Garage Security System                                          |                               |      |        |        |        |        |        |        | 0      |        | 0      |
| Sidewalk Tractor and Attachments                                        |                               |      | 0      | 274    |        |        |        |        | 274    |        | 274    |
| <b>TOTAL - EQUIPMENT</b>                                                |                               |      | 0      | 274    | 210    | 0      | 0      | 0      | 484    | 0      | 484    |
| <b>BUILDING &amp; GROUND REPAIR/IMPROVEMENTS</b>                        |                               |      |        |        |        |        |        |        |        |        |        |
| 5 Year Roadway Maintenance Program (Prop. 2 1/2 Debt Exclusion)         |                               |      |        | 350    | 350    | 350    | 18,000 |        | 19,050 | 0      | 19,050 |
| Sidewalk Program (Prop. 2 1/2 Debt Exclusion)                           |                               |      |        | 200    | 200    | 200    | 2,000  |        | 2,600  | 0      | 2,600  |
| Randolph Street Improvements - Paving and Sidewalks                     |                               |      |        | 2,845  |        |        |        |        | 2,845  |        | 2,845  |
| East-West Road (Prop. 2 1/2 Debt Exclusion)                             |                               |      |        |        |        |        | 15,000 |        | 15,000 | 0      | 15,000 |
| Town Wide Traffic Study - includes Pleasant St. & Washington St.)       |                               |      |        |        |        | 450    |        |        | 450    |        | 450    |
| Washington/Randolph Streets Intersection Improvements                   |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Greenledge Street Drainage                                              |                               |      | 0      |        |        | 350    |        |        | 350    |        | 350    |
| Old Shepard St. Pond Dam Repair Design                                  |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Downtown Streetscape                                                    |                               |      |        | 315    |        | 640    |        |        | 955    |        | 955    |
| Cemetery Roads                                                          |                               |      |        |        |        | 150    |        |        | 150    |        | 150    |
| Rockland St. Culvert                                                    |                               |      |        |        |        | 230    |        |        | 230    |        | 230    |
| Mechanic St. Culvert                                                    |                               |      |        |        |        | 200    |        |        | 200    |        | 200    |
| Drainage Repairs/Culverts                                               |                               |      |        | 270    |        | 0      |        |        | 270    |        | 270    |
| Road Improvements Sherman/Angelia/Pleasant (Bridge in '22)              |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Baley Street Reconstruction                                             |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Stormwater Management Program                                           |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Canton River/East Branch Drainage Basin                                 |                               |      |        |        |        | 650    |        |        | 650    |        | 650    |
| Stabilize Bolivar Street Dam Walls & Main Spillway - Phase 1            |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Increase capacity of Bolivar Street Main Spillway and Culvert - Phase 2 |                               |      |        |        |        | 0      |        |        | 0      |        | 0      |
| Stormwater BMP - Galvin School                                          |                               |      |        |        |        | 210    |        |        | 210    |        | 210    |
| Stormwater BMP - Hansen School                                          |                               |      |        | 240    |        | 210    |        |        | 240    |        | 240    |
| Stormwater BMP - Ponkapoag                                              |                               |      |        |        |        | 200    | 400    |        | 600    | 0      | 600    |
| York at Ledgerwood Drain                                                |                               |      |        |        |        | 80     |        |        | 80     |        | 80     |
| <b>TOTAL BUILDINGS, ETC.</b>                                            |                               |      | 0      | 685    | 3,635  | 760    | 3,480  | 38,000 | 44,430 | 0      | 44,430 |
| <b>TOTAL DEBT</b>                                                       |                               |      | 0      | 1,373  | 4,315  | 940    | 3,935  | 38,210 | 46,773 | 0      | 46,773 |
| <b>TOTAL - DEPARTMENT PUBLIC WORKS</b>                                  |                               |      | 88     | 1,638  | 4,989  | 1,640  | 4,440  | 38,347 | 48,954 | 0      | 48,954 |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2022 and ending with 2028  
 (\$00's omitted)

|                 |        |        |        |        |        |
|-----------------|--------|--------|--------|--------|--------|
| FY2022<br>VOTED | FY2023 | FY2024 | FY2025 | FY2026 | FY2027 |
|-----------------|--------|--------|--------|--------|--------|

|                 |        |                 |
|-----------------|--------|-----------------|
| 5-Year<br>TOTAL | FY2028 | 5-Year<br>TOTAL |
|-----------------|--------|-----------------|

**PROPERTY MAINTENANCE**

**CASH CAPITAL**

**VEHICLES**

|                                              | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 | FY2027 | 5-Year<br>TOTAL | FY2028 | 5-Year<br>TOTAL |
|----------------------------------------------|--------|--------|--------|--------|--------|--------|-----------------|--------|-----------------|
| available for use                            |        |        |        |        |        |        | 0               |        | 0               |
| Truck 2009 Ford DRWSUP Truck M166M           |        |        |        |        |        |        | 0               |        | 0               |
| Truck 2003 Ford F250 4x4 Truck #61 M42201    |        |        |        |        |        |        | 0               |        | 0               |
| Replace Pick-Up Truck with Transit Van       |        |        |        |        |        |        | 0               |        | 0               |
| Client Vac 2000 Vacuum                       |        |        |        |        |        |        | 0               |        | 0               |
| Utility Trailer (custom) 2003 Trailer M34988 |        |        |        |        |        |        | 0               |        | 0               |
| Utility Trailer (black) 2004 Trailer M00918  |        |        |        |        |        |        | 0               |        | 0               |
| AVIATION 101 634                             |        |        |        |        |        |        | 0               |        | 0               |
| <b>TOTAL-VEHICLES</b>                        | 0      | 0      | 0      | 0      | 0      | 0      | 0               | 0      | 0               |

**BUILDING & GROUNDS REPAIR/IMPROVEMENTS**

|                                             |       |    |     |    |     |   |     |   |     |
|---------------------------------------------|-------|----|-----|----|-----|---|-----|---|-----|
| Building Repairs                            |       |    |     |    |     |   |     |   |     |
| Police Station Roof                         | 123   |    | 20  | 20 | 20  |   | 60  |   | 60  |
| Recreation Garage Roof at 87 Pine Street    |       |    |     |    |     |   | 0   |   | 0   |
| Replace Boiler at Pookapog Fire Station 2   |       |    |     |    |     |   | 0   |   | 0   |
| Fire Station 1 Heat Pump                    |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall Stairway Ceiling              |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall Entry Roof                    |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall - Exterior Painting           |       |    |     |    |     |   | 0   |   | 0   |
| Armando Center - Interior Painting          |       |    |     |    |     |   | 0   |   | 0   |
| Handicap Door Openers                       |       |    |     |    |     |   | 0   |   | 0   |
| Animal Control Roof                         |       | 43 |     |    |     |   | 43  |   | 43  |
| Computer Room Air Conditioning              |       |    |     |    |     |   | 0   |   | 0   |
| Water Seal Building                         |       |    |     |    |     |   | 0   |   | 0   |
| Emergency Power Interface/Back-Up Generator |       |    |     |    |     |   | 0   |   | 0   |
| Painting & Carpeting                        |       |    |     |    |     |   | 0   |   | 0   |
| Furnishings                                 |       |    |     |    |     |   | 0   |   | 0   |
| Workstations/Other Peripheral Equipment     |       |    |     |    |     |   | 0   |   | 0   |
| Building Systems Replacement                |       |    |     |    | 375 |   | 375 |   | 375 |
| Paving                                      |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall - Exterior Brick Repairs      | 1,484 |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall Walkway Steps                 |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall - Replace Locks               |       |    |     |    |     |   | 0   |   | 0   |
| Memorial Hall Design Services - Interior    | 0     |    | 160 |    |     |   | 160 |   | 160 |
| <b>TOTAL-BUILDINGS, ETC</b>                 | 1,607 | 43 | 180 | 20 | 395 | 0 | 638 | 0 | 638 |

**TOTAL CASH CAPITAL**

**DEBT**

**BUILDING & GROUNDS REPAIR/IMPROVEMENTS**

|                                           |       |       |       |   |   |   |       |   |       |
|-------------------------------------------|-------|-------|-------|---|---|---|-------|---|-------|
| Fire Station 1 Roof                       |       |       |       |   |   |   | 0     |   | 0     |
| Demolish Storage Buildings at Pine Street | 1,116 |       |       |   |   | 0 | 0     |   | 0     |
| Memorial Hall Exterior Brick Repairs      |       |       |       |   |   |   | 0     |   | 0     |
| Memorial Hall HVAC                        |       | 1,500 |       |   |   |   | 1,500 |   | 1,500 |
| Police Department Roof                    |       |       |       |   |   |   | 0     |   | 0     |
| <b>TOTAL-BUILDINGS, ETC</b>               | 1,116 | 0     | 1,500 | 0 | 0 | 0 | 1,500 | 0 | 1,500 |

**SPACE NEEDS**

|                                                                           |  |  |  |  |  |  |   |  |   |
|---------------------------------------------------------------------------|--|--|--|--|--|--|---|--|---|
| Community Center (*Excluded from Tax Levy)                                |  |  |  |  |  |  | 0 |  | 0 |
| Community Center Architect and Engineering Fees (*Excluded from Tax Levy) |  |  |  |  |  |  | 0 |  | 0 |
| Price Escalation thereafter                                               |  |  |  |  |  |  | 0 |  | 0 |

**TOTAL - SPACE NEEDS**

**TOTAL DEBT**

**TOTAL - PROPERTY MAINTENANCE**

**FORM A  
TOWN OF CANTON  
CAPITAL PLANNING COMMITTEE  
50X-YEAR PLAN**

Beginning with Fiscal Year 2013 and ending with 2018  
(000's omitted)

FY2012  
VOTER

FY2013

FY2014

FY2015

FY2016

FY2017

5-Year  
TOTAL

FY2018

6-Year  
TOTAL

**ENTERPRISE FUNDS**

**WATER ENTERPRISE FUND**

**WATER IMPROVEMENT PROJECTS**

|                                                                          |   |       |       |     |       |  |       |  |       |
|--------------------------------------------------------------------------|---|-------|-------|-----|-------|--|-------|--|-------|
| Water Towers/Tank - Maintenance                                          | 0 | 3,200 |       |     |       |  | 0     |  | 0     |
| Year 1 Water System Improv. - Design Main replace Various Streets        | 0 |       |       |     |       |  | 0     |  | 0     |
| Year 2 Water System Improv. - Const Design Main Various Streets          | 0 |       |       |     |       |  | 0     |  | 0     |
| Year 3 Water System Improv. - Const Design Main Various Streets          | 0 | 4,350 |       |     |       |  | 0     |  | 0     |
| Year 4 Water System Improv. - Const <b>Contract 3</b> Various Streets    | 0 | 275   | 3,100 |     |       |  | 3,100 |  | 3,100 |
| Year 5 Water System Improv. - Const Design Main Various Streets          | 0 |       |       | 400 | 2,148 |  | 2,648 |  | 2,648 |
| Year 6 Water System Improvements - Randolph St. Tank                     | 0 |       |       |     |       |  | 0     |  | 0     |
| Year 7 Water System Improvements - Ponkapoag Area Pipe                   | 0 |       |       |     |       |  | 0     |  | 0     |
| Water System Improvements - <b>5 Year CIP</b>                            | 0 |       | 80    |     |       |  | 80    |  | 80    |
| Comprehensive Water Resource Management Plan (Water Component)           | 0 |       |       |     |       |  | 0     |  | 0     |
| Repair to Neponset S. Water Treatment Facility - Replace Filtration Unit | 0 |       |       |     |       |  | 0     |  | 0     |
| MWRA Dedham St Valve - Repurpose Control Valve                           | 0 |       |       |     |       |  | 0     |  | 0     |

|                                           |  |              |              |            |              |          |          |              |          |              |
|-------------------------------------------|--|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|
| <b>TOTAL - WATER IMPROVEMENT PROJECTS</b> |  | <b>7,825</b> | <b>3,180</b> | <b>400</b> | <b>2,148</b> | <b>0</b> | <b>0</b> | <b>5,728</b> | <b>0</b> | <b>5,728</b> |
|-------------------------------------------|--|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|

**VEHICLES**

|                       |                               |          |           |          |          |          |          |          |          |          |
|-----------------------|-------------------------------|----------|-----------|----------|----------|----------|----------|----------|----------|----------|
| Utility 4x4           | 2009 Ford F250                | # 4      | 0         |          |          |          |          | 0        |          | 0        |
| Pickup                | 2006 Ford F350                | # 42 / 7 | 0         |          |          |          |          | 0        |          | 0        |
|                       | Ford Sedan                    | #12      | 0         |          |          |          |          | 0        |          | 0        |
| Trailer - Sign Board  | 2013 WAMCO Sign Board/Trailer | # 7      | 0         |          |          |          |          | 0        |          | 0        |
| Pickup                | 2012 Ford F350                | # 71     | 0         |          |          |          |          | 0        |          | 0        |
| Pickup                | 2015 Ford Explorer            | # 9      | 32        |          |          |          |          | 0        |          | 0        |
| Pickup                | 2006 Ford F250                | # 39     | 0         |          |          |          |          | 0        |          | 0        |
| Dump                  | 2010 International 7400       | # 20     | 0         |          |          |          |          | 0        |          | 0        |
| Utility 4x4           | 2005 Ford F550                | # 31     | 0         |          |          |          |          | 0        |          | 0        |
| Utility 4x4           | 2008 Ford F550                | # 34     | 0         |          |          |          |          | 0        |          | 0        |
| Pickup                | 2012 Ford F350                | # 14     | 0         |          |          |          |          | 0        |          | 0        |
| Pickup                | 2012 Ford F550                | # 67     | 0         |          |          |          |          | 0        |          | 0        |
| Truck                 | 2015 Freightliner Truck       | # 91     | 0         |          |          |          |          | 0        |          | 0        |
| <b>TOTAL-VEHICLES</b> |                               |          | <b>32</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

**EQUIPMENT**

|                              |                         |      |            |          |          |          |          |          |          |          |
|------------------------------|-------------------------|------|------------|----------|----------|----------|----------|----------|----------|----------|
| Loader                       | 2009 Cat 926h           | # 27 | 0          | 250      |          |          |          | 0        |          | 0        |
| Backhoe/loader               | 2014 Cat 420            | # 29 | 0          |          |          |          |          | 0        |          | 0        |
| Backhoe/loader               | 2003 JCB                | # 32 | 0          |          |          |          |          | 0        |          | 0        |
| Compressor                   | 2000 Atlas Copco        | # 38 | 0          |          |          |          |          | 0        |          | 0        |
| Tamper Wacker                | 1985 Tamper Wacker      | # 41 | 0          |          |          |          |          | 0        |          | 0        |
| Compressor                   | 1995 Gul Air Compressor | # 50 | 0          |          |          |          |          | 0        |          | 0        |
| Generator                    | 1989 Homelite           | # 65 | 0          |          |          |          |          | 0        |          | 0        |
| Generator                    | 1989 Honda              | # 67 | 0          |          |          |          |          | 0        |          | 0        |
| Backhoe/loader               | 2008 Cat 420eH          | # 69 | 0          |          |          |          |          | 0        |          | 0        |
| Loader                       | 2008 CAT 928            | # 70 | 0          |          |          |          |          | 0        |          | 0        |
| Cargo Trailer                | Enclosed Cargo Trailer  |      | 0          |          |          |          |          | 0        |          | 0        |
| Equipment Replacements       |                         |      | 0          |          |          |          |          | 0        |          | 0        |
| One Ton Roller               | 2013 Wacker             | # 63 | 0          |          |          |          |          | 0        |          | 0        |
| Water Storage Containers (2) |                         |      | 0          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL-EQUIPMENT</b>       |                         |      | <b>250</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

**BUILDING & GROUNDS REPAIR/IMPROVEMENTS**

|                                           |   |          |          |          |          |          |          |          |          |          |
|-------------------------------------------|---|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| Demolish Storage Buildings at Pine Street | 0 |          |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL-BUILDINGS, ETC</b>               |   | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

**TECHNOLOGY**

|                           |   |           |          |          |          |          |          |          |          |          |
|---------------------------|---|-----------|----------|----------|----------|----------|----------|----------|----------|----------|
| SCADA Upgrade             | 0 |           |          |          |          |          |          | 0        |          | 0        |
| Asset Management Software | 0 | 40        |          |          |          |          |          | 0        |          | 0        |
| Copier                    | 0 |           |          |          |          |          |          | 0        |          | 0        |
| Meter Readers - Handheld  | 0 |           |          |          |          |          |          | 0        |          | 0        |
| <b>TOTAL-TECHNOLOGY</b>   |   | <b>40</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

|                                 |  |              |              |            |              |          |          |              |          |              |
|---------------------------------|--|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|
| <b>WATER ENTERPRISE ACCOUNT</b> |  | <b>8,542</b> | <b>3,580</b> | <b>400</b> | <b>2,148</b> | <b>0</b> | <b>0</b> | <b>5,728</b> | <b>0</b> | <b>5,728</b> |
|---------------------------------|--|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|

**WATER ENTERPRISE ACCOUNT SUMMARY - FUNDING**

|                                                   |   |              |              |            |              |          |          |              |          |              |
|---------------------------------------------------|---|--------------|--------------|------------|--------------|----------|----------|--------------|----------|--------------|
| <b>SURPLUS REVENUE</b>                            | 0 | 72           | 0            | 0          | 0            | 0        | 0        | 0            | 0        | 0            |
| <b>DEBT</b>                                       | 0 | 8,070        | 3,180        | 400        | 2,148        | 0        | 0        | 5,728        | 0        | 5,728        |
| <b>TOTAL - WATER ENTERPRISE ACCOUNT - FUNDING</b> |   | <b>8,542</b> | <b>3,580</b> | <b>400</b> | <b>2,148</b> | <b>0</b> | <b>0</b> | <b>5,728</b> | <b>0</b> | <b>5,728</b> |

**FORM A**  
**TOWN OF CANTON**  
**CAPITAL PLANNING COMMITTEE**  
**SIX-YEAR PLAN**

Beginning with Fiscal Year 2021 and ending with 2026  
 (\$00's omitted)

|        |        |        |        |        |        |
|--------|--------|--------|--------|--------|--------|
| FY2021 | FY2022 | FY2023 | FY2024 | FY2025 | FY2026 |
| VOTED  |        |        |        |        |        |

|        |        |
|--------|--------|
| 5-Year | 6-Year |
| TOTAL  | TOTAL  |
| FY2021 | FY2021 |

**SEWER ENTERPRISE FUND**

**SEWER IMPROVEMENT PROJECTS**

|                                                                |   |          |            |              |              |              |               |               |          |          |               |
|----------------------------------------------------------------|---|----------|------------|--------------|--------------|--------------|---------------|---------------|----------|----------|---------------|
| Year 1 - FY 23 Infiltration - Inflow Project                   | D |          | 300        |              |              |              |               | 300           |          |          | 300           |
| Year 2 - FY 24 Infiltration - Inflow Project                   | D | 0        |            | 1,700        |              |              |               | 1,700         |          |          | 1,700         |
| Year 3 - FY 15 Infiltration - Inflow Project                   | D |          |            |              | 1,200        |              |               | 1,200         |          |          | 1,200         |
| Year 4 - FY 16 Infiltration - Inflow Project                   | D |          |            |              |              | 1,200        |               | 1,200         |          |          | 1,200         |
| Year 5 - FY 17 Infiltration - Inflow Project                   | D |          |            |              |              |              | 1,200         | 1,200         |          |          | 1,200         |
| Sewer System Extension - Palmer Street Area - A&E              | D |          |            |              |              |              | 360           | 360           |          |          | 360           |
| Sewer System Extension - Palmer Street Area - Construction     | D |          |            |              |              |              | 3,200         | 3,200         |          |          | 3,200         |
| Sewer System Extension - Grand Street                          | D |          |            |              |              |              | 700           | 700           |          |          | 700           |
| Sewer System Extension - Wayside Lane                          | D |          |            |              |              |              | 4,800         | 4,800         |          |          | 4,800         |
| Sewer System Extension - Green Lodge Street                    | D |          |            |              |              |              | 0             | 0             |          |          | 0             |
| Sewer System Extension - Ledgewood Drive                       | D |          |            |              |              |              | 6,600         | 6,600         |          |          | 6,600         |
| Sewer System Extension - York Street                           | D |          |            |              |              |              | 4,100         | 4,100         |          |          | 4,100         |
| Sewer System Extension - Westdale Road                         | D |          |            |              |              |              | 1,600         | 1,600         |          |          | 1,600         |
| Sewer System Extension - Glen Echo Pond - A&E                  | D |          |            |              |              |              | 2,100         | 2,100         |          |          | 2,100         |
| Sewer System Extension - Glen Echo Pond - Construction         | D |          |            |              |              |              | 12,600        | 12,600        |          |          | 12,600        |
| Comprehensive Water Resource Management Plan (Sewer Component) | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
| Sewer Replacement - Estey Way                                  | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
|                                                                | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
|                                                                | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
|                                                                | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
|                                                                | S |          |            |              |              |              | 0             | 0             |          |          | 0             |
| <b>TOTAL - SEWER IMPROVEMENT PROJECTS</b>                      |   | <b>0</b> | <b>300</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>36,050</b> | <b>40,450</b> | <b>0</b> | <b>0</b> | <b>40,450</b> |

|                                 |   |            |            |          |          |          |          |            |          |          |            |
|---------------------------------|---|------------|------------|----------|----------|----------|----------|------------|----------|----------|------------|
| <b>VEHICLES</b>                 |   |            |            |          |          |          |          |            |          |          |            |
| Utility 4x4 2008 Ford F550 # 36 | S |            |            |          |          |          |          | 0          |          |          | 0          |
| Utility 4x4 2006 Ford F550 # 45 | S |            |            |          |          |          |          | 0          |          |          | 0          |
| Pickup 2019 Ford Explorer # 9   | S |            |            |          |          |          |          | 0          |          |          | 0          |
| Utility 4x4 2005 Ford F550 #31  | S |            |            |          |          |          |          | 115        |          |          | 115        |
| Utility 4x4 2011 Ford F350 # 8  | S |            |            |          |          |          |          | 0          |          |          | 0          |
| <b>TOTAL - VEHICLES</b>         |   | <b>122</b> | <b>115</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>115</b> | <b>0</b> | <b>0</b> | <b>115</b> |


|                                              |   |            |          |          |          |          |          |          |          |          |          |
|----------------------------------------------|---|------------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <b>EQUIPMENT</b>                             |   |            |          |          |          |          |          |          |          |          |          |
| Flush Truck 2008 International 7300 # 71     | D |            |          |          |          |          |          | 0        |          |          | 0        |
| TV Truck 2001 Cues # 73                      | S |            |          |          |          |          |          | 0        |          |          | 0        |
| Excavator 2015 Cat 303.5E # 46               | S |            |          |          |          |          |          | 0        |          |          | 0        |
| Sewer Pump Station Generator - Forest Avenue | S |            |          |          |          |          |          | 0        |          |          | 0        |
| Loader 2008 CAT Loader # 72                  | S |            |          |          |          |          |          | 226      |          |          | 226      |
| Equipment Replacements                       | S |            |          |          |          |          |          | 0        |          |          | 0        |
| Available for use                            | D |            |          |          |          |          |          | 0        |          |          | 0        |
| <b>TOTAL - EQUIPMENT</b>                     |   | <b>226</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

|                           |   |           |          |          |          |          |          |          |          |          |          |
|---------------------------|---|-----------|----------|----------|----------|----------|----------|----------|----------|----------|----------|
| <b>TECHNOLOGY</b>         |   |           |          |          |          |          |          |          |          |          |          |
| Asset Management          | S |           |          |          |          |          |          | 40       |          |          | 40       |
| Meter Replacement         | D |           |          |          |          |          |          | 0        |          |          | 0        |
| <b>TOTAL - TECHNOLOGY</b> |   | <b>40</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> | <b>0</b> |

|                                 |  |            |            |              |              |              |               |               |          |          |               |
|---------------------------------|--|------------|------------|--------------|--------------|--------------|---------------|---------------|----------|----------|---------------|
| <b>SEWER ENTERPRISE ACCOUNT</b> |  | <b>382</b> | <b>416</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>36,050</b> | <b>40,585</b> | <b>0</b> | <b>0</b> | <b>40,585</b> |
|---------------------------------|--|------------|------------|--------------|--------------|--------------|---------------|---------------|----------|----------|---------------|

**SEWER ENTERPRISE ACCOUNT SUMMARY - FUNDING**

|                                                   |  |            |            |              |              |              |          |              |          |          |              |
|---------------------------------------------------|--|------------|------------|--------------|--------------|--------------|----------|--------------|----------|----------|--------------|
| <b>SURPLUS REVENUE</b>                            |  | <b>382</b> | <b>115</b> | <b>0</b>     | <b>0</b>     | <b>0</b>     | <b>0</b> | <b>115</b>   | <b>0</b> | <b>0</b> | <b>115</b>   |
| <b>DEBT</b>                                       |  | <b>0</b>   | <b>300</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>0</b> | <b>4,400</b> | <b>0</b> | <b>0</b> | <b>4,400</b> |
| <b>TOTAL - SEWER ENTERPRISE ACCOUNT - FUNDING</b> |  | <b>382</b> | <b>416</b> | <b>1,700</b> | <b>1,200</b> | <b>1,200</b> | <b>0</b> | <b>4,515</b> | <b>0</b> | <b>0</b> | <b>4,515</b> |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p><b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DEPARTMENT:</b><br/>Public Works - Prop. Maintenance</p>                                                                                                                                                                                                                                                                                                                                                                                                                            | <p><b>SUBMITTED BY:</b><br/>Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Animal Control / Kennel Roof 150 Bolivar Street</p>                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$43,000</p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DESCRIPTION:</b><br/>Remove and replace asphalt shingle roof over Animal Kennel. Overlay rubber roof on Animal Control Office. Both located behind Bolivar Street Garage 150 Bolivar Street.</p>                                                                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>The 2016 Building Condition Study identified the fascia board as needing repair. Annual inspection of the roof has identified several areas on rubber membrane as problematic leading to leaks into Animal Control Office. Asphalt shingles are more than forty years old, weathered, also leaking.</p>                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p style="text-align: center;">_____ 1 (#) OF _____ 1 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                       | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                          |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

FORM B - FISCAL 2023

**Proposal**

**JJS Universal Construction  
Company  
63 Airport Road  
Dudley, MA 01571  
Wojciech Sudyka  
508-380-2359**

**Proposal for partial roof replacement of building located at 150 Bolivar St, Canton, MA  
02021**

**Description of Work:**

**Shingle Work:**

- Removal and replacement of existing asphalt shingle roof (see attached for location)
- New F8 white drip edge
- 100% synthetic underlayment over existing deck
- Owens Corning Tru Definition Duration Shingles (Lifetime)
- Rotted sheathing replacement if needed (\$150/sheet)
- New aluminum flashing

**Sub-Total: \$5,635.00**

**PVC Work:**

- Installation of 1/2" cover board over existing roofing where indicated
- Installation of .060 PVC (Genflex)
- New lead coated copper flashing
- New white .032 drip edge

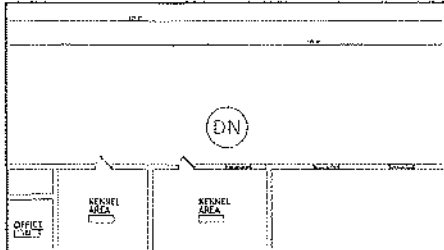
**Sub-Total: \$37,320.00**

**Total: \$42,955.00**





### #511 Descriptive Note



**Room**  
Kennel Area  
06-1

**Status**

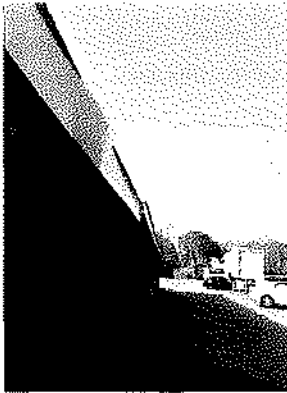
Open

**Created**  
Nov 02, 2016 @ 10:10  
grla-plangrid@grlarchitects.com

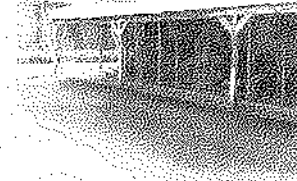
### Description

Looks maintained and clean. Fascia is coming off and exposing wood underneath. Repair is needed.

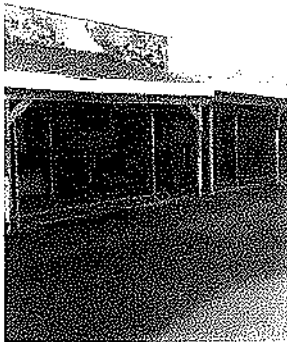
### Photos



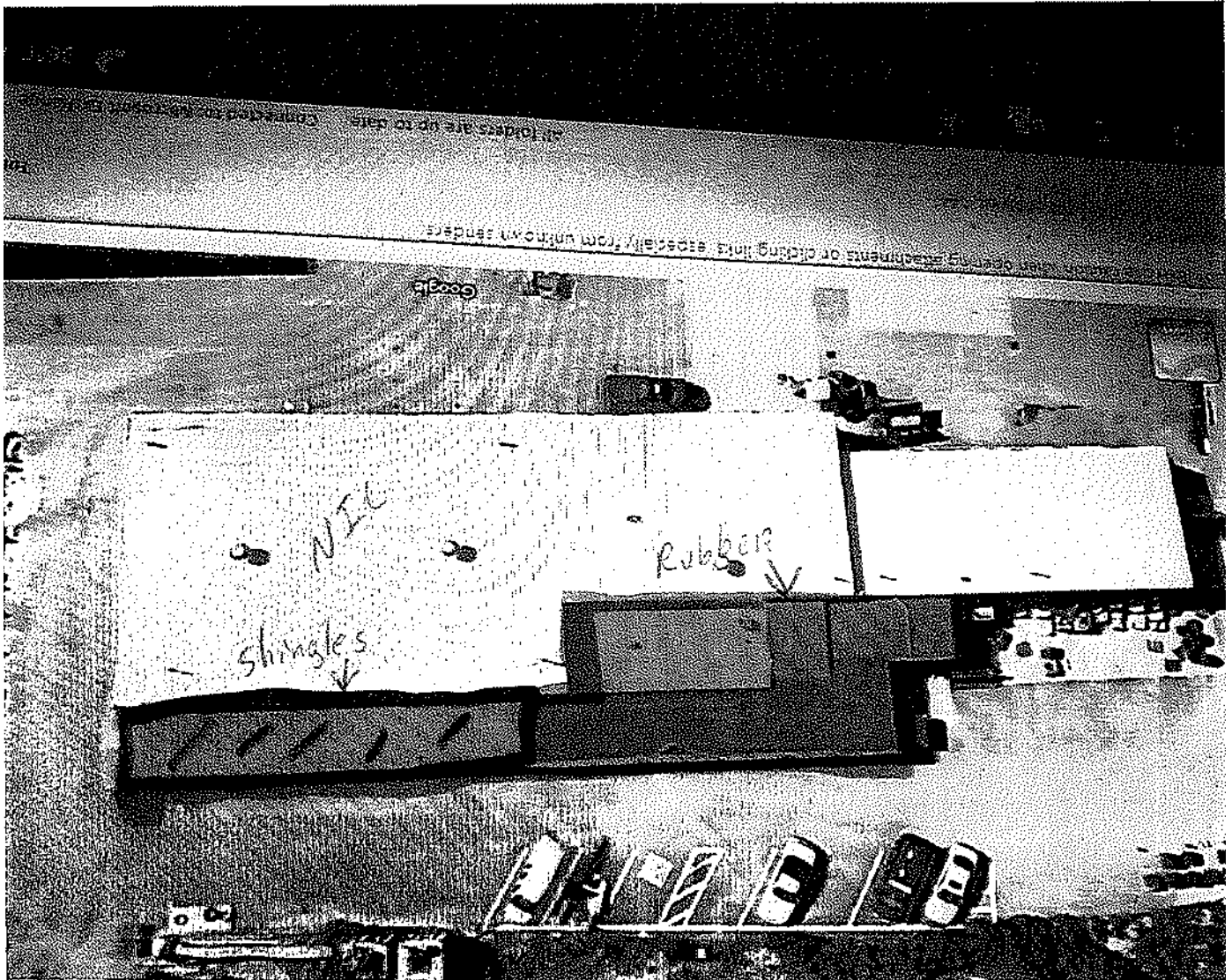
Nov 2, 2016 at 10:12am

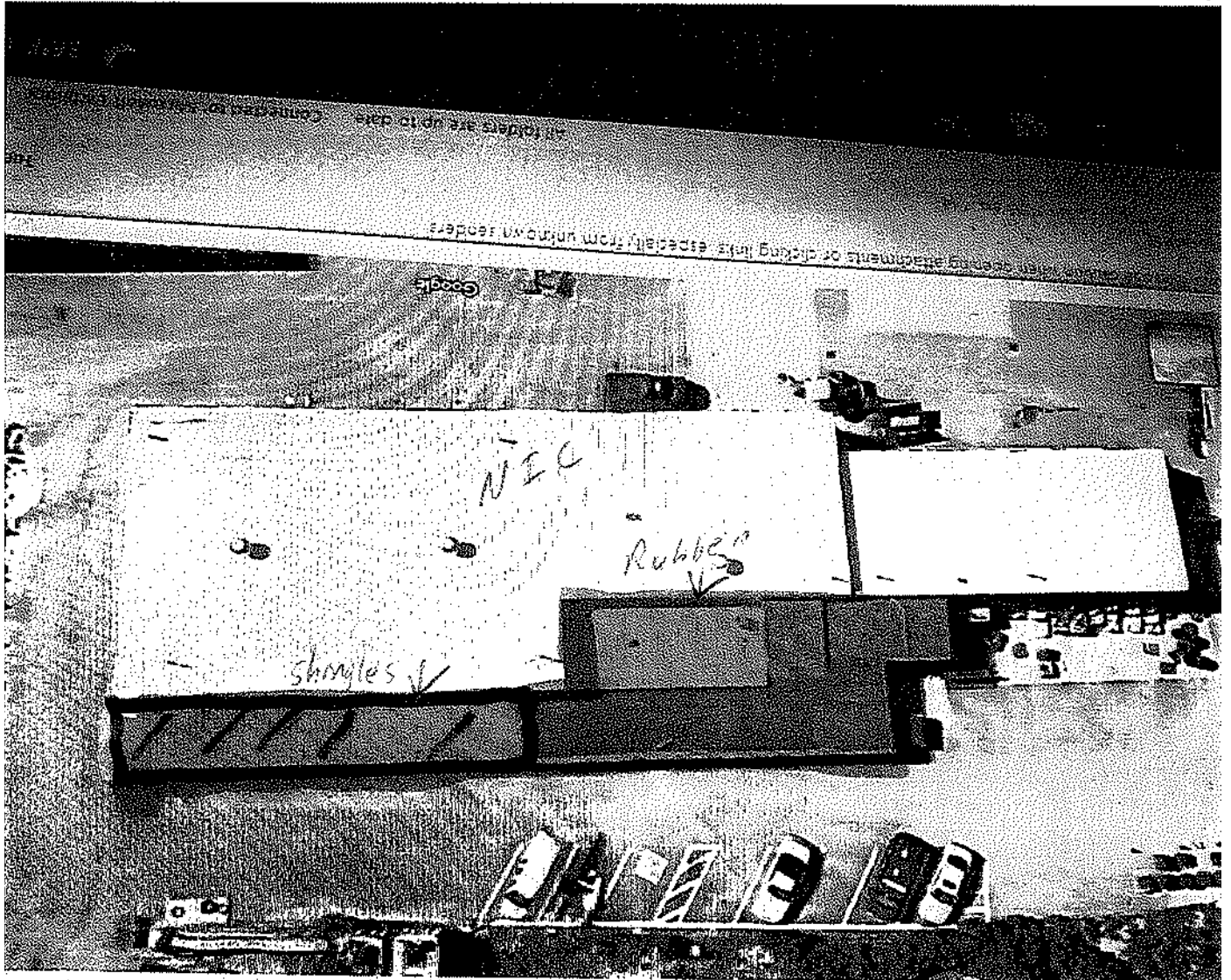



Nov 2, 2016 at 10:12am



Nov 2, 2016 at 10:12am





|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DEPARTMENT:</b><br/>Public Works</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                           | <p><b>SUBMITTED BY:</b><br/>Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                                                                           |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Forge Pond Dam Inspection</p>                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$9,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>DESCRIPTION:</b><br/>Phase I Safety inspection and report as required by MA Office of Dam Safety.</p>                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>Forge Pond is classified as a Significant Hazard Dam by the MA Office of Dam Safety (ODS). As such ODS requires a visual inspection and preparation of a Phase I Inspection / Evaluation Report every 5 years. The inspection was in June 2017. The inspection is due in 2022.</p>                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input checked="" type="checkbox"/> Required for Safety</p> <p><input checked="" type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p style="text-align: center;">_____ 1 (#) OF _____ 7 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input type="checkbox"/> 20 or More Yrs    <input checked="" type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p>Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p>Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                                                                    | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p>Will Produce Addl Revenue by \$ _____</p> <p>Revenue Neutral (no impact)</p> <p>Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                                                                                                                |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                          |

FORM B - FISCAL 2023



**Stephens Associates  
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*Celebrating  
over 20 years*

October 25, 2021

SA File 052

Town of Canton  
Department of Public Works  
Town Hall  
801 Washington Street  
Canton, MA 02021

Attention: Mr. Michael Trotta  
Superintendent of the Department of Public Works

**Re: Forge Pond Dam  
MA DCR ODS Phase I Inspection  
Canton, MA**

Ladies and gentlemen:

Stephens Associates Consulting Engineers, LLC (SA, we, our or us) has prepared this letter at request of Mr. Michael Trotta, Superintendent of the Department of Public Works, Town of Canton Massachusetts (Town, Client, you or your) regarding routine inspection of Forge Pond Dam (Dam). The Dam is classified as Significant Hazard by the Massachusetts Department of Conservation and Recreation, Office of Dam Safety (DCR ODS) and requires routine visual inspection and preparation of a Phase I Inspection/Evaluation Report every 5 years under DCR ODS regulations. SA last inspected the Dam in June 2017 and prepared a Phase I Report. The Dam is due for inspection in 2022. We recommend that the Town budget \$9,000 for SA to inspect the Dam and prepare a Phase I Report according to DCR ODS requirements in 2022.


We trust that this recommendation is sufficient to meet your current needs for budgeting. SA can prepare a proposal to complete the inspection and reporting at your request. If you have any questions, or require clarification, please call us.

Sincerely,

**Stephens Associates Consulting Engineers, LLC**

James E. Turner, PE  
Project Manager

JET:tgbg

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>DEPARTMENT:</b><br/>Public Works</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                | <p><b>SUBMITTED BY:</b><br/>Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                              |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Truck 5</p>                                                                                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$71,000</p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>DESCRIPTION:</b><br/>Replace Truck No. 5 a 2014 Ford F-350 4x4 Pick-up with a new or current model year Ford Super Duty F-350 4WD truck equipped Tool boxes and 9 foot snow plow assembly.</p>                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>Truck No. 5 is the Highway / Ops Manager everyday vehicle. We have replaced 3 motors, several batteries, redone the exhaust system. Repairs to Truck No. 5 are approaching \$20,000. We can not keep the truck running consistently.</p>                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input checked="" type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p>1A (#) OF 8 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                       | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                             |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                                     |                                                                                                                                                                                                                                                                                                                                                                                                             |

FORM B - FISCAL 2023



## CANTON PUBLIC WORK - TRUCK #5

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box







Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

### Weight Ratings

#### WEIGHT RATINGS

|                                 |              |
|---------------------------------|--------------|
| Front Gross Axle Weight Rating: | 6000 lbs     |
| Rear Gross Axle Weight Rating:  | 7230 lbs     |
| Gross Vehicle Weight Rating:    | 10800.00 lbs |

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 14822, Data updated Sep 30, 2021 2:58:00 AM PDT



Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

## Technical Specifications

### Powertrain

#### Transmission

|                                     |                  |                                    |                |
|-------------------------------------|------------------|------------------------------------|----------------|
| Drivetrain                          | Four Wheel Drive | Trans Order Code                   | 44G            |
| Trans Type                          | 10               | Trans Description Cont.            | Automatic w/OD |
| Trans Description Cont. Again       | N/A              | First Gear Ratio (:1)              | 4.70           |
| Second Gear Ratio (:1)              | 2.98             | Third Gear Ratio (:1)              | 2.15           |
| Fourth Gear Ratio (:1)              | 1.77             | Fifth Gear Ratio (:1)              | 1.52           |
| Sixth Gear Ratio (:1)               | 1.27             | Reverse Ratio (:1)                 | 4.87           |
| Clutch Size                         | N/A              | Trans Power Take Off               | N/A            |
| Final Drive Axle Ratio (:1)         | N/A              | Transfer Case Model                | Electronic     |
| Transfer Case Gear Ratio (:1), High | N/A              | Transfer Case Gear Ratio (:1), Low | N/A            |
| Transfer Case Power Take Off        | No               | Seventh Gear Ratio (:1)            | 1.00           |
| Eighth Gear Ratio (:1)              | 0.85             | Ninth Gear Ratio (:1)              | N/A            |
| Tenth Gear Ratio (:1)               | N/A              |                                    |                |

#### Mileage

|                             |     |                           |     |
|-----------------------------|-----|---------------------------|-----|
| EPA Fuel Economy Est - Hwy  | N/A | Cruising Range - City     | N/A |
| EPA Fuel Economy Est - City | N/A | Fuel Economy Est-Combined | N/A |
| Cruising Range - Hwy        | N/A |                           |     |

#### Engine

|                          |            |                      |                      |
|--------------------------|------------|----------------------|----------------------|
| Engine Order Code        | 99N        | Engine Type          | Regular Unleaded V-8 |
| Displacement             | 7.3 L/445  | Fuel System          | Sequential MPI       |
| SAE Net Horsepower @ RPM | 430 @ 5500 | SAE Net Torque @ RPM | 475 @ 4000           |
| Engine Oil Cooler        | None       |                      |                      |

#### Electrical

|                                     |     |                                    |     |
|-------------------------------------|-----|------------------------------------|-----|
| Cold Cranking Amps @ 0° F (Primary) | 750 | Cold Cranking Amps @ 0° F (2nd)    | 750 |
| Cold Cranking Amps @ 0° F (3rd)     | N/A | Maximum Alternator Capacity (amps) | 200 |

#### Cooling System

|                               |     |
|-------------------------------|-----|
| Total Cooling System Capacity | N/A |
|-------------------------------|-----|

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

## Vehicle

### Emissions

|                                        |     |                          |     |
|----------------------------------------|-----|--------------------------|-----|
| Tons/yr of CO2 Emissions @ 15K mi/year | N/A | EPA Greenhouse Gas Score | N/A |
|----------------------------------------|-----|--------------------------|-----|

## Chassis

### Weight Information

|                              |             |                               |              |
|------------------------------|-------------|-------------------------------|--------------|
| Standard Weight - Front      | 0.00 lbs    | Standard Weight - Rear        | 0.00 lbs     |
| Base Curb Weight             | 6708 lbs    | Gross Axle Wt Rating - Front  | 6000 lbs     |
| Gross Axle Wt Rating - Rear  | 7230 lbs    | Curb Weight - Front           | 3925 lbs     |
| Curb Weight - Rear           | 2782 lbs    | Option Weight - Front         | 40.00 lbs    |
| Option Weight - Rear         | 73.00 lbs   | Reserve Axle Capacity - Front | 2035.00 lbs  |
| Reserve Axle Capacity - Rear | 4375.00 lbs | As Spec'd Curb Weight         | 6820.00 lbs  |
| As Spec'd Payload            | 3780.00 lbs | Maximum Payload Capacity      | 3893.00 lbs  |
| Gross Combined Wt Rating     | 23500 lbs   | Gross Axle Weight Rating      | 13230.00 lbs |
| Curb Weight                  | 6707.00 lbs | Reserve Axle Capacity         | 6410.00 lbs  |
| Total Option Weight          | 113.00 lbs  | Payload Weight Front          | 0 lbs        |
| Payload Weight Rear          | 0 lbs       | Gross Vehicle Weight Rating   | 10600.00 lbs |

### Trailer

|                                         |           |                                        |          |
|-----------------------------------------|-----------|----------------------------------------|----------|
| Dead Weight Hitch - Max Trailer Wt.     | 5000 lbs  | Dead Weight Hitch - Max Tongue Wt.     | 500 lbs  |
| WT Distributing Hitch - Max Trailer Wt. | 15000 lbs | WT Distributing Hitch - Max Tongue Wt. | 1500 lbs |
| Fifth Wheel Hitch - Max Trailer Wt.     | 16200 lbs | Fifth Wheel Hitch - Max Tongue Wt.     | 4050 lbs |
| Maximum Trailering Capacity             | 15000 lbs |                                        |          |

### Frame

|                 |     |                         |     |
|-----------------|-----|-------------------------|-----|
| Frame Type      | N/A | Sect Modulus Rails Only | N/A |
| Frame RBM       | N/A | Frame Strength          | N/A |
| Frame Thickness | N/A |                         |     |

### Suspension

|                         |                 |                        |            |
|-------------------------|-----------------|------------------------|------------|
| Suspension Type - Front | Other           | Suspension Type - Rear | Leaf       |
| Spring Capacity - Front | 6000 lbs        | Spring Capacity - Rear | 7230 lbs   |
| Axle Type - Front       | Non-Independent | Axle Type - Rear       | Rigid Axle |
| Axle Capacity - Front   | 6000 lbs        | Axle Capacity - Rear   | 7280 lbs   |
| Axle Ratio (:1) - Front | 3.73            | Axle Ratio (:1) - Rear | 3.73       |

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# CHROME DATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (  Complete )

## Chassis

### Suspension

|                                 |     |                                |     |
|---------------------------------|-----|--------------------------------|-----|
| Shock Absorber Diameter - Front | N/A | Shock Absorber Diameter - Rear | N/A |
| Stabilizer Bar Diameter - Front | N/A | Stabilizer Bar Diameter - Rear | N/A |

### Tires

|                                  |              |                                   |              |
|----------------------------------|--------------|-----------------------------------|--------------|
| Front Tire Order Code            | TBM          | Rear Tire Order Code              | TBM          |
| Spare Tire Order Code            | TBM          | Front Tire Size                   | LT245/75SR17 |
| Rear Tire Size                   | LT245/75SR17 | Spare Tire Size                   | Full-Size    |
| Front Tire Capacity              | 6390 lbs     | Rear Tire Capacity                | 6390 lbs     |
| Spare Tire Capacity              | N/A          | Revolutions/Mile @ 45 mph - Front | 645          |
| Revolutions/Mile @ 45 mph - Rear | 645          | Revolutions/Mile @ 45 mph - Spare | N/A          |

### Wheels

|                     |              |                      |             |
|---------------------|--------------|----------------------|-------------|
| Front Wheel Size    | 17 X 7.5 in  | Rear Wheel Size      | 17 X 7.5 in |
| Spare Wheel Size    | Full-Size in | Front Wheel Material | Steel       |
| Rear Wheel Material | Steel        | Spare Wheel Material | Steel       |

### Steering

|                                 |                     |                                 |     |
|---------------------------------|---------------------|---------------------------------|-----|
| Steering Type                   | Re-Circulating Ball | Steering Ratio (:1), Overall    | N/A |
| Steering Ratio (:1), On Center  | N/A                 | Steering Ratio (:1), At Lock    | N/A |
| Turning Diameter - Curb to Curb | 53 ft               | Turning Diameter - Wall to Wall | N/A |

### Brakes

|                                   |              |                                    |         |
|-----------------------------------|--------------|------------------------------------|---------|
| Brake Type                        | 4-Wheel Disc | Brake ABS System                   | 4-Wheel |
| Brake ABS System (Second Line)    | 4-Wheel      | Disc - Front (Yes or )             | Yes     |
| Disc - Rear (Yes or )             | Yes          | Front Brake Rotor Diam x Thickness | 14.3 in |
| Rear Brake Rotor Diam x Thickness | 14.3 in      | Drum - Rear (Yes or )              | N/A     |
| Rear Drum Diam x Width            | N/A          |                                    |         |

### Fuel Tank

|                            |        |                                |     |
|----------------------------|--------|--------------------------------|-----|
| Fuel Tank Capacity, Approx | 34 gal | Aux Fuel Tank Capacity, Approx | N/A |
| Fuel Tank Location         | N/A    | Aux Fuel Tank Location         | N/A |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

## Dimensions

### Interior Dimensions

|                    |         |                      |         |
|--------------------|---------|----------------------|---------|
| Passenger Capacity | 6       | Front Head Room      | 40.8 in |
| Front Leg Room     | 43.9 in | Front Shoulder Room  | 66.7 in |
| Front Hip Room     | 62.5 in | Second Head Room     | 40.4 in |
| Second Leg Room    | 43.6 in | Second Shoulder Room | 65.9 in |
| Second Hip Room    | 64.7 in |                      |         |

### Exterior Dimensions

|                               |         |                                 |         |
|-------------------------------|---------|---------------------------------|---------|
| Wheelbase                     | 160 in  | Length, Overall w/o rear bumper | N/A     |
| Length, Overall w/rear bumper | N/A     | Length, Overall                 | 250 in  |
| Width, Max w/o mirrors        | 80 in   | Height, Overall                 | 81.3 in |
| Overhang, Front               | 38.2 in | Overhang, Rear w/o bumper       | N/A     |
| Front Bumper to Back of Cab   | N/A     | Cab to Axle                     | 39.9 in |
| Cab to End of Frame           | N/A     | Ground to Top of Load Floor     | 36.9 in |
| Ground to Top of Frame        | N/A     | Frame Width, Rear               | N/A     |
| Ground Clearance, Front       | 8.5 in  | Ground Clearance, Rear          | 8.5 in  |
| Body Length                   | 0.00 ft | Cab to Body                     | N/A     |

### Cargo Area Dimensions

|                          |                      |                                 |         |
|--------------------------|----------------------|---------------------------------|---------|
| Cargo Box Length @ Floor | 81.9 in              | Cargo Box Width @ Top, Rear     | 66.9 in |
| Cargo Box Width @ Floor  | 66.9 in              | Cargo Box Width @ Wheelhousings | 50.5 in |
| Cargo Box (Area) Height  | 21.1 in              | Tailgate Width                  | 60.5 in |
| Cargo Volume             | 65.4 ft <sup>3</sup> | Ext'd Cab Cargo Volume          | N/A     |

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# CHROMEDATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

## Selected Model and Options

### MODEL

| CODE | MODEL                                                    |
|------|----------------------------------------------------------|
| W3B  | 2022 Ford Super Duty F-350 SRW XL 4WD Crew Cab 6.75' Box |

### COLORS

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

### ENGINE

| CODE | DESCRIPTION                                                                                                     |
|------|-----------------------------------------------------------------------------------------------------------------|
| 99N  | Engine: 7.3L 2V DEVCT NA PFI V8 Gas -inc: Heavy-Duty Alternator (240 Amp), Electronic-Locking w/3.73 Axle Ratio |

### TRANSMISSION

| CODE | DESCRIPTION                                                                                                                                       |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------|
| 44G  | Transmission: TorqShift 10-Speed Automatic -inc: SelectShift and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD) |

### OPTION PACKAGE

| CODE | DESCRIPTION     |
|------|-----------------|
| 610A | Order Code 610A |

### AXLE RATIO

| CODE | DESCRIPTION                          |
|------|--------------------------------------|
| X3E  | Electronic-Locking w/3.73 Axle Ratio |

### WHEELS

| CODE | DESCRIPTION                                                                      |
|------|----------------------------------------------------------------------------------|
| 64A  | Wheels: 17" Argent Painted Steel -inc: painted hub covers/center ornaments (STD) |

### TIRES

| CODE | DESCRIPTION                                                                   |
|------|-------------------------------------------------------------------------------|
| TBM  | Tires: LT245/75Rc17E BSW A/T (4) -inc: Spare may not be the same as road tire |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

#### PRIMARY PAINT

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

#### SEAT TYPE

| CODE | DESCRIPTION                                                                                                                    |
|------|--------------------------------------------------------------------------------------------------------------------------------|
| AS   | Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar |

#### ADDITIONAL EQUIPMENT - PACKAGE

| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 90L  | Power Equipment Group -inc: Deletes passenger-side lock cylinder, upgraded door trim panel, Accessory Delay, Advanced Security Pack, SecuriLock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, Power Locks, Remote Keyless Entry, Trailer Tow Mirrors w/Power Heated Glass, manual folding, manually telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals, Power Front & Rear Seat Windows, 1-touch up/down driver/passenger window, Power Tailgate Lock |

#### ADDITIONAL EQUIPMENT - MECHANICAL


| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                   |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 473  | Snow Plow Prep Package -inc: computer selected springs for snowplow application, Note restrictions apply; see supplemental reference or body builders layout book for details, May result in deterioration of ride quality when vehicle is not equipped w/snowplow, Dual battery (86M) recommended w/6.2L or 7.3L gasoline engines; see body builders layout book for details |
| 52B  | Trailer Brake Controller -inc: Verified to be compatible w/select electric over hydraulic brakes, smart trailer tow connector                                                                                                                                                                                                                                                 |
| 67B  | 397 Amp Alternator                                                                                                                                                                                                                                                                                                                                                            |
| 86M  | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                            |

#### ADDITIONAL EQUIPMENT - EXTERIOR

| CODE | DESCRIPTION                                                                                                   |
|------|---------------------------------------------------------------------------------------------------------------|
| 18B  | Platform Running Boards                                                                                       |
| 592  | LED Roof Clearance Lights                                                                                     |
| 61N  | Front & Rear Wheel Well Liners (Pre-Installed)                                                                |
| 61S  | Front Splash Guards/Mud Flaps (Pre-Installed)                                                                 |
| 62S  | Rear Splash Guards/Mud Flaps (Pre-Installed)                                                                  |
| 85S  | Tough Bed Spray-In Bedliner -inc: tailgate-guard, black box bed tie-down hooks and black bed attachment bolts |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (  Complete )

#### ADDITIONAL EQUIPMENT - INTERIOR

| CODE  | DESCRIPTION                                             |
|-------|---------------------------------------------------------|
| 66S   | Upfitter Switches (6) -inc: Located in overhead console |
| 76C   | Exterior Backup Alarm (Pre-Installed)                   |
| <hr/> |                                                         |
|       | <b>Options Total</b>                                    |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

## Standard Equipment

### Mechanical

Engine: 6.2L 2-Valve SOHC EFI NA V8 Flex-Fuel (STD)  
Transmission: TorqShift 10-Speed Automatic -inc: SelectShift and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD)  
3.73 Axle Ratio (STD)  
50-State Emissions System  
Transmission w/Oil Cooler  
Electronic Transfer Case  
Part-Time Four-Wheel Drive  
72-Amp/Hr 650CCA Maintenance-Free Battery w/Run Down Protection  
157 Amp Alternator  
Class V Towing Equipment -inc: Hitch and Trailer Sway Control  
Trailer Wiring Harness  
3820# Maximum Payload  
GVWR: 10,600 lb Payload Package  
HD Shock Absorbers  
Front Anti-Roll Bar  
Firm Suspension  
Hydraulic Power-Assist Steering  
34 Gal. Fuel Tank  
Single Stainless Steel Exhaust  
Auto Locking Hubs  
Front Suspension w/Coil Springs  
Leaf Rear Suspension w/Leaf Springs  
4-Wheel Disc Brakes w/4-Wheel ABS, Front And Rear Vented Discs, Brake Assist and Hill Hold Control

### Exterior

Wheels: 17" Argent Painted Steel -inc: painted hub covers/center ornaments (STD)  
Tires: LT245/75R17E BSW A/S (4) -inc: Spare may not be the same as road tire (STD)  
Regular Box Style  
Steel Spare Wheel  
Spare Tire Stored Underbody w/Crankdown  
Clearcoat Paint

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## CHROME DATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

### Exterior

Black Front Bumper w/Black Rub Strip/Fascia Accent and 2 Tow Hooks  
 Black Rear Step Bumper  
 Black Side Windows Trim and Black Front Windshield Trim  
 Black Door Handles  
 Black Manual Side Mirrors w/Manual Folding  
 Manual Extendable Trailer Style Mirrors  
 Fixed Rear Window  
 Light Tinted Glass  
 Variable Intermittent Wipers  
 Aluminum Panels  
 Black Grille  
 Tailgate Rear Cargo Access  
 Manual Tailgate/Rear Door Lock  
 Autolamp Auto On/Off Aero-Composite Halogen Daytime Running Lights Preference Setting Headlamps w/Delay-Off  
 Cargo Lamp w/High Mount Stop Light

### Entertainment

Radio w/Seek-Scan and Clock  
 Radio: AM/FM Stereo w/MP3 Player -inc: 4 speakers  
 Fixed Antenna  
 SYNC Communications & Entertainment System -inc: enhanced voice recognition w/911 Assist, 4.2" LCD center stack screen, AppLink and 1 smart-charging USB-C port

### Interior

4-Way Driver Seat -inc: Manual Recline and Fore/Aft Movement  
 4-Way Passenger Seat -inc: Manual Recline and Fore/Aft Movement  
 60-40 Folding Split-Bench Front Facing Fold-Up Cushion Rear Seat  
 Manual Tilt/Telescoping Steering Column  
 Gauges -inc: Speedometer, Odometer, Oil Pressure, Engine Coolant Temp, Tachometer, Transmission Fluid Temp, Engine Hour Meter, Trip Odometer and Trip Computer  
 Manual Rear Windows  
 FordPass Connect 4G Mobile Hotspot Internet Access  
 Rear Cupholder  
 Manual Air Conditioning

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

### Interior

- HVAC -inc: Underseat Ducts
- Illuminated Locking Glove Box
- Interior Trim -inc: Chrome Interior Accents
- Full Cloth Headliner
- Urethane Gear Shifter Material
- HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar
- Day-Night Rearview Mirror
- Passenger Visor Vanity Mirror
- 2 12V DC Power Outlets
- Full Overhead Console w/Storage and 2 12V DC Power Outlets
- Fade-To-Off Interior Lighting
- Front And Rear Map Lights
- Full Vinyl/Rubber Floor Covering
- Pickup Cargo Box Lights
- Smart Device Remote Engine Start
- Instrument Panel Covered Bin and Dashboard Storage
- Manual 1st Row Windows
- Systems Monitor Trip
- Computer Outside
- Temp Gauge Analog
- Appearance
- Seats w/Vinyl Back Material
- Manual Adjustable Front Head Restraints and Manual Adjustable Rear Head Restraints
- Securilock Anti-Theft Ignition (pats) Engine Immobilizer
- Air Filtration

### Safety-Mechanical

- AdvanceTrac w/Roll Stability Control Electronic Stability Control (ESC) And Roll Stability Control (RSC)
- ABS And Driveline Traction Control

### Safety-Exterior

- Side Impact Beams

### Safety-Interior

- Dual Stage Driver And Passenger Seat-Mounted Side Airbags

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box (✔ Complete)

**Safety-Interior**

- Tire Specific Low Tire Pressure Warning
- Mykey System -inc: Top Speed Limiter, Audio Volume Limiter, Early Low Fuel Warning, Programmable Sound Chimes and Beltminder w/Audio Mute
- Safety Canopy System Curtain 1st And 2nd Row Airbags
- Outboard Front Lap And Shoulder Safety Belts -inc: Rear Center 3 Point and Height Adjusters
- Dual Stage Driver And Passenger Front Airbags
- Back-Up Camera

**WARRANTY**

- Basic Years: 3
- Basic Miles/km: 36,000
- Drivetrain Years: 5
- Drivetrain Miles/km: 60,000
- Corrosion Years: 5
- Corrosion Miles/km: Unlimited
- Roadside Assistance Years: 5
- Roadside Assistance Miles/km: 60,000

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# Estimate

Date: 11/17/2021  
 Estimate# CDPW11172021  
 Customer ID:

To: Canton Public Works Department  
 Attn: William Walsh  
 801 Washington Street  
 Canton, MA 02021

**TRUCK 5**  
**BUDGETARY ESTIMATE**

Salesperson: Paul G King  
 508-918-2210

GBPC/BAPER Contract

| Qty | Item #  | Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | Unit Price  | Line Total   |
|-----|---------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|--------------|
|     |         | 2022 Ford Super Duty F-350 SRW (W3B) XL 4WD Crew Cab 6.75' Box                                                                                                                                                                                                                                                                                                                                                                                                                                                |             | \$ 35,002.00 |
|     | W6      | EXTERIOR COLOR: GEM GREEN METALLIC - VSO PAINT                                                                                                                                                                                                                                                                                                                                                                                                                                                                | \$ 650.00   | \$ 640.20    |
|     | 99N     | Engine: 7.3L 2V DEVCT NA PFI V8 Gas-inc: Heavy-Duty Alternator (240 Amp), Electronic-Locking w/3.73 Axle Ratio                                                                                                                                                                                                                                                                                                                                                                                                | \$ 1,705.00 | \$ 1,653.85  |
|     | 44G     | Transmission: TorqShift 10-Speed Automatic-inc: SelectShift and selectable drive modes: normal, towhaul, eco, deep sand/snow and slippery                                                                                                                                                                                                                                                                                                                                                                     |             | \$           |
|     | 610A    | OPTION PACKAGE: Order Code 610A                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |             | \$           |
|     |         | Gross Vehicle Weight Rating:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |             | \$ -         |
|     |         | Gross Combined Weight Rating:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |             | \$ -         |
|     | AS      | Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat-inc: center armrest, cupholder, storage and driver's side manual lumbar                                                                                                                                                                                                                                                                                                                                                                                 |             | \$ -         |
|     | 64A     | Wheels: 17" Argent Painted Steel<br>-inc: painted hub covers/center ornaments                                                                                                                                                                                                                                                                                                                                                                                                                                 |             | \$ -         |
|     | TBM     | Tires: LT245/75R17E BSW A/T (4) -inc: Spare may not be the same as road tire                                                                                                                                                                                                                                                                                                                                                                                                                                  | \$ 165.00   | \$ 160.05    |
|     | X3E     | Electronic-Locking w/3.73 Axle Ratio                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | INC         | INC          |
|     | 90L     | Power Equipment Group-inc: Deletes passenger-side lock cylinder, upgraded door trim panel, Accessory Delay, Advanced Security Pack, Securilock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, Power Locks, Remote Keyless Entry, Trailer Tow Mirrors w/Power Heated Glass, manual folding, manually telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals, Power Front & Rear Seat Windows, 1-touch up/down driver/passenger window, Power Tailgate Lock | \$ 915.00   | \$ 887.55    |
|     | 473     | Snow Plow Prep Package - Dual battery (86M) recommended w/6.2L or 7.3L gasoline engines                                                                                                                                                                                                                                                                                                                                                                                                                       | \$ 250.00   | \$ 242.50    |
|     | 67B     | 397 Amp Alternator                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | \$ 115.00   | \$ 111.55    |
|     | 86M     | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | \$ 210.00   | \$ 203.70    |
|     | 52B     | Trailer Brake Controller-inc: Verified to be compatible w/select electric over hydraulic brakes, smart trailer tow connector                                                                                                                                                                                                                                                                                                                                                                                  | \$ 270.00   | \$ 261.90    |
|     | 18B     | Platform Running Boards                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | \$ 445.00   | \$ 431.85    |
|     | 61S/62S | Front & Rear Splash Guards/Mud Flaps                                                                                                                                                                                                                                                                                                                                                                                                                                                                          | \$ 130.00   | \$ 126.10    |
|     | 592     | LED Roof Clearance Lights                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 95.00    | \$ 92.15     |


|     |                                                                                                                                                     |           |              |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------|-----------|--------------|
| 85S | Tough Bed Spray-In Bedliner-inc: tailgate-guard, black box bed tie-down hooks and black bed attachment bolts                                        | \$ 595.00 | \$ 577.15    |
| 61N | Front & Rear Wheel Well Liners                                                                                                                      | \$ 325.00 | \$ 315.25    |
| 66S | Upfitter Switches (6) -inc: Located in overhead console                                                                                             | \$ 165.00 | \$ 160.05    |
| 76C | Exterior Backup Alarm                                                                                                                               | \$ 140.00 | \$ 135.80    |
|     | THE REMAINING STANDARD EQUIPMENT AS SHOWN IN CHROME DATA REPORT                                                                                     |           | \$ -         |
|     | HIGHWAY PRODUCTS CUSTOM TOOL BOX SYSTEM - INCLUDES                                                                                                  |           | \$ 13,500.00 |
|     | GULL WING: DP GULL WING                                                                                                                             |           | \$ -         |
|     | FULL ACCESS TAPERED LID SIDE BOXES WITH REMOVABLE TRAY : DIAMOND PLATE FINISHED ALUMINUM                                                            |           | \$ -         |
|     | REMOVABLE CENTER HATCH WITH GAS ASSIST SHOCKS AND REAR TAILGATE FLANGE: FLAT, DIAMOND PLATE                                                         |           | \$ -         |
|     | HEAVY DUTY PICK UP PACK CAB GUARD: HONEYCOMB STYLE                                                                                                  |           | \$ -         |
|     | REMOVABLE REAR LADDER RACK: STANDARD                                                                                                                |           | \$ -         |
|     | L.E.D. LSB LIGHTS: WIRED LED LIGHT KIT FOR LOW SIDE BOX                                                                                             |           | \$ -         |
|     | L.E.D. HATCH LIGHTS: WIRED LED LIGHT KIT FOR HATCH                                                                                                  |           | \$ -         |
|     | L.E.D. GULL WING LIGHTS: WIRED LED LIGHT KIT FOR GULL WING                                                                                          |           | \$ -         |
|     | POWDER COAT OPTIONS: SHAVED BLACK HAMMER SEMI GLOSS BK62                                                                                            |           | \$ -         |
|     | 4312-028 - 48x9.375x80.5 ALUMINUM HEAVY DUTY FORD F-250-550 SHORT BED PICK UP ROLLER COASTER                                                        |           | \$ -         |
|     | 9 FT. EVEREST MUNICIPAL GRADE SNOW PLOW & HITCH - ELECTRIC HYDRAULIC                                                                                |           | \$ 13,770.00 |
|     | SoundOff Signal mPower 4" Fascia Quick/Stud/Screw Mount Light - 8 LED Single Color EMPS2QM/ST/SMS3(x) - Two Pairs                                   |           | \$ 740.00    |
|     | Four SoundOff Signal 90 Degree Edge Clip Bracket Kit for mpower® 4" Fascia Light w/ Stud Mount - Black                                              |           | \$ 61.20     |
|     | Acari Lo Profile Roof Mount                                                                                                                         |           | \$ 273.60    |
|     | Ecco Amber Mini Light Bar                                                                                                                           |           | \$ 402.38    |
|     | Code 3 M180L Triple Stack Amber Lights - Mounted Rear of Vehicle                                                                                    |           | \$ 430.05    |
|     | 4 Piece Ventshades                                                                                                                                  |           | \$ 101.00    |
|     | Weathertech Floorliners - Front                                                                                                                     |           | \$ 150.00    |
|     |                                                                                                                                                     |           | \$ -         |
|     | PLEASE NOTE THAT PRICING IS BASED ON CURRENT CONTRACT PRICING THAT EXPIRES 9-30-22, VEHICLE MUST BE ORDERED PRIOR TO THIS DATE OR PRICING MY CHANGE |           | \$ -         |
|     |                                                                                                                                                     |           | \$ -         |

**Special Instructions:**

Custom or Special Orders are Non-Refundable  
 This Estimate is for Budgetary Purposes and is Not a Guarantee of Cost for Services.  
 Estimate is Based on Current Information From Client About the Project Requirements  
 Actual Cost May Change Once Project Elements are Finalized

|                    |                    |
|--------------------|--------------------|
| Vehicle Subtotal   |                    |
| Upfit Subtotal     |                    |
| <b>Grand Total</b> | <b>\$70,429.69</b> |

**McGovern Municipal 1200 Worcester Road, Framingham MA 01702**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>DEPARTMENT:</b><br/>Public Works</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                            | <p><b>SUBMITTED BY:</b><br/>Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                                                        |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Elm St Culvert Downstream Retaining Wall</p>                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$270,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>DESCRIPTION:</b><br/>Design and replacement of the Downstream Retaining Wall at the Elm St Culvert with a Cast-in-Place Concrete Wall.</p> <p style="text-align: right; font-style: italic;">↓<br/>Funds available already<br/>Culvert is already on st.</p>                                                                                                                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>The Elm St Culvert was scheduled to be replaced Spring/Summer 2021. Changed site conditions noticed adjacent to the Culvert such as missing stone masonry from the wall, asphalt road cracking parallel to the wall necessitated an engineering evaluation of the downstream walls. The evaluation indicates likely ground loss and ground/wall movement that jeopardize structural wall support of Elm St and recommends replacing the downstream wall.</p> |                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <p><b>NEED CLASSIFICATION:</b> (Check all that apply)</p> <p><input checked="" type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input checked="" type="checkbox"/> Unplanned Project or Replacement</p> <p><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p>         | <p><b>Departmental Priority Ranking:</b><br/>Please rank this request out of your total requests for this year: (#1 as top priority)</p> <p style="text-align: center;">2 (#) OF 7 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> (Check one)</p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                          | <p><b>Revenue Impact:</b> (Check one)</p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                              |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> (Attach supporting documentation)</p>                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                       |

FORM B - FISCAL 2023



**Stephens Associates  
Consulting Engineers**

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Wilmington, MA 01887

Phone: (978) 988-2115

*Celebrating  
over 20 years*

September 20, 2021

SA Project No. 052-21-032

Town of Canton, Department of Public Works  
801 Washington Street  
Canton, MA 02021  
Attn: Mike Trotta, Superintendent

**Re: DRAFT Engineering Review  
Retaining Walls Supporting Elm Street Around Culvert Over Pecunit Brook  
Canton, Massachusetts**

Ladies and gentlemen:

This Letter Report (Report) provides the results of the engineering review of existing retaining walls supporting Elm Street around and near the culvert over Pecunit Brook in Canton, MA (Site) performed by Stephens Associates Consulting Engineers, LLC (SA, we, our, or us) for the Town of Canton, Massachusetts (Town, Client, you, your, etc.). SA evaluated the portions of the existing retaining walls that are not currently proposed for replacement as part of culvert replacement.

This Report is subject to the limitations presented herein, including Figures, Tables and Appendices, (e.g. Appendix A – Additional Limitations, etc.). SA performed these services for the Town in general accordance with our Agreement dated July 12, 2021.

**Evaluation, Recommendations, and Estimated Costs**

We recommend replacing most, if not all, of the downstream retaining wall. In our opinion, the western portion of the upstream wall (not currently proposed to be replaced) could remain and minor surface repairs completed to prolong its lifespan.

SA visually inspected the retaining walls on July 19, 2021. For the downstream retaining wall west of the culvert, we noted bulging and mis-alignment of the stone masonry, voids up to 3-ft. deep between stones, missing stones, large trees in the wall, and asphalt pavement cracks parallel to the wall. Selected photographs are shown in Figure 2. We inferred similar conditions for the downstream retaining wall east of the culvert, however, most of the wall was covered by landscaping debris and vegetation making it impracticable to observe specific deficiencies. Observations described above are indications of likely progressive ground loss and ground/wall movement that jeopardize the short- and long-term support of Elm Street. We measured existing voids between stones extending as much as three feet behind the wall face, reaching near the edge of the traveled way. In our opinion, it is likely that continued ground loss into these voids will undermine the asphalt resulting in sinkholes at the surface. Because of the extent of these deficiencies observed, we do not recommend repairing the existing downstream retaining wall, but recommend replacement.



Town of Canton, DPW  
 Engineering Review, Retaining Walls Supporting Elm Street Around Culvert  
 Over Pecunit Brook, Canton, MA

SA Project No. 052-21-032  
 September 20, 2021  
 Page 2 of 3

Because the work described herein to replace the downstream retaining walls would be within designated buffer zones to delineated wetland resources, we anticipate that the Project Notice of Intent under the MassDEP Wetland Protection Act would need to be updated and amended to account for changes in temporary and permanent areas of impact. Coordination and review by the Town Conservation Commission would likely be required.

As shown in Figure 1, SA divided the downstream retaining wall into four segments to assist the Town in prioritizing and budgeting for replacement. Although we recommend replacing the full length of the downstream wall, the Town could prioritize replacement of Segments 1 and 2, which are taller and generally in poorer condition than Segments 3 and 4, to assist in managing limited budgets if necessary. Replacement alternatives include a concrete block wall, cast-in-place concrete wall, or rebuilding as a mortared stone-masonry wall. We estimate replacement costs for these alternatives as follows:

| <b>Table 1 – Preliminary Replacement Wall Cost Estimate for Comparison of Alternatives</b> |                             |                             |                             |
|--------------------------------------------------------------------------------------------|-----------------------------|-----------------------------|-----------------------------|
| Alternatives:                                                                              | Concrete Block Gravity Wall | Mortared Stone Masonry Wall | Cast-in-Place Concrete Wall |
| Wall Segments 1 and 2                                                                      | \$155,000                   | \$185,000                   | \$205,000                   |
| Wall Segments 3 and 4                                                                      | \$45,000                    | \$45,000                    | \$65,000                    |
| Estimated Total                                                                            | \$200,000                   | \$230,000                   | \$270,000                   |

SA estimated financial costs (i.e. cash outlay for construction) in 2021 dollars costs based on unit costs published by MassDOT and our judgment and experience on previous projects and including a 20 percent contingency. These cost estimates are based on preliminary concepts of wall lengths highlighted in Figure 1 and are intended to provide order-of-magnitude, relative costs for qualitative comparison of and selection between alternatives. Costs for Segments 1 and 2 and the estimated totals include design, permitting, and construction costs. We assumed that Segments 3 and 4 would be constructed in conjunction with Segments 1 and 2, and the costs for Segments 3 and 4 are therefore for construction only since design and permitting costs are included in Segments 1 and 2.

**Project Understanding and Description**

Our understanding of the Project, as presented herein, is based on our meeting on-Site with Mr. Trotta on June 15, 2021 and the following electronic documents subsequently provided to us:

- Drawings titled, “Elm Street over Pecunit Brook, Culvert Replacement Project, Canton, MA,” dated October 2019, prepared by Comprehensive Environmental Incorporated (CEI), 8 sheets.
- “Notice of Intent (NOI) for Canton Massachusetts, Elm Street, Culvert Replacement Project,” dated October 2019 prepared by CEI (97 pages);
- CAD file named “ElmStDesignWorksheet\_ROSA,” and
- Specification sections 01010 Summary of Work, 02325 Excavation, 02316 Fill and Backfill, 02317 Trenching for Site Utilities, 02318 Structural Excavation, and 02645 Precast Concrete Box Culvert; undated, preparer not identified.

Figure 1 – Site Location map and Figure 2 – Site Aerial Photograph show the Site location. The Site consists of the portion of Elm Street supported by upstream and downstream retaining walls extending east and west of



Town of Canton, DPW  
 Engineering Review, Retaining Walls Supporting Elm Street Around Culvert  
 Over Pecunit Brook, Canton, MA

SA Project No. 052-21-032  
 September 20, 2021  
 Page 3 of 3

the culvert carrying Pecunit Brook below Elm Street. Based on the information cited above, the upstream side of Elm Street is retained by a concrete retaining wall up to 10 ft. high and about 100 ft. long. The downstream side is retained by a stone masonry retaining wall that we estimate to be about 230 ft. long. About 135 ft. of the stone masonry wall is extended vertically by about 1 to 2 ft. with concrete cast above the stone masonry. Total wall height varies along the wall length and is up to about 7 ft. tall.

Others have designed replacement of the culvert and portions of the upstream and downstream walls retaining Elm Street. It is our understanding that the Town is concerned about performance of the portions of retaining walls not designed to be replaced, and is considering whether repairs, replacement, or other treatment may be needed to those portions. It is also our understanding that the current design by others maintains the same or similar existing road width.

### **Purpose and Scope of Services**

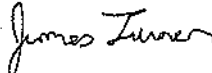
The purposes of SA's services were to evaluate the portions of existing walls not currently proposed for replacement and evaluate alternatives for repair and/or replacement of those portions. Our scope of services was presented in our Agreement and generally included planning, data review, visual inspection, and evaluation of alternatives.

Summary of evaluation, recommendations, and cost estimates is provided at the beginning of this Report.

We trust that the above evaluation is sufficient to meet your current needs. Please contact us with any questions regarding this Report.

Sincerely,

**Stephens Associates Consulting Engineers, LLC**



James E. Turner, P.E.  
 Project Manager

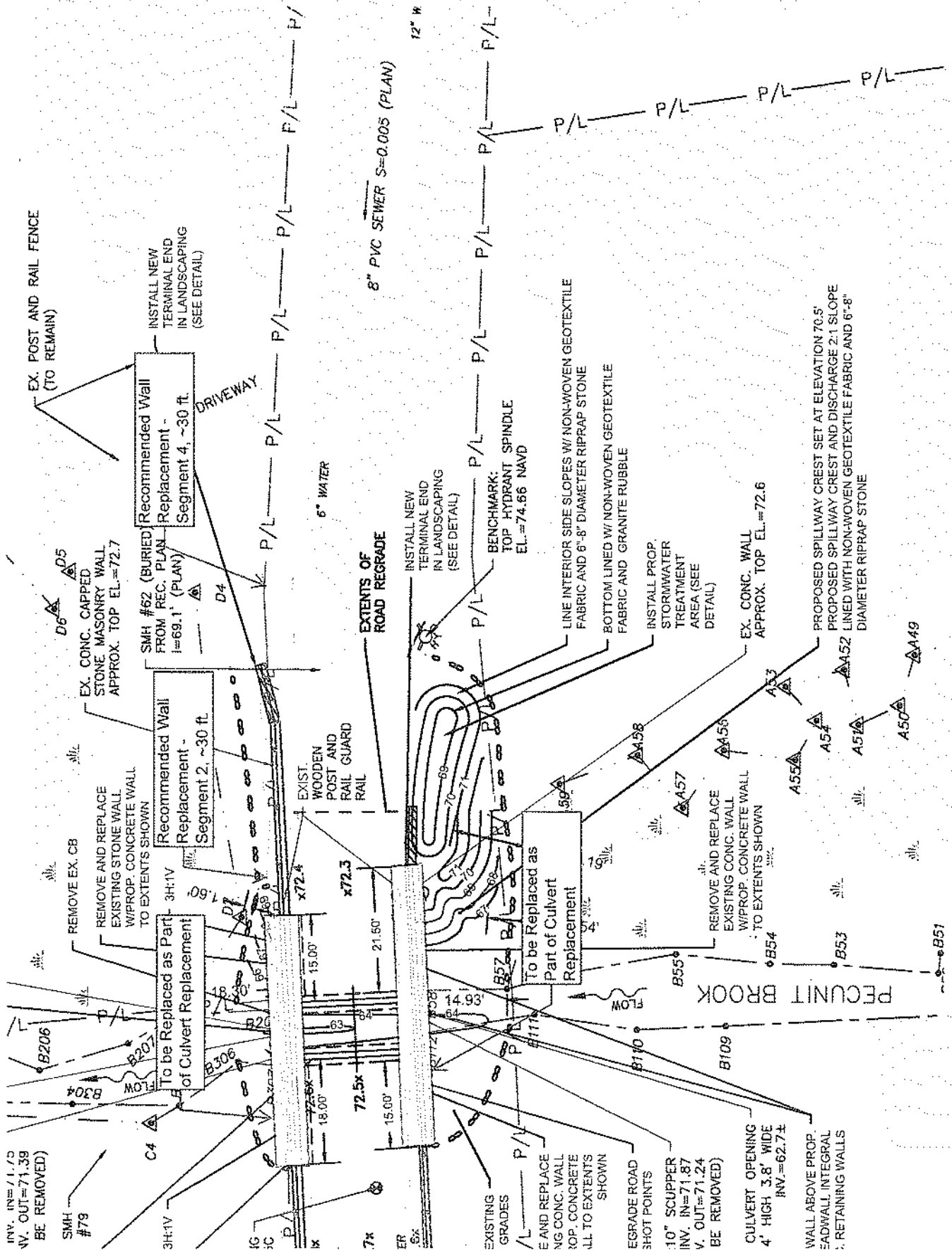


Robert S. Stephens, P.E.  
 Principal Engineer

JET/RSS:tgbg

Attachments: Figure 1 – Sketch of Recommended Wall Replacement Segments  
 Figure 2 – Photographs  
 Figure 3 – Site Location Map  
 Figure 4 – Site Aerial Photograph  
 Appendix A – Additional Limitations

FIGURES



Project: Number: 052-21-032 Sheet 1 of 2

Name: Retaining Walls Supporting Elm St. Near Culvert over

Pecunit Brook, Canton, MA

Original Work:

By: J. Turner Date: September 20, 2021 Subject: Figure 2 - Photographs

Checked By: RSS Date: September 20, 2021



Photo taken July 19, 2021 of downstream wall west of culvert, looking upstream (southeast), showing voids between stones

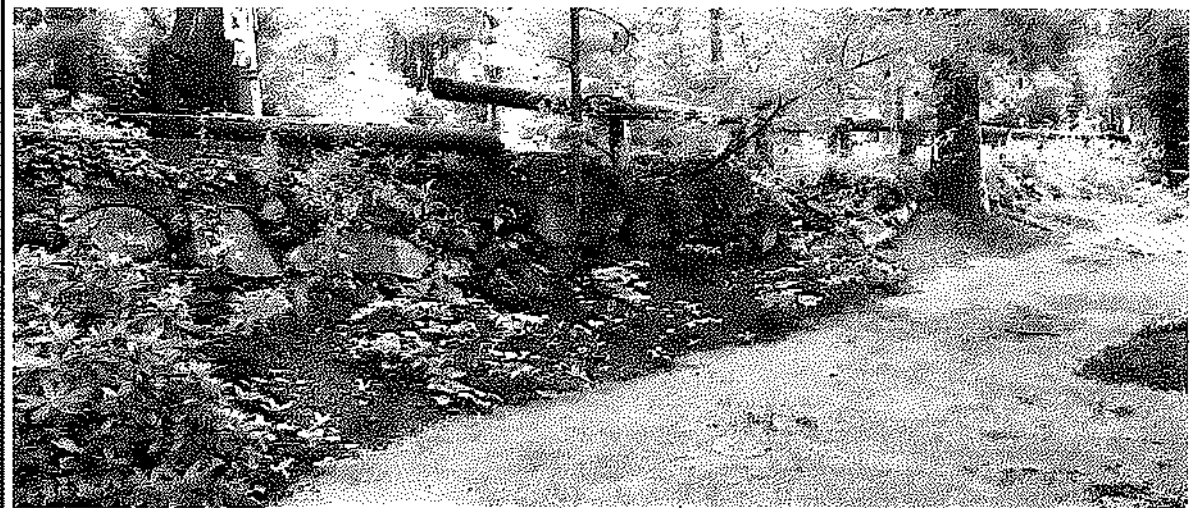


Photo taken July 19, 2021 of downstream wall western portion looking south, showing bulging wall, large trees in wall, and voids between stones.

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Revisions:

By: \_\_\_\_\_ Date: \_\_\_\_\_

By: \_\_\_\_\_ Date: \_\_\_\_\_

SACE 00-1 (v. 1) 1/00

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Project: Number: 052-21-032 Sheet 2 of 2

Name: Retaining Walls Supporting Elm St. Near Culvert over

Pecunit Brook, Canton, MA

Original Work:  
By: J. Turner Date: September 20, 2021 Subject: Figure 2 - Photographs

Checked By: RSS Date: September 20, 2021



Photo taken July 19, 2021 of downstream wall west of culvert, looking southeast, showing dislodged stone and bulging/misaligned wall.



Photo taken July 19, 2021 showing downstream wall west of culvert, missing stones and tree in wall

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Revisions:

By: \_\_\_\_\_ Date: \_\_\_\_\_

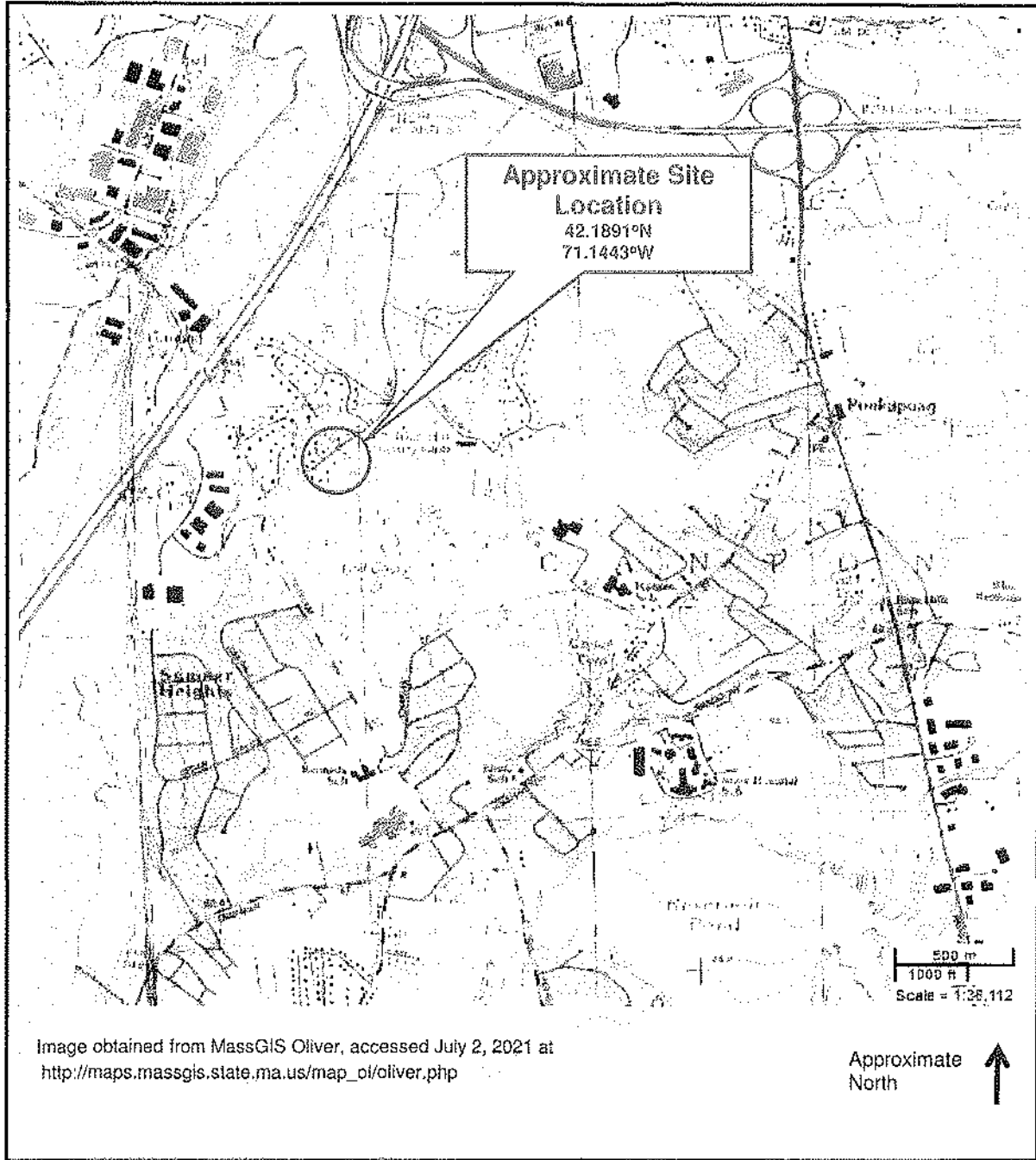
By: \_\_\_\_\_ Date: \_\_\_\_\_

SACB 00-1 (v. 1) 1/00

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Project: Number: 052-21-032 Sheet 1 of 1  
 Name: Retaining Walls Supporting Elm St. Near Culvert over Pecunit Brook, Canton, MA  
 Original Work:  
 By: J. Turner Date: September 20, 2021 Subject: FIGURE 3 - Site Location Map  
 Checked By: RSS Date: September 20, 2021



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Revisions:

By: \_\_\_\_\_ Date: \_\_\_\_\_  
 By: \_\_\_\_\_ Date: \_\_\_\_\_

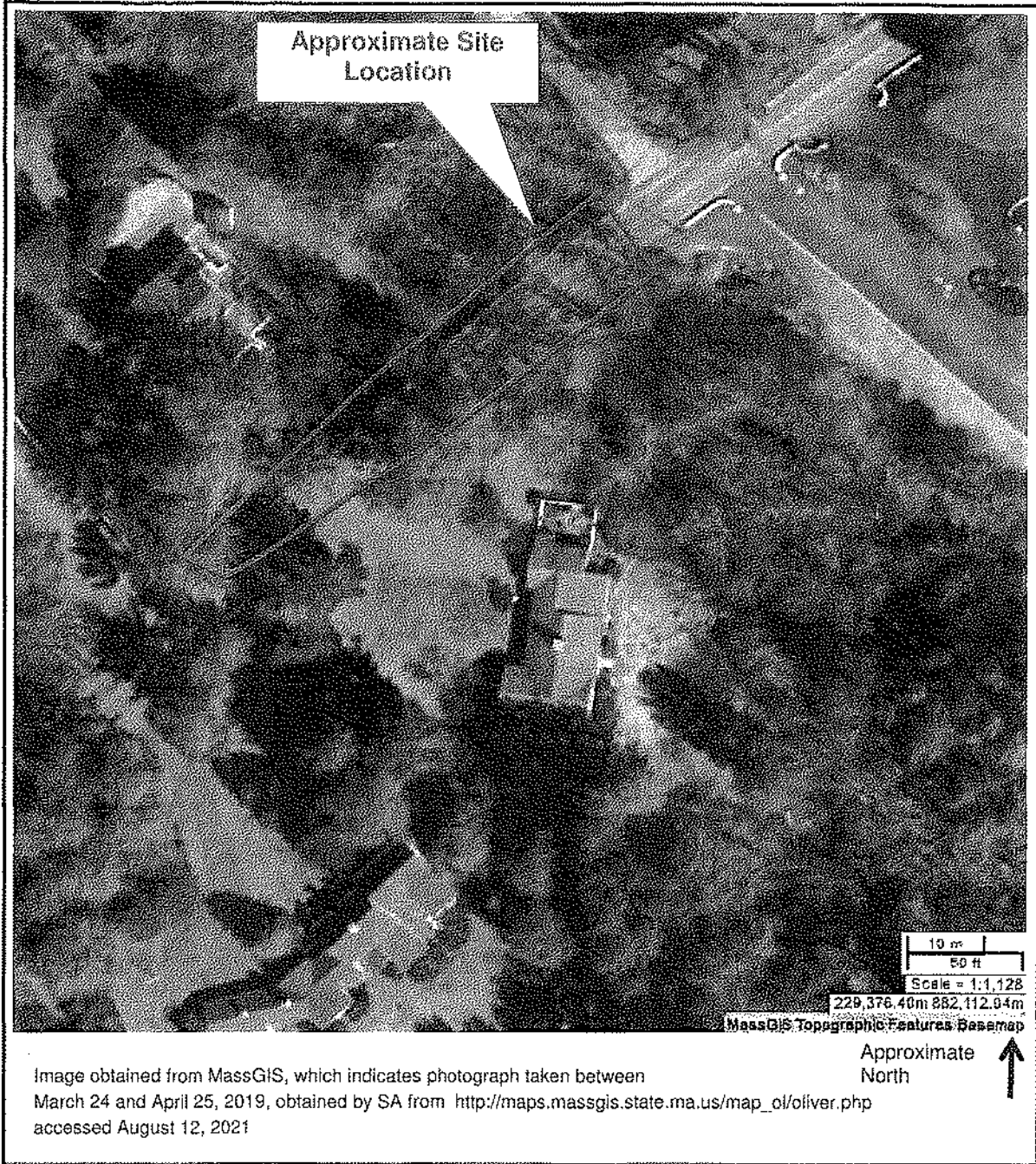
SACE 00-1 (v. 1) 1/00

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Project: Number: 052-21-032 Sheet 1 of 1  
Name: Retaining Walls Supporting Elm St. Near Culvert over Pecunil Brook, Canton, MA

Original Work:  
By: J. Turner Date: September 20, 2021 Subject: FIGURE 4 - Site Aerial Photograph  
Checked By: RSS Date: September 20, 2021



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Revisions:

By: \_\_\_\_\_ Date: \_\_\_\_\_

By: \_\_\_\_\_ Date: \_\_\_\_\_

SACE 00-1 (v. 1) 1/00

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APPENDIX A  
ADDITIONAL LIMITATIONS

## APPENDIX A - ADDITIONAL LIMITATIONS

Stephens Associates Consulting Engineers, LLC (SA) has prepared this Report based on the information available to us at this time, including preliminary design information furnished through the Client, the Owner and their representatives for the proposed Project. If any of the noted information is incorrect or has changed (e.g., revisions to the design; subsurface conditions encountered during excavation for construction are different from those noted in this Report, etc.), SA should be notified and retained to review the corrections and changes and amend this Report. If SA is not retained for these purposes, we cannot be responsible for the impact of those conditions on the performance of the Project.

SA's scope of services expressly excluded environmental services of any kind, such as but not limited to assessments for the presence or absence of wetlands or hazardous or toxic materials or organisms (e.g., fungi, flora, fauna, bacteria, viruses, etc.) in the soil, surface water, groundwater, or air, on or below or around this Site. Any observations of odors, colors, or unusual or suspicious items or conditions noted by SA were incidental to our services, and any statements regarding such observations are for the Client and strictly for their information.


We recommend that SA be retained to provide services during design and construction including assistance with shop drawing/submittal review and engineering observation of construction. These services will assist the Owner with quality assurance through observation of compliance with design concepts, specifications and recommendations and will allow for the implementation of design changes where necessary due to conditions that differ from those anticipated.

This Report has been prepared by SA for the exclusive use of the Client and for the specific application to the subject Project, as conceived at this time. The Report is for conceptual design only, and by itself is not sufficient to prepare an accurate cost estimate or construction "bid." Subject to the limitations inherent in the agreed scope of services as to the degree of care, amount of time and expenses to be incurred, and subject to any other limitations contained in the Agreement for SA's services, SA has performed its services with the degree of care and skill ordinarily exercised by other professional engineers under similar circumstances at the time the services were performed. No warranties are implied or expressed.



**TOWN OF CANTON  
FORM B - FISCAL 2023  
CAPITAL PROJECT / EQUIPMENT REQUEST**

|                                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Truck 13                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$70,000                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Replace Truck No. 13 a 2000 Ford F-250 Utility Body Pick-up with a new or current model year Ford Super Duty F-350 4WD truck equipped with a Flat Bed Body and 8 foot snow plow assembly.                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Truck No. 13 is a Highway Division everyday vehicle. It is used to carry equipment and supplies to the job site. It is 20 years old with 100,000 plus miles of use. The recommended replacement cycle for this type of public works vehicle is 8 years / 100,000 miles.                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 3 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |

|  <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Truck 13                                                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$70,000                                                                                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Replace Truck No. 13 a 2000 Ford F-250 Utility Body Pick-up with a new or current model year Ford Super Duty F-550 4WD truck equipped with a Flat Bed Body and 8 foot snow plow assembly.                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Truck No. 13 is a Highway Division everyday vehicle. It is used to carry equipment and supplies to the job site. It is 20 years old with 100,000 plus miles of use. The recommended replacement cycle for this type of public works vehicle is 8 years / 100,000 miles.                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input checked="" type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 3 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input checked="" type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |



# Estimate

Date: 11/3/2021  
 Estimate# CPWD11032021  
 Customer ID:

To: Canton Public Works Department  
 Attn: William Walsh  
 801 Washington Street  
 Canton, MA 02021

TRUCK 13  
 Salesperson: Paul G King  
 508-918-2210

GBPC/BAPER Contract

| Qty | Item # | Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | Unit Price  | Line Total   |
|-----|--------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|--------------|
|     |        | 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box                                                                                                                                                                                                                                                                                                                                                                                                                                             |             | \$ 32,122.00 |
|     | W6     | EXTERIOR COLOR: Gem Green - VSO SPECIAL PAINT                                                                                                                                                                                                                                                                                                                                                                                                                                                          | \$ 660.00   | \$ 640.20    |
|     | 99N    | Engine: 7.3L 2V DEVCT NA PFI V8 Gas-inc: Heavy-Duty Alternator (240 Amp), Electronic-Locking w/3.73 Axle Ratio                                                                                                                                                                                                                                                                                                                                                                                         | \$ 1,705.00 | \$ 1,653.85  |
|     | 44G    | Transmission: TorqShift 10-Speed Automatic-inc: SelectShift and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery                                                                                                                                                                                                                                                                                                                                                             |             | \$           |
|     | 610A   | OPTION PACKAGE: Order Code 610A                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |             | \$           |
|     |        | Gross Vehicle Weight Rating: 10,400 Lbs                                                                                                                                                                                                                                                                                                                                                                                                                                                                |             | \$           |
|     |        | Gross Combined Weight Rating: 23,500 Lbs                                                                                                                                                                                                                                                                                                                                                                                                                                                               |             | \$           |
|     | AS     | SEAT TYPE: Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat-inc: center armrest, cupholder, storage and driver's side manual lumbar                                                                                                                                                                                                                                                                                                                                                               |             | \$           |
|     | X3E    | Electronic-Locking w/3.73 Axle Ratio                                                                                                                                                                                                                                                                                                                                                                                                                                                                   | INC         | INC          |
|     | 64A    | Wheels: 17" Argent Painted Steel-inc: painted hub covers/center ornaments                                                                                                                                                                                                                                                                                                                                                                                                                              |             | \$           |
|     | TBM    | Tires: LT245/75R17E BSW A/T (4) -inc: Spare may not be the same as road tire                                                                                                                                                                                                                                                                                                                                                                                                                           | \$ 165.00   | \$ 160.05    |
|     | 90L    | Power Equipment Group-inc: Deletes passenger-side lock cylinder, upgraded door trim panel, Accessory Delay, Advanced Security Pack, SecurILock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, Power Locks, Remote Keyless Entry, Trailer Tow Mirrors w/Power Heated Glass, manual folding, manually telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals, Power Front Seat Windows, 1-touch up/down driver/passenger window, Power Tailgate Lock | \$ 915.00   | \$ 887.50    |
|     | 473    | Snow Plow Prep Package -inc: computer selected springs for snowplow application, Dual battery (86M) recommended w/6.2L or 7.3L gasoline engines                                                                                                                                                                                                                                                                                                                                                        | \$ 250.00   | \$ 242.50    |
|     | 67B    | 397 Amp Alternator                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 115.00   | \$ 111.55    |
|     | 86M    | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | \$ 210.00   | \$ 203.70    |
|     | 52B    | Trailer Brake Controller -inc: Verified to be compatible w/select electric over hydraulic brakes, smart trailer tow connector                                                                                                                                                                                                                                                                                                                                                                          | \$ 270.00   | \$ 261.90    |
|     | 41P    | Transfer Case & Fuel Tank Skid Plates                                                                                                                                                                                                                                                                                                                                                                                                                                                                  | \$ 100.00   | \$ 97.00     |

|     |                                                         |    |        |    |        |
|-----|---------------------------------------------------------|----|--------|----|--------|
| 592 | LED Roof Clearance Lights                               | \$ | 95.00  | \$ | 92.15  |
| 61L | Front Wheel Well Liners                                 | \$ | 180.00 | \$ | 174.60 |
| 76C | Exterior Backup Alarm                                   | \$ | 140.00 | \$ | 135.80 |
| 66S | Upfitter Switches (6) -inc: Located in overhead console | \$ | 165.00 | \$ | 160.02 |

THE REMAINING STANDARD EQUIPMENT AS SHOWN IN THE CHROME DATA REPORT

THE FOLLOWING EQUIPMENT BEING INSTALLED BY J C MADIGAN

|                                                                              |    |           |
|------------------------------------------------------------------------------|----|-----------|
| •96" x 82" Wide Extruded Aluminum Platform                                   | \$ | 18,992.00 |
| •2 x 4 Tube Tapered Aluminum Headboard w/ Vertical Louvers & Light Bar Mount | \$ | -         |
| •T & G Extruded Aluminum Floor                                               | \$ | -         |
| •Custom Curb Side Aluminum Cabinet 96"L x 30"T x 17"D                        | \$ | -         |
| •Custom Street Side Aluminum Cabinet 96"L x 30"T x 17"D                      | \$ | -         |
| •Fold Down Aluminum Tailgate                                                 | \$ | -         |
| •Two (2) Custom 34" Under Body Aluminum Tool Box                             | \$ | -         |
| •12" Tapered Diamond Plate Rear Apron                                        | \$ | -         |
| •Recessed LED Body Lights, Flaps Alarm, OSHA                                 | \$ | -         |
| •Rear Wheel Poly Fenders                                                     | \$ | -         |
| •Pintle Plate, Combo-Hitch, D-Rings, Wired Plug                              | \$ | -         |
| •Whelen Mini Liberty Light Bar Headboard Mounted                             | \$ | -         |
| •Code 3 Worklights/Flashers Front Grille Mounted                             | \$ | -         |
| •Rear Recessed Mounted LED Flashers                                          | \$ | -         |
| •Factory Backup Camera Rear Mounted                                          | \$ | -         |
| •8' Everest RL Plow w/ 450/550 Hitch Electric/Hydraulic                      | \$ | 13,515.00 |

PLEASE NOTE THAT PRICING IS BASED ON CURRENT CONTRACT PRICING THAT EXPIRES 9-30-22, VEHICLE MUST BE ORDERED PRIOR TO THIS DATE OR PRICING MY CHANGE

**Special Instructions:**

Custom or Special Orders are Non-Refundable  
 This Estimate is for Budgetary Purposes and is Not a Guarantee of Cost for Services.  
 Estimate is Based on Current Information From Client About the Project Requirements  
 Actual Cost May Change Once Project Elements are Finalized

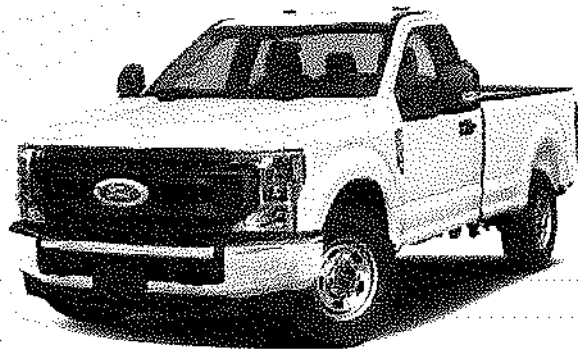
|                         |                    |
|-------------------------|--------------------|
| <b>Vehicle Subtotal</b> |                    |
| <b>Upfit Subtotal</b>   |                    |
| <b>Grand Total</b>      | <b>\$69,449.82</b> |

**McGovern Municipal 1200 Worcester Road, Framingham MA 01702**



## CANTON PUBLIC WORKS - TRUCK 13

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box





Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box ( Complete )

### Weight Ratings

#### WEIGHT RATINGS

|                                 |              |
|---------------------------------|--------------|
| Front Gross Axle Weight Rating: | 5600 lbs     |
| Rear Gross Axle Weight Rating:  | 7230 lbs     |
| Gross Vehicle Weight Rating:    | 10400.00 lbs |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (✔ Complete)

## Technical Specifications

### Chassis

#### Weight Information

|                              |             |                               |              |
|------------------------------|-------------|-------------------------------|--------------|
| Standard Weight - Front      | 0.00 lbs    | Standard Weight - Rear        | 0.00 lbs     |
| Base Curb Weight             | 6306 lbs    | Gross Axle Wt Rating - Front  | 5600 lbs     |
| Gross Axle Wt Rating - Rear  | 7230 lbs    | Curb Weight - Front           | 3711 lbs     |
| Curb Weight - Rear           | 2594 lbs    | Option Weight - Front         | 30.00 lbs    |
| Option Weight - Rear         | 72.00 lbs   | Reserve Axle Capacity - Front | 1859.00 lbs  |
| Reserve Axle Capacity - Rear | 4564.00 lbs | As Spec'd Curb Weight         | 6407.00 lbs  |
| As Spec'd Payload            | 3993.00 lbs | Maximum Payload Capacity      | 4095.00 lbs  |
| Gross Combined Wt Rating     | 23500 lbs   | Gross Axle Weight Rating      | 12830.00 lbs |
| Curb Weight                  | 6305.00 lbs | Reserve Axle Capacity         | 6423.00 lbs  |
| Total Option Weight          | 102.00 lbs  | Payload Weight Front          | 0 lbs        |
| Payload Weight Rear          | 0 lbs       | Gross Vehicle Weight Rating   | 10400.00 lbs |

#### Trailer

|                                         |           |                                        |          |
|-----------------------------------------|-----------|----------------------------------------|----------|
| Dead Weight Hitch - Max Trailer Wt.     | 5000 lbs  | Dead Weight Hitch - Max Tongue Wt.     | 500 lbs  |
| Wt Distributing Hitch - Max Trailer Wt. | 15000 lbs | Wt Distributing Hitch - Max Tongue Wt. | 1500 lbs |
| Fifth Wheel Hitch - Max Trailer Wt.     | 16600 lbs | Fifth Wheel Hitch - Max Tongue Wt.     | 4150 lbs |
| Maximum Trailering Capacity             | 15000 lbs |                                        |          |

#### Frame

|                 |     |                         |     |
|-----------------|-----|-------------------------|-----|
| Frame Type      | N/A | Sect Modulus Rails Only | N/A |
| Frame RBM       | N/A | Frame Strength          | N/A |
| Frame Thickness | N/A |                         |     |

#### Suspension

|                                 |                 |                                |            |
|---------------------------------|-----------------|--------------------------------|------------|
| Suspension Type - Front         | Other           | Suspension Type - Rear         | Leaf       |
| Spring Capacity - Front         | 5600 lbs        | Spring Capacity - Rear         | 7230 lbs   |
| Axle Type - Front               | Non-Independent | Axle Type - Rear               | Rigid Axle |
| Axle Capacity - Front           | 6000 lbs        | Axle Capacity - Rear           | 7280 lbs   |
| Axle Ratio (:1) - Front         | 3.73            | Axle Ratio (:1) - Rear         | 3.73       |
| Shock Absorber Diameter - Front | N/A             | Shock Absorber Diameter - Rear | N/A        |
| Stabilizer Bar Diameter - Front | N/A             | Stabilizer Bar Diameter - Rear | N/A        |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box ( Complete )

### Chassis

#### Tires

|                                  |              |                                   |              |
|----------------------------------|--------------|-----------------------------------|--------------|
| Front Tire Order Code            | TBM          | Rear Tire Order Code              | TBM          |
| Spare Tire Order Code            | TBM          | Front Tire Size                   | LT245/75SR17 |
| Rear Tire Size                   | LT245/75SR17 | Spare Tire Size                   | Full-Size    |
| Front Tire Capacity              | 6390 lbs     | Rear Tire Capacity                | 6390 lbs     |
| Spare Tire Capacity              | N/A          | Revolutions/Mile @ 45 mph - Front | 649          |
| Revolutions/Mile @ 45 mph - Rear | 649          | Revolutions/Mile @ 45 mph - Spare | N/A          |

#### Wheels

|                     |              |                      |             |
|---------------------|--------------|----------------------|-------------|
| Front Wheel Size    | 17 X 7.5 in  | Rear Wheel Size      | 17 X 7.5 in |
| Spare Wheel Size    | Full-Size in | Front Wheel Material | Steel       |
| Rear Wheel Material | Steel        | Spare Wheel Material | Steel       |

#### Steering

|                                 |                     |                                 |     |
|---------------------------------|---------------------|---------------------------------|-----|
| Steering Type                   | Re-Circulating Ball | Steering Ratio (:1), Overall    | N/A |
| Steering Ratio (:1), On Center  | N/A                 | Steering Ratio (:1), At Lock    | N/A |
| Turning Diameter - Curb to Curb | 47.6 ft             | Turning Diameter - Wall to Wall | N/A |

#### Brakes

|                                   |              |                                    |         |
|-----------------------------------|--------------|------------------------------------|---------|
| Brake Type                        | 4-Wheel Disc | Brake ABS System                   | 4-Wheel |
| Brake ABS System (Second Line)    | 4-Wheel      | Disc - Front (Yes or )             | Yes     |
| Disc - Rear (Yes or )             | Yes          | Front Brake Rotor Diam x Thickness | 14.3 in |
| Rear Brake Rotor Diam x Thickness | 14.3 in      | Drum - Rear (Yes or )              | N/A     |
| Rear Drum Diam x Width            | N/A          |                                    |         |

#### Fuel Tank

|                            |        |                                |     |
|----------------------------|--------|--------------------------------|-----|
| Fuel Tank Capacity, Approx | 34 gal | Aux Fuel Tank Capacity, Approx | N/A |
| Fuel Tank Location         | N/A    | Aux Fuel Tank Location         | N/A |

### Vehicle

#### Emissions

|                                        |     |                          |     |
|----------------------------------------|-----|--------------------------|-----|
| Tons/yr of CO2 Emissions @ 15K mi/year | N/A | EPA Greenhouse Gas Score | N/A |
|----------------------------------------|-----|--------------------------|-----|

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (✔ Complete)

**Powertrain**

**Transmission**

|                                     |                  |                                    |                |
|-------------------------------------|------------------|------------------------------------|----------------|
| Drivetrain                          | Four Wheel Drive | Trans Order Code                   | 44G            |
| Trans Type                          | 10               | Trans Description Cont.            | Automatic w/OD |
| Trans Description Cont. Again       | N/A              | First Gear Ratio (:1)              | 4.70           |
| Second Gear Ratio (:1)              | 2.98             | Third Gear Ratio (:1)              | 2.15           |
| Fourth Gear Ratio (:1)              | 1.77             | Fifth Gear Ratio (:1)              | 1.52           |
| Sixth Gear Ratio (:1)               | 1.27             | Reverse Ratio (:1)                 | 4.87           |
| Clutch Size                         | N/A              | Trans Power Take Off               | N/A            |
| Final Drive Axle Ratio (:1)         | N/A              | Transfer Case Model                | Electronic     |
| Transfer Case Gear Ratio (:1), High | N/A              | Transfer Case Gear Ratio (:1), Low | N/A            |
| Transfer Case Power Take Off        | No               | Seventh Gear Ratio (:1)            | 1.00           |
| Eighth Gear Ratio (:1)              | 0.85             | Ninth Gear Ratio (:1)              | N/A            |
| Tenth Gear Ratio (:1)               | N/A              |                                    |                |

**Mileage**

|                             |     |                           |     |
|-----------------------------|-----|---------------------------|-----|
| EPA Fuel Economy Est - Hwy  | N/A | Cruising Range - City     | N/A |
| EPA Fuel Economy Est - City | N/A | Fuel Economy Est-Combined | N/A |
| Cruising Range - Hwy        | N/A |                           |     |

**Engine**

|                          |            |                      |                      |
|--------------------------|------------|----------------------|----------------------|
| Engine Order Code        | 99N        | Engine Type          | Regular Unleaded V-8 |
| Displacement             | 7.3 L/445  | Fuel System          | Sequential MPI       |
| SAE Net Horsepower @ RPM | 430 @ 5500 | SAE Net Torque @ RPM | 475 @ 4000           |
| Engine Oil Cooler        | None       |                      |                      |

**Electrical**

|                                     |     |                                    |     |
|-------------------------------------|-----|------------------------------------|-----|
| Cold Cranking Amps @ 0° F (Primary) | 750 | Cold Cranking Amps @ 0° F (2nd)    | 750 |
| Cold Cranking Amps @ 0° F (3rd)     | N/A | Maximum Alternator Capacity (amps) | 200 |

**Cooling System**

|                               |     |
|-------------------------------|-----|
| Total Cooling System Capacity | N/A |
|-------------------------------|-----|

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (✓ Complete)

## Dimensions

### Interior Dimensions

|                    |         |                      |         |
|--------------------|---------|----------------------|---------|
| Passenger Capacity | 3       | Front Head Room      | 40.8 in |
| Front Leg Room     | 43.9 in | Front Shoulder Room  | 66.7 in |
| Front Hip Room     | 62.5 in | Second Head Room     | N/A     |
| Second Leg Room    | N/A     | Second Shoulder Room | N/A     |
| Second Hip Room    | N/A     |                      |         |

### Exterior Dimensions

|                               |         |                                 |          |
|-------------------------------|---------|---------------------------------|----------|
| Wheelbase                     | 142 in  | Length, Overall w/o rear bumper | N/A      |
| Length, Overall w/rear bumper | N/A     | Length, Overall                 | 231.8 in |
| Width, Max w/o mirrors        | 80 in   | Height, Overall                 | 81.2 in  |
| Overhang, Front               | 38.2 in | Overhang, Rear w/o bumper       | N/A      |
| Front Bumper to Back of Cab   | N/A     | Cab to Axle                     | 56.1 in  |
| Cab to End of Frame           | N/A     | Ground to Top of Load Floor     | 37.4 in  |
| Ground to Top of Frame        | N/A     | Frame Width, Rear               | N/A      |
| Ground Clearance, Front       | 8.5 in  | Ground Clearance, Rear          | 8.5 in   |
| Body Length                   | 0.00 ft | Cab to Body                     | N/A      |

### Cargo Area Dimensions

|                          |                      |                                 |         |
|--------------------------|----------------------|---------------------------------|---------|
| Cargo Box Length @ Floor | 98.1 in              | Cargo Box Width @ Top, Rear     | 66.9 in |
| Cargo Box Width @ Floor  | 66.9 in              | Cargo Box Width @ Wheelhousings | 50.5 in |
| Cargo Box (Area) Height  | 21.1 in              | Tailgate Width                  | 60.5 in |
| Cargo Volume             | 78.5 ft <sup>3</sup> | Ext'd Cab Cargo Volume          | N/A     |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (Complete)

**Selected Model and Options**

**MODEL**

| CODE | MODEL                                                |
|------|------------------------------------------------------|
| F3B  | 2022 Ford Super Duty F-350 SRW XL 4WD Reg Cab 8' Box |

**COLORS**

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

**ENGINE**

| CODE | DESCRIPTION                                                                                                     |
|------|-----------------------------------------------------------------------------------------------------------------|
| 99N  | Engine: 7.3L 2V DEVCT NA PFI V8 Gas -inc: Heavy-Duty Alternator (240 Amp), Electronic-Locking w/3.73 Axle Ratio |

**TRANSMISSION**

| CODE | DESCRIPTION                                                                                                                                       |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------|
| 44G  | Transmission: TorqShift 10-Speed Automatic -inc: SelectShift and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD) |

**OPTION PACKAGE**

| CODE | DESCRIPTION     |
|------|-----------------|
| 610A | Order Code 610A |

**AXLE RATIO**

| CODE | DESCRIPTION                          |
|------|--------------------------------------|
| X3E  | Electronic-Locking w/3.73 Axle Ratio |

**WHEELS**

| CODE | DESCRIPTION                                                                      |
|------|----------------------------------------------------------------------------------|
| 64A  | Wheels: 17" Argent Painted Steel -inc: painted hub covers/center ornaments (STD) |

**TIRES**

| CODE | DESCRIPTION                                                                  |
|------|------------------------------------------------------------------------------|
| TBM  | Tires: LT245/75R17E BSW A/T (4) -inc: Spare may not be the same as road tire |

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box ( Complete )

#### PRIMARY PAINT

| CODE | DESCRIPTION |
|------|-------------|
| W6   | Green Gem   |

#### SEAT TYPE

| CODE | DESCRIPTION                                                                                                                    |
|------|--------------------------------------------------------------------------------------------------------------------------------|
| AS   | Medium Earth Gray, HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar |

#### ADDITIONAL EQUIPMENT - PACKAGE

| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 90L  | Power Equipment Group -inc: Deletes passenger-side lock cylinder, upgraded door trim panel, Accessory Delay, Advanced Security Pack, Securilock Passive Anti-Theft System (PATS) and inclination/intrusion sensors, Power Locks, Remote Keyless Entry, Trailer Tow Mirrors w/Power Heated Glass, manual folding, manually telescoping, heated convex spotter mirror and integrated clearance lamps/turn signals, Power Front Seat Windows, 1-touch up/down driver/passenger window, Power Tailgate Lock |

#### ADDITIONAL EQUIPMENT - MECHANICAL

| CODE | DESCRIPTION                                                                                                                                                                                                                                                                                                                                                                   |
|------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 41P  | Transfer Case & Fuel Tank Skid Plates                                                                                                                                                                                                                                                                                                                                         |
| 473  | Snow Plow Prep Package -inc: computer selected springs for snowplow application, Note restrictions apply; see supplemental reference or body builders layout book for details, May result in deterioration of ride quality when vehicle is not equipped w/snowplow, Dual battery (86M) recommended w/6.2L or 7.3L gasoline engines; see body builders layout book for details |
| 52B  | Trailer Brake Controller -inc: Verified to be compatible w/select electric over hydraulic brakes, smart trailer tow connector                                                                                                                                                                                                                                                 |
| 67B  | 397 Amp Alternator                                                                                                                                                                                                                                                                                                                                                            |
| 86M  | Dual 78 AH Battery                                                                                                                                                                                                                                                                                                                                                            |

#### ADDITIONAL EQUIPMENT - EXTERIOR

| CODE | DESCRIPTION                             |
|------|-----------------------------------------|
| 592  | LED Roof Clearance Lights               |
| 61L  | Front Wheel Well Liners (Pre-Installed) |

#### ADDITIONAL EQUIPMENT - INTERIOR

| CODE | DESCRIPTION                                             |
|------|---------------------------------------------------------|
| 66S  | Upfilter Switches (6) -inc: Located in overhead console |
| 76C  | Exterior Backup Alarm (Pre-Installed)                   |

---

#### Options Total

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (✔ Complete)

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box ( Complete )

## Standard Equipment

### Mechanical

Engine: 6.2L 2-Valve SOHC EFI NA V8 Flex-Fuel (STD)  
 Transmission: TorqShift 10-Speed Automatic -inc: SelectShift and selectable drive modes: normal, tow/haul, eco, deep sand/snow and slippery (STD)  
 3.73 Axle Ratio (STD)  
 50-State Emissions System  
 Transmission w/Oil Cooler  
 Electronic Transfer Case  
 Part-Time Four-Wheel Drive  
 72-Amp/Hr 650CCA Maintenance-Free Battery w/Run Down Protection  
 157 Amp Alternator  
 Class V Towing Equipment -inc: Hitch and Trailer Sway Control  
 Trailer Wiring Harness  
 4030# Maximum Payload  
 GVWR: 10,400 lb Payload Package  
 HD Shock Absorbers  
 Front Anti-Roll Bar  
 Firm Suspension  
 Hydraulic Power-Assist Steering  
 34 Gal. Fuel Tank  
 Single Stainless Steel Exhaust  
 Auto Locking Hubs  
 Front Suspension w/Coil Springs  
 Leaf Rear Suspension w/Leaf Springs  
 4-Wheel Disc Brakes w/4-Wheel ABS, Front And Rear Vented Discs, Brake Assist and Hill Hold Control

### Exterior

Wheels: 17" Argent Painted Steel -inc: painted hub covers/center ornaments (STD)  
 Tires: LT246/75R17E BSW A/S (4) -inc: Spare may not be the same as road tire (STD)  
 Regular Box Style  
 Steel Spare Wheel  
 Spare Tire Stored Underbody w/Crankdown  
 Clearcoat Paint

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Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box ( // Complete )

**Exterior**

- Black Front Bumper w/Black Rub Strip/Fascia Accent and 2 Tow Hooks
- Black Rear Step Bumper
- Black Side Windows Trim and Black Front Windshield Trim
- Black Door Handles
- Black Manual Side Mirrors w/Manual Folding
- Manual Extendable Trailer Style Mirrors
- Fixed Rear Window
- Light Tinted Glass
- Variable Intermittent Wipers
- Aluminum Panels
- Black Grille
- Tailgate Rear Cargo Access
- Manual Tailgate/Rear Door Lock
- Autolamp Auto On/Off Aero-Composite Halogen Daytime Running Lights Preference Setting Headlamps w/Delay-Off
- Cargo Lamp w/High Mount Stop Light

**Entertainment**

- Radio w/Seek-Scan and Clock
- Radio: AM/FM Stereo w/MP3 Player -inc: 4 speakers
- Fixed Antenna
- SYNC Communications & Entertainment System -inc: enhanced voice recognition w/911 Assist, 4.2" LCD center stack screen, AppLink and 1 smart-charging USB-C port

**Interior**

- 4-Way Driver Seat -inc: Manual Recline and Fore/Aft Movement
- 4-Way Passenger Seat -inc: Manual Recline and Fore/Aft Movement
- Manual Tilt/Telescoping Steering Column
- Gauges -inc: Speedometer, Odometer, Oil Pressure, Engine Coolant Temp, Tachometer, Transmission Fluid Temp, Engine Hour Meter, Trip Odometer and Trip Computer
- FordPass Connect 4G Mobile Hotspot Internet Access
- Manual Air Conditioning
- Illuminated Locking Glove Box
- Interior Trim -inc: Chrome Interior Accents
- Full Cloth Headliner

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# CHROMEDATA

An Autodata Solutions Brand

Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (Complete)

## Interior

- Urethane Gear Shifter Material
- HD Vinyl 40/20/40 Split Bench Seat -inc: center armrest, cupholder, storage and driver's side manual lumbar
- Day-Night Rearview Mirror
- Passenger Visor Vanity Mirror
- 2 12V DC Power Outlets
- Front Map Lights
- Fade-To-Off Interior Lighting
- Full Vinyl/Rubber Floor Covering
- Pickup Cargo Box Lights
- Smart Device Remote Engine Start
- Instrument Panel Covered Bin and Dashboard Storage
- Manual 1st Row Windows
- Systems Monitor
- Trip Computer
- Outside Temp Gauge
- Analog Appearance
- Seats w/Vinyl Back Material
- Manual Adjustable Front Head Restraints
- Securilock Anti-Theft Ignition (pats) Engine Immobilizer
- Air Filtration

## Safety-Mechanical

- AdvanceTrac w/Roll Stability Control Electronic Stability Control (ESC) And Roll Stability Control (RSC)
- ABS And Driveline Traction Control

## Safety-Exterior

- Side Impact Beams

## Safety-Interior

- Dual Stage Driver And Passenger Seat-Mounted Side Airbags
- Tire Specific Low Tire Pressure Warning
- Dual Stage Driver And Passenger Front Airbags w/Passenger Off Switch
- Safety Canopy System Curtain 1st Row Airbags
- Mykey System -inc: Top Speed Limiter, Audio Volume Limiter, Early Low Fuel Warning, Programmable Sound Chimes and Beltminder w/Audio Mute

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 15075, Data updated Nov 2, 2021 1:04:00 PM PDT



Vehicle: [Fleet] 2022 Ford Super Duty F-350 SRW (F3B) XL 4WD Reg Cab 8' Box (✔ Complete)


**Safety-Interior**

- Outboard Front Lap And Shoulder Safety Belts -inc: Height Adjusters
- Back-Up Camera

**WARRANTY**

- Basic Years: 3
- Basic Miles/km: 36,000
- Drivetrain Years: 5
- Drivetrain Miles/km: 60,000
- Corrosion Years: 5
- Corrosion Miles/km: Unlimited
- Roadside Assistance Years: 5
- Roadside Assistance Miles/km: 60,000

Prices, specifications, and availability are subject to change without notice, and do not include certain fees, taxes and charges that may be required by law or vary by manufacturer or region. Performance figures are guidelines only, and actual performance may vary. Photos may not represent actual vehicles or exact configurations. Content based on report preparer's input is subject to the accuracy of the input provided. Data Version: 15075, Data updated Nov 2, 2021 1:04:00 PM PDT

|  <b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                              |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                       |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Sidewalk Tractor with multiple Tool Attachments                                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                              |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$274,000                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                              |
| <b>DESCRIPTION:</b><br>New or current model year Multihog CX 75 Heavy Duty Tractor with multiple tool attachments including snow plow, snow blower, sander, mowers, sidewalk broom.                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                              |
| <b>PURPOSE AND JUSTIFICATION:</b><br>With addition of the Paul Revere Heritage Site parking lot and sidewalks and to be able to meet effectively other maintenance duties throughout the Town, Public Works is in need of a multiple use Tractor / Tool Carrier to clear snow, sand walks, cut road side vegetation, mow grass, sweep sidewalks.                                                                                                           |                                                                                                                                                                                                                                              |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 4 (#) OF _____ 7 (#)                                                                        |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____ |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                              |

FORM B - FISCAL 2023



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 61 Silva Lane, Dracut, MA 01826 • www.EquipmentEast.com

**QUOTE - DO NOT PAY**

Quote: 01-23226 PO: CX75 2021 Budget  
 Date: 9/30/2021 Custid: CANTON DPW

Cust Email: wwals@town.canton.ma.us  
 Phone: (781) 389-1813  
 Salesperson: JFleming  
 User: Chris Thomas

|                                                                     |                            |
|---------------------------------------------------------------------|----------------------------|
| Bill To:<br>Town of Canton<br>801 Washington St<br>Canton, MA 02021 | Ship To:<br>Town of Canton |
|---------------------------------------------------------------------|----------------------------|

Quote prepared using Massachusetts State Contract VEH98

| Item | Type | Description                                                                  | Qty    | Tax | Price         | Discount | Net Price |
|------|------|------------------------------------------------------------------------------|--------|-----|---------------|----------|-----------|
| CX75 | QU   | Multitrog CX75                                                               | 1.0000 |     | \$96,506.18   |          |           |
|      |      | MH - Articulated sidewalk tractor                                            |        |     |               |          |           |
|      |      | 697-1007: Reversing camera                                                   |        |     | \$1,189.76    |          |           |
|      |      | 697-1013: Variable fan                                                       |        |     | \$4,079.68    |          |           |
|      |      | 697-1017: Front Mechanical PTO 1000 RPM                                      |        |     | \$5,045.92    |          |           |
|      |      | 697-1020: 0-100 L/M (0-26.4 gpm) to front                                    |        |     | \$3,310.59    |          |           |
|      |      | 697-1025: Tee Connection to rear                                             |        |     | \$429.44      |          |           |
|      |      | 697-1027: 2 x DA valves to front and 1 x DA valve to rear                    |        |     | \$1,429.12    |          |           |
|      |      | 697-1030: Hydraulic tipping rear                                             |        |     | \$1,858.56    |          |           |
|      |      | 697-1031: Hydraulic rotation with radial floatation of front linkage         |        |     | \$1,848.96    |          |           |
|      |      | 697-1033: Hydraulic top link                                                 |        |     | \$619.52      |          |           |
|      |      | 697-1034: Hydraulic cab tilt                                                 |        |     | \$1,496.00    |          |           |
|      |      | 697-1035: LED amber flasher lights (set of 4)                                |        |     | \$526.24      |          |           |
|      |      | 697-1036: Heated seat- heated base and back support                          |        |     | \$714.56      |          |           |
|      |      | 697-1038: Heated windscreen                                                  |        |     | \$1,541.76    |          |           |
|      |      | 697-1047: Standard orange RA12011 panels                                     |        |     |               |          |           |
|      |      | 697-1051: Combined cab heating & air conditioning                            |        |     | \$2,618.88    |          |           |
|      |      | 697-1053: 2 LED worklights (front)                                           |        |     | \$343.20      |          |           |
|      |      | 697-1054: 2 LED worklights (rear)                                            |        |     | \$343.20      |          |           |
|      |      | 697-1061: CX SD Traction Control                                             |        |     | \$2,856.48    |          |           |
|      |      | 697-1062 + 697-1088: BFG All Terrain LT225/75/16 tyres with narrow mudguards |        |     | \$3,616.80    |          |           |
|      |      | 697-1076: Cab doors with one sliding window                                  |        |     | \$1,138.72    |          |           |
|      |      | 697-1083: High lamp water hose running front to rear                         |        |     | \$704.00      |          |           |
|      |      | 697-1101: 4 x DA lever valve block with float                                |        |     | \$1,819.84    |          |           |
|      |      | 697-1125: 100 litre (26.4 gal) tee connection from front to rear             |        |     | \$619.52      |          |           |
|      |      | 697-1133: Standard drive                                                     |        |     |               |          |           |
|      |      | 697-1134: Standard 3500 kg (7,716 lbs) gross vehicle weight                  |        |     |               |          |           |
|      |      | 697-1137: Mechanical top link (standard)                                     |        |     |               |          |           |
|      |      | 697-1155: Side guard protection kit                                          |        |     | \$624.80      |          |           |
|      |      | 697-1191 + 697-1192: Roof guard protection kit with lights                   |        |     | \$1,518.88    |          |           |
|      |      | 697-1211: Belly pan kit                                                      |        |     | \$216.48      |          |           |
|      |      | Freight:                                                                     |        |     | \$5,333.33    |          |           |
|      |      | Setup:                                                                       |        |     | \$1,333.33    |          |           |
|      |      | Line Discount: 7.00%                                                         |        |     | (\$10,001.66) |          |           |



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**QUOTE - DO NOT PAY**

Quote: 01-23226 PO: CX75 2021 Budget  
 Date: 9/30/2021 Custid: CANTON DPW

Cust Email: wwaish@town.canton.ma.us  
 Phone: (781) 389-1813  
 Salesperson: JFleming  
 User: Chris Thomas

Bill To:  
 Town of Canton  
 801 Washington St  
 Canton, MA 02021

Ship To:  
 Town of Canton

|                   |    | Total CX75                                      |        |             | \$132,881.89       |
|-------------------|----|-------------------------------------------------|--------|-------------|--------------------|
| LPAB-2            | QU | Multihog LPAB-2                                 | 1.0000 | \$0.00      |                    |
|                   |    | OTH - 2 Low profile amber beacons, rear corners |        |             |                    |
|                   |    | 2832APLM: 2 low profile amber beacons           |        | \$200.00    |                    |
|                   |    | 801-0003: DIN socket                            |        | \$33.33     |                    |
|                   |    | Freight:                                        |        | \$66.67     |                    |
|                   |    | Setup:                                          |        | \$333.33    |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$44.33)   |                    |
|                   |    | <b>Total LPAB-2</b>                             |        |             | <b>\$589.00</b>    |
| Extended Warranty | QU | Glynn General Extended Warranty                 | 1.0000 | \$6,703.20  |                    |
|                   |    | OTH - Years 2,3,4,5 / 5,000 hours               |        |             |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$469.22)  |                    |
|                   |    | <b>Total Extended Warranty</b>                  |        |             | <b>\$6,233.98</b>  |
| DB75-1            | QU | Metec DB75-1                                    | 1.0000 | \$4,078.55  |                    |
|                   |    | OTH - 1/2 yard dump body                        |        |             |                    |
|                   |    | Freight:                                        |        | \$666.67    |                    |
|                   |    | Setup:                                          |        | \$166.67    |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$343.83)  |                    |
|                   |    | <b>Total DB75-1</b>                             |        |             | <b>\$4,568.06</b>  |
| DS44-1            | QU | Metec DS44-1                                    | 1.0000 | \$6,127.13  |                    |
|                   |    | OTH - 1/3 yard drop spreader                    |        |             |                    |
|                   |    | Freight:                                        |        | \$800.00    |                    |
|                   |    | Setup:                                          |        | \$333.33    |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$508.23)  |                    |
|                   |    | <b>Total DS44-1</b>                             |        |             | <b>\$6,752.23</b>  |
| SB50-1            | QU | Metec SB50-1                                    | 1.0000 | \$12,805.53 |                    |
|                   |    | OTH - 50" box snowblower with 2 augers          |        |             |                    |
|                   |    | Freight:                                        |        | \$800.00    |                    |
|                   |    | Setup:                                          |        | \$333.33    |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$975.72)  |                    |
|                   |    | <b>Total SB50-1</b>                             |        |             | <b>\$12,963.14</b> |
| FAV61-1           | QU | Metec FAV61-1                                   | 1.0000 | \$9,325.61  |                    |
|                   |    | OTH - 60"/52" hydraulic V-plow                  |        |             |                    |
|                   |    | Freight:                                        |        | \$800.00    |                    |
|                   |    | Setup:                                          |        | \$333.33    |                    |
|                   |    | Line Discount: 7.00%                            |        | (\$732.13)  |                    |



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**QUOTE - DO NOT PAY**

Quote: 01-23226      PO: CX75 2021 Budget  
 Date: 9/30/2021      Custid: CANTON DPW

Cust Email:      wwalsh@town.canton.ma.us  
 Phone:            (781) 389-1813  
 Salesperson:    JFleming  
 User:              Chris Thomas

Bill To:  
 Town of Canton  
 801 Washington St  
 Canton, MA 02021

Ship To:  
 Town of Canton

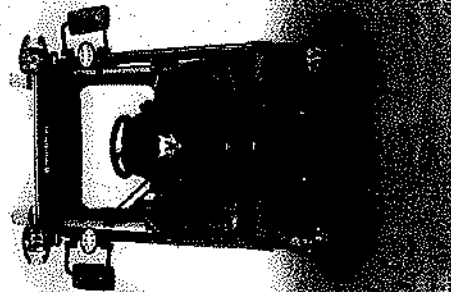
|         |    |                                                    |        |               |                     |
|---------|----|----------------------------------------------------|--------|---------------|---------------------|
|         |    | <b>Total FAV61-1</b>                               |        |               | <b>\$9,726.81</b>   |
| HS48-1  | QU | Metec HS48-1                                       | 1.0000 | \$9,542.92    |                     |
|         |    | OTH - 48" hydraulic sweeper                        |        |               |                     |
|         |    | Freight:                                           |        | \$800.00      |                     |
|         |    | Setup:                                             |        | \$333.33      |                     |
|         |    | Line Discount: 7.00%                               |        | (\$747.34)    |                     |
|         |    | <b>Total HS48-1</b>                                |        |               | <b>\$9,928.91</b>   |
| UNA200  | QU | Duecker UNA200                                     | 1.0000 | \$47,743.93   |                     |
|         |    | OTH - Boom flail mower with stand and caster wheel |        |               |                     |
|         |    | Freight:                                           |        | \$1,600.00    |                     |
|         |    | Setup:                                             |        | \$333.33      |                     |
|         |    | Line Discount: 7.00%                               |        | (\$3,477.41)  |                     |
|         |    | <b>Total UNA200</b>                                |        |               | <b>\$46,199.85</b>  |
| THM2500 | QU | GMR THM2500                                        | 1.0000 | \$37,934.71   |                     |
|         |    | OTH - 98" cutting width Triplex finish mower       |        |               |                     |
|         |    | Chain Guards:                                      |        |               |                     |
|         |    | Freight:                                           |        | \$1,600.00    |                     |
|         |    | Mulch Blade:                                       |        |               |                     |
|         |    | No Flat Tires:                                     |        |               |                     |
|         |    | Setup:                                             |        | \$600.00      |                     |
|         |    | Line Discount: 7.00%                               |        | (\$2,809.43)  |                     |
|         |    | <b>Total THM2500</b>                               |        |               | <b>\$37,325.28</b>  |
| WWFK    | QU | Multihog WWFK                                      | 1.0000 | \$4,642.11    |                     |
|         |    | MH - Wide wheel and fender kit - required for mow  |        |               |                     |
|         |    | Freight:                                           |        | \$1,066.67    |                     |
|         |    | Setup:                                             |        | \$666.67      |                     |
|         |    | Line Discount: 7.00%                               |        | (\$446.28)    |                     |
|         |    | <b>Total WWFK</b>                                  |        |               | <b>\$5,929.17</b>   |
|         |    |                                                    |        | <b>Total:</b> | <b>\$273,098.32</b> |

|        |  |  |  |                       |                     |
|--------|--|--|--|-----------------------|---------------------|
| Totals |  |  |  | <b>Sub Total:</b>     | <b>\$273,098.32</b> |
|        |  |  |  | <b>Total Tax:</b>     | <b>\$0.00</b>       |
|        |  |  |  | <b>Invoice Total:</b> | <b>\$273,098.32</b> |

Signature: \_\_\_\_\_

I agree that I have received and read the Terms and Conditions with this document and agree that it is part of this quote/sale contract. No other agreement/understanding affects this order unless specified above. Quotes Valid 30 days. Deal is not binding until accepted and signed by the Officer of the Dealer's Corporation. The above quote does not include Freight and Sales/Use tax. The customer is responsible for All Freight and Sale/Use Tax.

## MULTIHOG RANGE CX 55



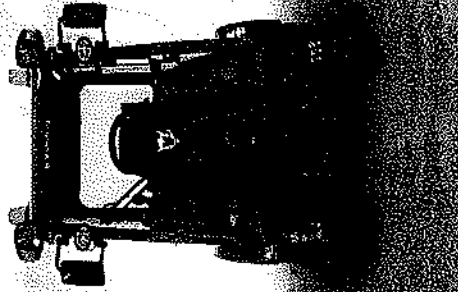
### CX 55 TECHNICAL SPECIFICATION

- Engine: 55 HP (42 kW) Kohler, diesel
- Emissions class: Tier 4 Final
- Length: 2490 mm
- Width: 1150 - 1560 mm
- Height: 1980 - 2040 mm
- Unladen weight: 1950 - 2300 kg
- Gross vehicle weight: 3500 kg
- Max. front axle capacity: 2000 kg
- Max. rear axle capacity: 2500 kg
- Outer turning radius: 2463 - 2863 mm
- Load-sensing PTO hydraulics, 0 - 100 litres per min
- Operating pressure up to 330 bar
- Front mechanical PTO, 1000 RPM

#### WANT MORE CAPACITY? THE CX 55 LE WHAT YOU NEED!

The CX 55 is a tractor fit for a larger job. It can be configured with the standard CX 55 model, the CX 55 with a rear wheel loader, or the CX 55 with a front loader. The CX 55 is a tractor fit for a larger job. It can be configured with the standard CX 55 model, the CX 55 with a rear wheel loader, or the CX 55 with a front loader.

## MULTIHOG RANGE CX 75



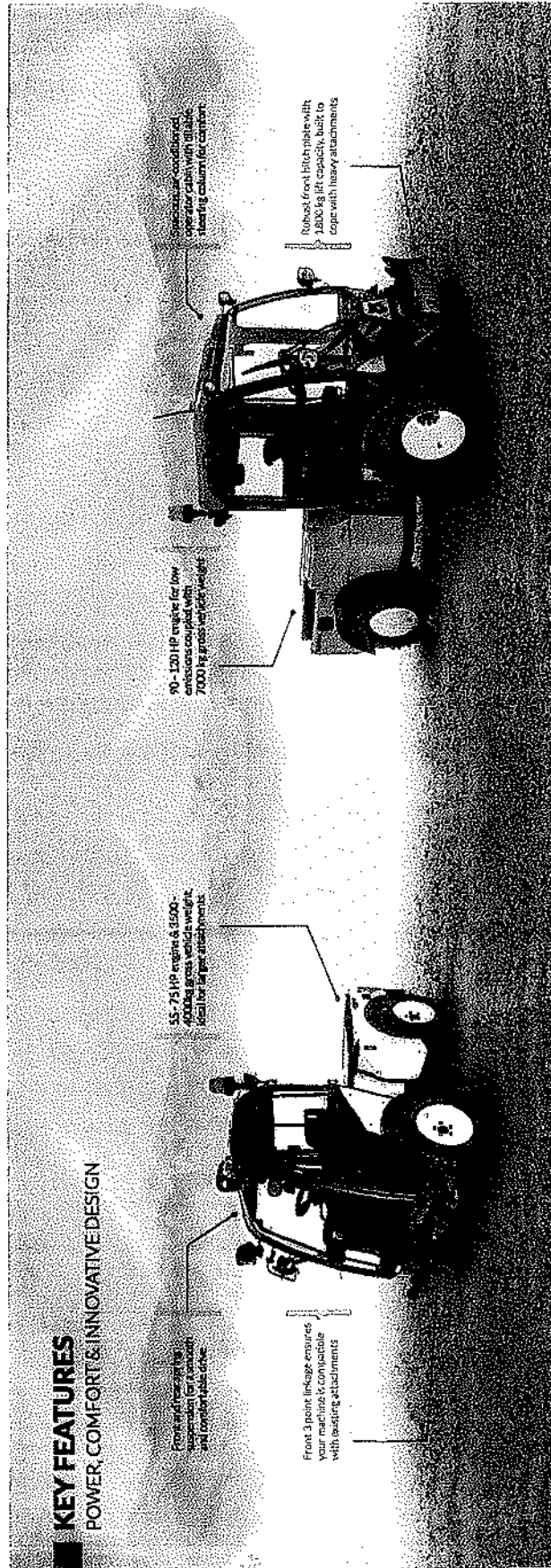
### CX 75 TECHNICAL SPECIFICATION

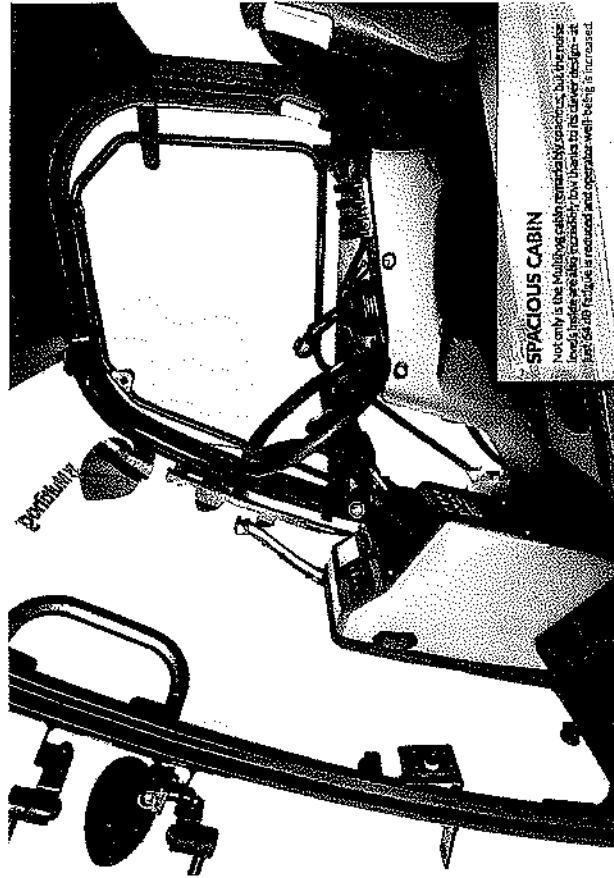
- Engine: 75HP (55 kW) Kohler, diesel
- Emissions class: Tier 4 final
- Length: 2690 mm
- Width: 1150 - 1560 mm
- Height: 1980 - 2040 mm
- Unladen weight: 2200 - 2700 kg
- Gross vehicle weight: 3500 kg
- Max. front axle capacity: 2500 kg
- Max. rear axle capacity: 3500 kg
- Outer turning radius: 2998 - 3134 mm
- Load-sensing PTO hydraulics, 0 - 100 litres per min
- Operating pressure up to 350 bar
- Front mechanical PTO, 1000 RPM

#### CX 75 HAS BIGGER POWER, BETTER PERFORMANCE

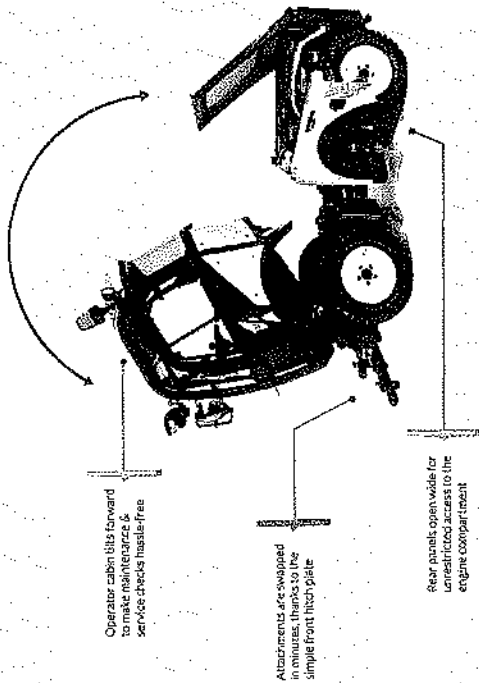
The CX 75 has more power than the standard CX 55 model, the CX 75 with a rear wheel loader, or the CX 75 with a front loader. The CX 75 is a tractor fit for a larger job. It can be configured with the standard CX 75 model, the CX 75 with a rear wheel loader, or the CX 75 with a front loader.

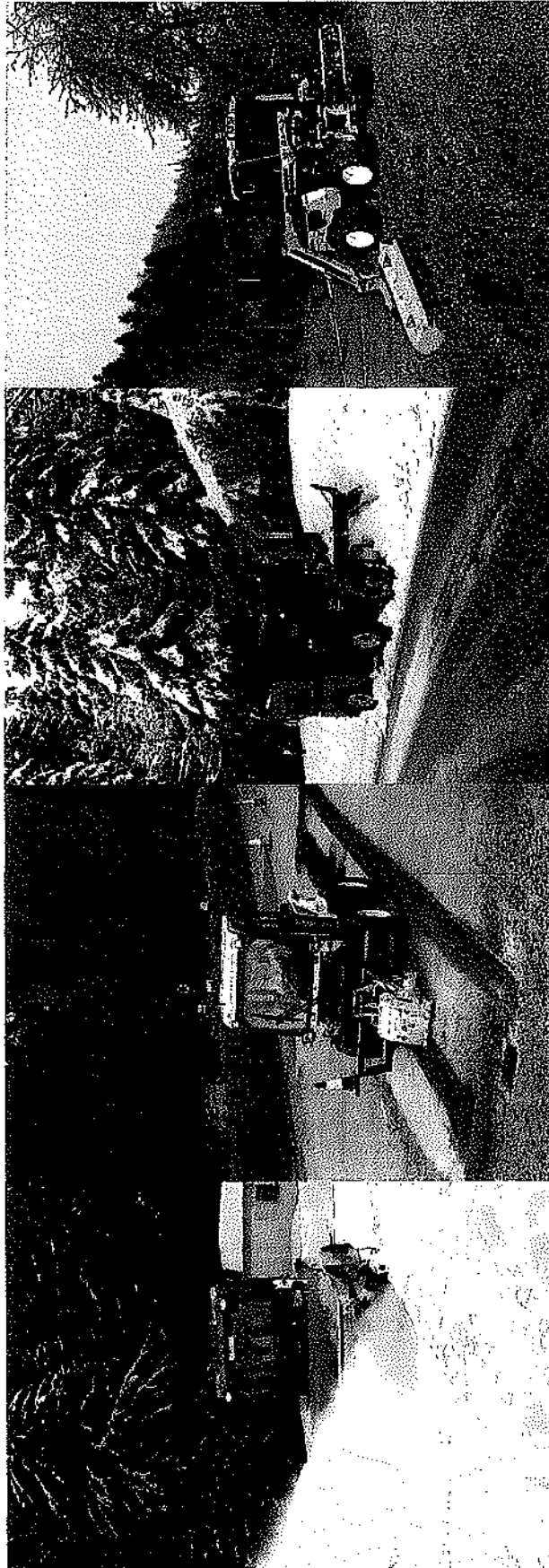






## MINIMAL MAINTENANCE




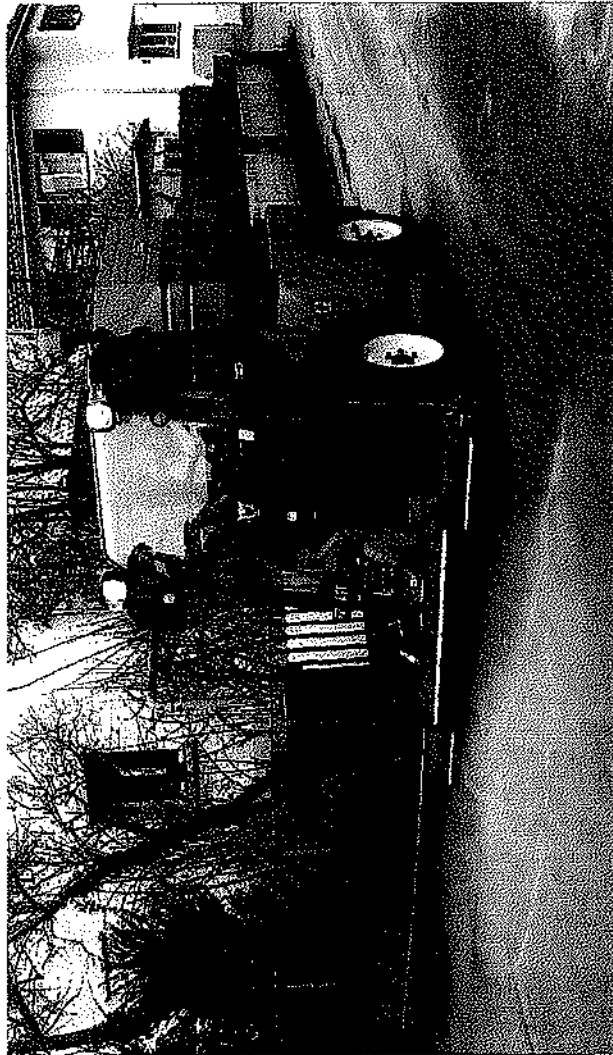




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The Mulholland's versatility means that we simply have too many skid steer loaders to list them all in this brochure. If you'd like to see more views you can visit our Mulholland website or call our website today to view their full range of work. [www.ai3investments-mulholland.com](http://www.ai3investments-mulholland.com)

**TAKE IT FOR A TEST DRIVE...**  
With a fast growing network worldwide, we are sure you will find a skid steer loader through its dealer network. Please contact us today and we'll make it happen.  
✉ [info@mulholland.com](mailto:info@mulholland.com)  
☎ 530-541-0250  
🌐 [www.ai3investments-mulholland.com](http://www.ai3investments-mulholland.com)





## A LITTLE BIT ABOUT US

AS THE FIRST MULVHOG DEALER IN NORTH AMERICA, OUR TEAM CAN CONFIDENTLY SAY, "WE KNOW THESE TRACTORS." IN 2018, OUR ALPINE SMITH SALES TEAM WAS AWARDED BY MULVHOG FOR THE MOST ANNUAL SALES IN THE WORLD.


SINCE 2008, MULVHOG HAS EVOLVED INTO A MUST-HAVE TRACTOR USED BY THE WESTERN STATES, LOCAL GOVERNMENTS & CONTRACTORS. THE COMPANY FOLLOWS ONE GUIDING PRINCIPLE: INNOVATE, INNOVATE, INNOVATE.

We spend a lot of time with tractors — both clearing snow and learning as much about them as possible so we can make the best recommendations for our customers.

At Alpine Smith, we sell professional snow removal equipment to contractors and municipalities across a wide swath of Western states and North America.

These versatile machines can be outfitted with numerous attachments, such as sweepers, front-mounted snowblowers and plows for multi-season use.

We've partnered directly with Mulvihog and their team of the best and brightest engineers around — we strive for improvement every day — so that you can be sure our tractors are the best on the market.

|  <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works                                                                                                                                                                                                                                                                                                                                                                                                                                    | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Downtown Crosswalk Rehab                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$312,000                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>Rehabilitation of Downtown Crosswalk surface treatment including milling, repaving road, placing new crosswalk traffic pattern.                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>Streetscape features in Canton center were complete in 2007. The crosswalk surface is worn and oxidized, losing its color, causing reduced safety for both Pedestrian and Motorist. The crosswalks at Neponset, Church, Wall, Bolivar, St. Johns, Train Station, Center, Sherman will redone.                                                                                                                                    |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input checked="" type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 5 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                      | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                    |

| Downtown Cross Walk Rehabilitation |      |                   |            |               |
|------------------------------------|------|-------------------|------------|---------------|
| Quantity                           | Unit | Item              | Unit Price | Amount        |
| 950                                | SY   | Mill and Pave     | \$ 52.00   | \$ 49,400.00  |
| 8370                               | SF   | Crosswalk Pattern | \$ 19.00   | \$ 159,030.00 |
| 640                                | HR   | Police            | \$ 98.00   | \$ 62,720.00  |
|                                    |      |                   |            | \$ 271,150.00 |
|                                    |      |                   | 15%        | \$ 40,672.50  |
|                                    |      |                   |            | \$ 311,822.50 |

SERSG DPW SERVICES IFB FOR Bid Tally BID OPENING: NOVEMBER 18, 2020  
February 1, 2021 – January 31, 2022

|                                    | Bid Price   | Unit         | Total Quantity         | Total Bid           |
|------------------------------------|-------------|--------------|------------------------|---------------------|
| <b>2. Cold In-Place Recycling</b>  |             |              |                        |                     |
| <b>Sealcoating, Inc. dba indus</b> |             |              |                        |                     |
| <b>Bidder's Name</b>               |             |              |                        |                     |
|                                    | \$ 5.53     | per sq yd    | 117,000 sq yds         | <b>647,010.00</b>   |
| Core Sampling                      | \$ 3,485.00 | per day      | 12 days                | <b>41,820.00</b>    |
| Mix Design                         | \$ 5,510.00 | each         | 7 designs              | <b>38,570.00</b>    |
| Portld Cemt Agent/Min Fill         | \$ 225.00   | per ton      | 484 tons               | <b>108,900.00</b>   |
| Liq Aspht Stabilizing Agent        | \$ 3.71     | per gallon   | 57,200 gallons         | <b>212,212.00</b>   |
| Pave RAP or Aggregate              | \$ 0.74     | per sq yd    | 51,000 sq yds          | <b>37,740.00</b>    |
| Pre-Milling Pavement               | \$ 1.23     | per sq yd    | 51,000 sq yds          | <b>62,730.00</b>    |
| Gravel for Base Repair             | \$ 33.50    | per cubic yd | 260 cubic yds          | <b>8,710.00</b>     |
| Hot Mix Asphalt, Base Repair       | \$ 385.00   | per ton      | 699 tons               | <b>269,115.00</b>   |
| Lower&Raise Structures             | \$ 995.00   | each         | 191 structures         | <b>190,045.00</b>   |
| Structure Rebuild                  | \$ 327.50   | per vert ft  | 48 vert fts            | <b>15,720.00</b>    |
| Adjust Gates/small structrs        | \$ 760.00   | each         | 135 structures         | <b>102,600.00</b>   |
|                                    |             |              | <b>TOTAL BID PRICE</b> | <b>1,735,172.00</b> |

**3. Permanent Trench Patch Repairs**

**Walsh Contracting**

|                      |          |           |                        |                   |
|----------------------|----------|-----------|------------------------|-------------------|
| <b>Bidder's Name</b> |          |           |                        |                   |
| 4" grind & inlay     | \$ 65.00 | per sq yd | 1,050 sq yds           | <b>68,250.00</b>  |
| 1.5" grind & inlay   | \$ 30.00 | per sq yd | 11,290 sq yds          | <b>338,700.00</b> |
|                      |          |           | <b>TOTAL BID PRICE</b> | <b>406,950.00</b> |

**Lorusso Corp.**

|                      |          |           |                        |                   |
|----------------------|----------|-----------|------------------------|-------------------|
| <b>Bidder's Name</b> |          |           |                        |                   |
| 4" grind & inlay     | \$ 52.00 | per sq yd | 1,050 sq yds           | <b>54,600.00</b>  |
| 1.5" grind & inlay   | \$ 24.00 | per sq yd | 11,290 sq yds          | <b>270,960.00</b> |
|                      |          |           | <b>TOTAL BID PRICE</b> | <b>325,560.00</b> |

Signature of Witness

*Melissa Imbaco*

Tally Page 2 of 23



McNulty Construction Corp.  
Asphalt Paving Specialists  
P.O. Box 3218  
Framingham, Massachusetts 01705  
(508) 879-8875  
Fax (508) 879 -1225

# Proposal



Canton DPW  
801 Washington Street                      [wwalsh@town.canton.ma.us](mailto:wwalsh@town.canton.ma.us)  
Canton MA 02021  
Att Bill Walsh                                      10/29/2021

**Various street Locations Canton MA, Traffic Patterns XD crosswalks**

Supply and install Traffic Patterns XD as per manufacturer specs.  
Approximately **8370SF**  
Standard pattern and color to be brick red. Match as close to existing crosswalks  
Approx. 8ft width  
Includes 2-12" preformed thermo plastic lines  
**\$19.00 per SF**

**Total \$159,030.00**

If white lines by others it is **\$18.50 per SF.....\$154,845.00**

Notes: Project is tax exempt. Please provide a *Certificate of Tax-Exempt status to enable us to purchase materials Form ST-5C.*

- Traffic Control Police details by others.**
- All quantities to be field-verified.**
- Prevailing wages apply to this job.
- Please send applicable prevailing wage sheets for this job.
- All work will be performed, weather permitting.

**Payment terms: TBD**

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only upon written orders, and will become an extra change over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance. Our workers are fully covered by Worker's Compensation Insurance.

**ESTIMATE**

**EXPIRATION:** This estimate is valid for 7 days.

**SALES TAX:** Prices include the applicable Massachusetts sales tax on materials and other related taxable items to be used on this project

**ACCEPTED:**

The above prices, specifications and conditions are satisfactory and are hereby accepted

Signature X \_\_\_\_\_


Date of Acceptance \_\_\_\_\_

**CONFIRMED:**

McNulty Construction Corp.

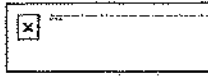
Authorized \_\_\_\_\_

Signature \_\_\_\_\_

|  <b>TOWN OF CANTON<br/>FORM B - FISCAL 2023<br/>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>DEPARTMENT:</b><br>Public Works                                                                                                                                                                                                                                                                                                                                                                                                                         | <b>SUBMITTED BY:</b><br>Michael Trotta                                                                                                                                                                                                                                                                                                                                                             |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>10 Wheel Dump Truck                                                                                                                                                                                                                                                                                                                                                                                                   |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$298,000                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>DESCRIPTION:</b><br>New or current model year Western Star 4700SF 10 wheel truck equipped with a stainless steel Hi-Way XT3 Dump Body and 13 foot V Plow.                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>PURPOSE AND JUSTIFICATION:</b><br>This new addition to the Public Works fleet will allow better efficiency in hauling materials such as road salt, street sweepings, asphalt, storm debris, excavated material. For winter storm fighting along with a V plow, the truck is equipped with automatic sander control and wet deicing system.                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                    |
| <b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i><br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan) | <b>Departmental Priority Ranking:</b><br><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br>_____ 6 (#) OF _____ 7 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input checked="" type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |
| <b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                           | <b>Revenue Impact:</b> <i>(Check one)</i><br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |
| <b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i>                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                    |

FORM B - FISCAL 2023

**Prepared for:**  
Bill Walsh  
Canton Town Of  
801 Washington St  
  
Canton, MA 2021  
Phone: 781-821-5025



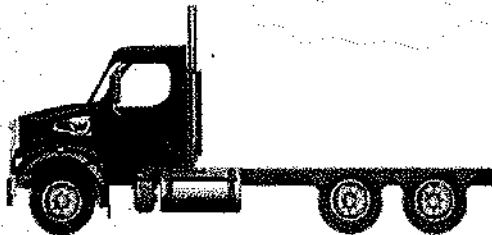
**Prepared by:**  
Richard Coutu  
ATG TRI STATE TRUCK  
CENTER, LLC  
411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

*A proposal for*  
**Canton Town Of**

*Prepared by*  
**ATG TRI STATE TRUCK CENTER, LLC**  
*Richard Coutu*

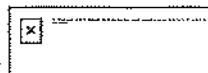
*Oct 26, 2021*

**Western Star 47X**



Components shown may not reflect all spec'd options and are not to scale

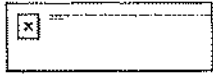
Application Version 11.6.604  
Data Version PRL-26X.021  
Canton 47X



10/26/2021 12:45 PM

Page 1 of 17

Prepared for:  
 Bill Walsh  
 Canton Town Of  
 801 Washington St  
  
 Canton, MA 2021  
 Phone: 781-821-5025



Prepared by:  
 Richard Coutu  
 ATG TRI STATE TRUCK  
 CENTER, LLC  
 411 HARTFORD TURNPIKE  
 SHREWSBURY, MA 01545  
 Phone: 508-753-1200

**QUOTATION**



|                                                                      |                                                    |
|----------------------------------------------------------------------|----------------------------------------------------|
| SET FORWARD AXLE - TRUCK                                             | DETROIT DA-F-20.0-5 20,000# FL1 71.0 KPI/3.74 DROP |
| CUM X12 475V HP @ 1900 RPM, 1700 LB-FT @ 1000 RPM, 2000 GOV RPM, VOC | SINGLE FRONT AXLE                                  |
| ALLISON 4500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION           | 20,000# FLAT LEAF FRONT SUSPENSION                 |
| RT-46-160 46,000# R-SERIES TANDEM REAR AXLE                          | 111 INCH BBC CONVENTIONAL ALUMINUM CAB             |
| TUFTRAC GEN2 46,000# REAR SPRING SUSPENSION                          | 5040MM (198 INCH) WHEELBASE, SFA ONLY              |
|                                                                      | 13.0MM X 87.0MM X 311.0MM STEEL FRAME              |
|                                                                      | (0.51X3.43X12.24 INCH) 120 KSI                     |
|                                                                      | 1475MM (58 INCH) REAR FRAME OVERHANG               |

|                                  |                      | PER UNIT          | TOTAL             |
|----------------------------------|----------------------|-------------------|-------------------|
| VEHICLE PRICE                    | TOTAL # OF UNITS (1) | \$ 151,421        | \$ 151,421        |
| EXTENDED WARRANTY                |                      | \$ 2,061          | \$ 2,061          |
| DEALER INSTALLED OPTIONS         |                      | \$ 144,150        | \$ 144,150        |
| <b>CUSTOMER PRICE BEFORE TAX</b> |                      | <b>\$ 297,632</b> | <b>\$ 297,632</b> |



|                |      |      |
|----------------|------|------|
| TAXES AND FEES | \$ 0 | \$ 0 |
| OTHER CHARGES  | \$ 0 | \$ 0 |



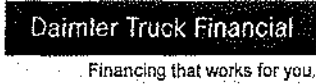
|                    |        |        |
|--------------------|--------|--------|
| TRADE-IN ALLOWANCE | \$ (0) | \$ (0) |
|--------------------|--------|--------|

|                    |                         |                   |                   |
|--------------------|-------------------------|-------------------|-------------------|
| <b>BALANCE DUE</b> | <b>(LOCAL CURRENCY)</b> | <b>\$ 297,632</b> | <b>\$ 297,632</b> |
|--------------------|-------------------------|-------------------|-------------------|

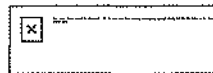
COMMENTS:  
 Projected delivery on \_\_\_/\_\_\_/\_\_\_ provided the order is received before \_\_\_/\_\_\_/\_\_\_.

APPROVAL:  
 Please indicate your acceptance of this quotation by signing below:

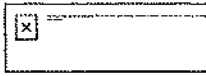
Customer: X \_\_\_\_\_ Date: \_\_\_/\_\_\_/\_\_\_.



See your local dealer for a competitive quote from Daimler Truck Financial, or contact us at [Information@dtfoffers.com](mailto:Information@dtfoffers.com).  
 Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at [www.daimler-truckfinancial.com](http://www.daimler-truckfinancial.com).



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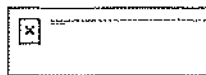


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CENTER, LLC  
411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

## SPECIFICATION PROPOSAL

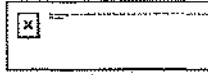
| Description                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                          |
|----------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <b>Part Number</b>         | WST 47X/49X PRL-26X (EFF:07/26/21)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |
| <b>Data Version</b>        | SPECPRO21 DATA RELEASE VER 021                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |
| <b>Vehicle Description</b> | WESTERN STAR 47X<br>2023 MODEL YEAR SPECIFIED<br>SET FORWARD AXLE - TRUCK<br>TRAILER TOWING PROVISION AT END OF<br>FRAME WITH SAE J560<br>LH PRIMARY STEERING LOCATION                                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <b>Contract Service</b>    | TRUCK/TRAILER CONFIGURATION<br>DOMICILED, USA 50 STATES (INCLUDING<br>CALIFORNIA AND CARB OPT-IN STATES)<br>CONSTRUCTION SERVICE<br>GOVERNMENT BUSINESS SEGMENT<br>DIRT/SAND/ROCK COMMODITY<br>TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN<br>TRANSIT, IS SPENT ON PAVED ROADS<br>MAXIMUM 8% EXPECTED GRADE<br>ROUGH, MAINTAINED, CONCRETE OR ASPHALT<br>PAVEMENT - MOST SEVERE IN-TRANSIT<br>(BETWEEN SITES) ROAD SURFACE<br>WESTERN STAR VOCATIONAL WARRANTY<br>EXPECTED FRONT AXLE(S) LOAD : 20000.0 lbs<br>EXPECTED REAR DRIVE AXLE(S) LOAD :<br>46000.0 lbs<br>EXPECTED GROSS VEHICLE WEIGHT CAPACITY<br>: 66000.0 lbs |

Application Version 11.6.604  
Data Version PRL-26X.021  
Canton 47X



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Phone: 508-753-1200

**Description**

EXPECTED GROSS COMBINATION WEIGHT :  
80000.0 lbs



FRONT PLOWEND DUMP BODY  
3-V DISTRIBUTING INC



FLATBED TRAILER  
SINGLE (1) TRAILER



CUM X12 475V HP @ 1900 RPM, 1700 LB-FT @  
1000 RPM, 2000 GOV RPM, VOC

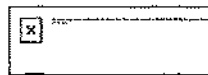


75 MPH ROAD SPEED LIMIT  
PTO RPM WITH CRUISE SET SWITCH - 700 RPM  
PTO MINIMUM RPM - 700  
PTO 1, DASH SWITCH, STATIONARY  
OPERATION



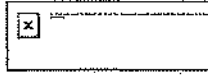
2016 ONBOARD DIAGNOSTICS/2010  
EPA/CARB/GHG21 CONFIGURATION  
2008 CARB EMISSION CERTIFICATION - CLEAN  
IDLE (INCLUDES 6X4 INCH LABEL ON LOWER  
FORWARD CORNER OF DRIVER DOOR)  
STANDARD OIL PAN  
OIL FILL AND DIPSTICK LOCATED FOR  
ENHANCED SERVICEABILITY  
SIDE OF HOOD AIR INTAKE WITH ENGINE  
MOUNTED AIR CLEANER, WITH  
INSIDE/OUTSIDE AIR AND SNOW DOOR  
DR 12V 160 AMP 28-SI QUADRAMOUNT PAD  
ALTERNATOR WITH REMOTE BATTERY VOLT  
SENSE  
(3) DTNA GENUINE, HIGH TEMP AGM STARTING  
AND CYCLING, MIN 2775CCA, 570RC,  
THREADED STUD BATTERIES  
PASSENGER SEAT BATTERY BOX VENTED TO  
OUTSIDE OF CAB  
BATTERY BOX MOUNTED UNDER PASSENGER  
SEAT  
WIRE GROUND RETURN FOR BATTERY CABLES  
WITH ADDITIONAL FRAME GROUND RETURN

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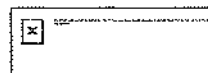


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411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

Description

PLASTIC BATTERY BOX COVER  
POSITIVE LOAD DISCONNECT WITH CAB  
MOUNTED CONTROL SWITCH MOUNTED  
OUTBOARD DRIVER SEAT  
POSITIVE AND NEGATIVE POSTS FOR  
JUMPSTART LOCATED ON FRAME NEXT TO  
STARTER  
CUMMINS NATURALLY ASPIRATED 26.9 CFM  
AIR COMPRESSOR WITH INTERNAL SAFETY  
VALVE  
ELECTRONIC ENGINE INTEGRAL SHUTDOWN  
PROTECTION SYSTEM  
CUMMINS INTEBRAKE BRAKE WITH HIGH MED  
LOW BRAKE  
RH OUTBOARD UNDER STEP MOUNTED  
HORIZONTAL AFTERTREATMENT SYSTEM  
ASSEMBLY WITH RH B-PILLAR MOUNTED  
VERTICAL TAILPIPE  
ENGINE AFTERTREATMENT DEVICE,  
AUTOMATIC OVER THE ROAD ACTIVE  
REGENERATION AND VIRTUAL REGENERATION  
REQUEST SWITCH IN CLUSTER AND DASH  
MOUNTED INHIBIT SWITCH  
11 FOOT 00 INCH (132 INCH+0/-5.9 INCH)  
EXHAUST SYSTEM HEIGHT  
STANDARD CURVE BRIGHT UPPER STACK(S)  
AND ELBOW(S)  
RH CURVED VERTICAL TAILPIPE B-PILLAR  
MOUNTED ROUTED FROM STEP  
13 GALLON DIESEL EXHAUST FLUID TANK  
POLISHED ALUMINUM DIAMOND PLATE WST  
DIESEL EXHAUST FLUID TANK COVER  
LH HEAVY DUTY STANDARD DIESEL EXHAUST  
FLUID TANK LOCATION  
STANDARD DIESEL EXHAUST FLUID TANK CAP  
PERFORATED SINGLE STAINLESS STEEL  
MUFFLER/TAILPIPE SHIELD WITH WESTERN  
STAR LOGO  
AIR POWERED ON/OFF ENGINE FAN CLUTCH  
AUTOMATIC FAN CONTROL WITHOUT DASH  
SWITCH, NON ENGINE MOUNTED  
DETROIT FUEL/WATER SEPARATOR WITH  
WATER IN FUEL SENSOR  
CUMMINS SPIN ON FUEL FILTER  
FULL FLOW OIL FILTER

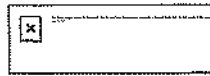
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10/26/2021 12:45 PM

Page 5 of 17

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 ATG TRI STATE TRUCK  
 CENTER, LLC  
 411 HARTFORD TURNPIKE  
 SHREWSBURY, MA 01545  
 Phone: 508-753-1200

**Description**

1400 SQUARE INCH VOCATIONAL RADIATOR  
 ANTIFREEZE TO -34F, OAT (NITRITE AND  
 SILICATE FREE) EXTENDED LIFE COOLANT  
 GATES BLUE STRIPE COOLANT HOSES OR  
 EQUIVALENT  
 RADIATOR DRAIN VALVE  
 LOWER RADIATOR GUARD  
 PHILLIPS-TEMRO 750 WATT/115 VOLT BLOCK  
 HEATER  
 CHROME ENGINE HEATER RECEPTACLE  
 MOUNTED UNDER LH DOOR  
 DELCO 12V 39MT HD/OCP STARTER WITH  
 THERMAL PROTECTION AND INTEGRATED  
 MAGNETIC SWITCH

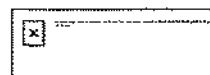
**Transmission**

ALLISON 4500 RDS AUTOMATIC TRANSMISSION  
 WITH PTO PROVISION

**Transmission Equipment**

ALLISON VOCATIONAL PACKAGE 223 -  
 AVAILABLE ON 3000/4000 PRODUCT FAMILIES  
 WITH VOCATIONAL MODELS RDS, HS, MH AND  
 TRV  
 ALLISON VOCATIONAL RATING FOR ON/OFF  
 HIGHWAY APPLICATIONS AVAILABLE WITH ALL  
 PRODUCT FAMILIES  
 PRIMARY MODE GEARS, LOWEST GEAR 1,  
 START GEAR 1, HIGHEST GEAR 6, AVAILABLE  
 FOR 3000/4000 PRODUCT FAMILIES ONLY  
 SECONDARY MODE GEARS, LOWEST GEAR 1,  
 START GEAR 1, HIGHEST GEAR 3, AVAILABLE  
 FOR 3000/4000 PRODUCT FAMILIES ONLY  
 S5 PERFORMANCE LIMITING PRIMARY SHIFT  
 SCHEDULE, AVAILABLE FOR 3000/4000  
 PRODUCT FAMILIES ONLY  
 S5 PERFORMANCE LIMITING SECONDARY  
 SHIFT SCHEDULE, AVAILABLE FOR 3000/4000  
 PRODUCT FAMILIES ONLY  
 1800 RPM PRIMARY MODE SHIFT SPEED  
 1800 RPM SECONDARY MODE SHIFT SPEED  
 NO TCU - AMT SHIFT CALIBRATION  
 QUICKFIT BODY LIGHTING CONNECTOR UNDER  
 CAB, WITH CAP  
 CUSTOMER INSTALLED CHELSEA 280 SERIES  
 PTO

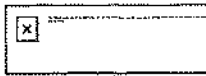
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Canton, MA 2021  
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Prepared by:  
Richard Coutu  
ATG TRI STATE TRUCK  
CENTER, LLC  
411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

**Description**

PTO MOUNTING, LH SIDE OF MAIN  
TRANSMISSION  
MAGNETIC PLUGS, ENGINE DRAIN,  
TRANSMISSION DRAIN, AXLE(S) FILL AND  
DRAIN  
PUSH BUTTON ELECTRONIC SHIFT CONTROL,  
DASH MOUNTED  
WATER TO OIL TRANSMISSION COOLER  
TRANSMISSION OIL CHECK AND FILL WITH  
ELECTRONIC OIL LEVEL CHECK  
SYNTHETIC TRANSMISSION FLUID (TES-295  
COMPLIANT)

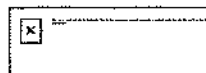
**Front Axle and Equipment**

DETROIT DA-F-20.0-5 20,000# FL1 71.0 KPI/3.74  
DROP SINGLE FRONT AXLE  
CONMET PRESET PLUS PREMIUM ALUMINUM  
FRONT HUBS  
MERITOR 16.5X6 Q+ CAST SPIDER CAM FRONT  
BRAKES, DOUBLE ANCHOR, FABRICATED  
SHOES  
NON-ASBESTOS FRONT BRAKE LINING  
CONMET CAST IRON FRONT BRAKE DRUMS  
FRONT BRAKE DUST SHIELDS  
FRONT OIL SEALS  
VENTED FRONT HUB CAPS WITH WINDOW,  
CENTER AND SIDE PLUGS - OIL  
HALDEX AUTOMATIC FRONT SLACK  
ADJUSTERS WITH STAINLESS STEEL CLEVIS  
PINS  
DUAL POWER STEERING GEARS, BENDIX 16-  
20K  
4 QUART POWER STEERING RESERVOIR  
OIL/AIR POWER STEERING COOLER  
CURRENT AVAILABLE SYNTHETIC 75W-90  
FRONT AXLE LUBE

**Front Suspension**

20,000# FLAT LEAF FRONT SUSPENSION  
THREADED SPRING PINS AND BUSHINGS -  
FRONT SUSPENSION  
FRONT SHOCK ABSORBERS

**Rear Axle and Equipment**



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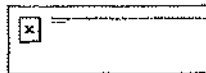
**Description**

RT-46-160 46,000# R-SERIES TANDEM REAR AXLE  
 CONMET PRESET PLUS PREMIUM ALUMINUM REAR HUBS  
 4.10 REAR AXLE RATIO  
 IRON REAR AXLE CARRIER WITH STANDARD AXLE HOUSING  
 SPL250 HT XL DANA SPICER MAIN DRIVELINE  
 SPL170 XL DANA SPICER INTERAXLE DRIVELINE WITH HALF ROUND YOKES  
 SPL250HD XL DANA SPICER INTERTRANSMISSION DRIVELINE WITH HALF ROUND YOKES  
 DRIVER CONTROLLED TRACTION DIFFERENTIAL - BOTH TANDEM REAR AXLES  
 (1) INTERAXLE LOCK VALVE, (1) DRIVER CONTROLLED DIFFERENTIAL LOCK FORWARD-REAR AND REAR-REAR AXLE VALVE  
 INDICATOR LIGHT FOR EACH INTERAXLE LOCKOUT SWITCH ENGAGE <30MPH, DISENGAGE>50MPH  
 INDICATOR LIGHT AND BUZZER FOR EACH DIFFERENTIAL LOCKOUT SWITCH  
 MERITOR 16.5X7 Q+ CAST SPIDER CAM REAR BRAKES, DOUBLE ANCHOR, FABRICATED SHOES  
 NON-ASBESTOS REAR BRAKE LINING  
 BRAKE CAMS AND CHAMBERS ON FORWARD SIDE OF DRIVE AXLE(S)  
 CONMET CAST IRON REAR BRAKE DRUMS  
 REAR BRAKE DUST SHIELDS  
 REAR OIL SEALS  
 BENDIX EVERSURE LONGSTROKE 2-DRIVE AXLES SPRING PARKING CHAMBERS  
 HALDEX AUTOMATIC REAR SLACK ADJUSTERS WITH STAINLESS STEEL CLEVIS PINS  
 CURRENT AVAILABLE SYNTHETIC 75W-90 REAR AXLE LUBE  
 STANDARD REAR AXLE BREATHER(S)

**Rear Suspension**

TUFTRAC GEN2 46,000# REAR SPRING SUSPENSION  
 9.5 INCH NOMINAL RIDE HEIGHT (460MM GLOBAL REFERENCE HEIGHT)

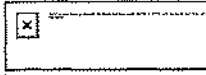
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**Description**

AXLE CLAMPING GROUP  
55 INCH AXLE SPACING  
NO REAR AIR SUSPENSION VALVE  
WIRING/LOGIC  
NO REAR CHASSIS SUSPENSION AIR PIPING  
FORE/AFT AND TRANSVERSE CONTROL RODS  
REAR SHOCK ABSORBERS - TWO AXLES  
(TANDEM)

**Brake System**

WABCO 6S/6M ABS WITH TRACTION CONTROL  
WITH ATC SHUT OFF SWITCH  
REINFORCED NYLON, FABRIC BRAID AND WIRE  
BRAID CHASSIS AIR LINES  
RELAY VALVE WITH 5-8 PSI CRACK PRESSURE,  
NO REAR PROPORTIONING VALVE  
BW AD-9SI BRAKE LINE AIR DRYER WITH  
HEATER  
AIR DRYER FRAME MOUNTED  
STEEL AIR BRAKE RESERVOIRS MOUNTED  
INSIDE RAIL  
PULL CABLES ON ALL AIR RESERVOIR(S)  
CAB BLOW OUT KIT WITH AIR HOSE AND  
NOZZLE INSIDE LH CAB ENTRY DOOR

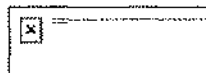
**Trailer Connections**

AIR CONNECTIONS TO END OF FRAME WITH  
GLAD HANDS FOR TRUCK AND NO DUST  
COVERS  
PRIMARY CONNECTOR/RECEPTACLE WIRED  
FOR SEPARATE STOP/TURN, ABS CENTER PIN  
POWERED THROUGH IGNITION  
SAE J660 7-WAY PRIMARY TRAILER CABLE  
RECEPTACLE MOUNTED END OF FRAME

**Wheelbase/Frame**

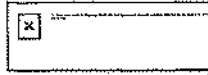
5040MM (198 INCH) WHEELBASE, SFA ONLY  
13.0MM X 87.0MM X 311.0MM STEEL FRAME  
(0.51X3.43X12.24 INCH) 120 KSI  
1475MM (58 INCH) REAR FRAME OVERHANG  
FRAME OVERHANG RANGE: 51 INCH TO 60  
INCH  
24 INCH INTEGRAL FRONT FRAME EXTENSION  
CALC'D BACK OF CAB TO REAR SUSP C/L (CA) :  
116.93 in

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**Description**

CALC'D FRAME LENGTH - OVERALL : 309.12 in  
 FRAME HEIGHT TOP FRONT UNLADEN : 44.56 in  
 FRAME HEIGHT TOP FRONT LADEN : 40.7 in  
 FRAME HEIGHT TOP REAR UNLADEN : 43.44 in  
 FRAME HEIGHT TOP REAR LADEN : 41.08 in  
 SQUARE END OF FRAME  
 STANDARD WEIGHT ENGINE CROSSMEMBER  
 STANDARD CROSSMEMBER BACK OF  
 TRANSMISSION  
 STANDARD CAST ALUMINUM MIDSHIP  
 STANDARD CAST ALUMINUM REARMOST  
 CROSSMEMBER  
 STANDARD SUSPENSION CROSSMEMBER  
 CAST ALUMINUM REAR SUSPENSION  
 CROSSMEMBER

**Chassis Equipment**

POLISHED ALUMINUM DIAMOND PLATE WST  
 EQUIPMENT COVERS  
 PAINTED STEEL 3/16 INCH (7GA) VOCATIONAL  
 BUMPER  
 NO FRONT TOW HOOKS  
 BUMPER MOUNTING FOR SINGLE LICENSE  
 PLATE  
 CLASS 10.9 THREADED METRIC FASTENERS;  
 REAR SUSPENSION HANGER TO BE HUCK-SPIN  
 EXTERIOR HARNESSES WRAPPED IN  
 ABRASION TAPE  
 NO TOOL/STORAGE BOX #1 MOUNTING  
 LOCATION  
 NO TOOL/STORAGE BOX #2 MOUNTING  
 LOCATION  
 NO TIRE PRESSURE CONTROL/SENSOR  
 CHASSIS,MISC CUSTOM REQUIREMENTS-NONE  
 NO ADDITIONAL LH MID-CHASSIS ROUTING &  
 CLIPPING BRACKETS  
 NO ADDITIONAL RH MID-CHAS ROUTING &  
 CLIPPING BRACKETS

**Fifth Wheel**

NO FIFTH WHEEL RAMP

**Fuel Tank**

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**Description**

80 GALLON/302 LITER ALUMINUM FUEL TANK - LH  
 25 INCH DIAMETER FUEL TANK(S)  
 POLISHING OF FUEL/HYDRAULIC TANK(S) WITH POLISHED STAINLESS STEEL BANDS  
 FUEL TANK(S) FORWARD  
 POLISHED STEP FINISH  
 CHROME FUEL TANK CAP(S)  
 EQUIFLO INBOARD FUEL SYSTEM  
 HIGH TEMPERATURE REINFORCED NYLON FUEL LINE

**Tires**

MICHELIN XZU-S2 315/80R22.5 20 PLY RADIAL FRONT TIRES  
 MICHELIN X WORKS D 11R22.5 16 PLY RADIAL REAR TIRES

**WHEELS**

ALCOA ULTRA ONE 89U63X 22.5X9.00 10-HUB PILOT 3.12 INSET 10-HD ALUMINUM FRONT WHEELS  
 ALCOA LVL ONE 88565X 22.5X8.25 10-HUB PILOT HD 10-HAND ALUMINUM DISC REAR WHEELS  
 POLISHED DISC SIDE FRONT WHEELS WITH DURA-BRIGHT FINISH  
 POLISHED OUTER (DISHED SIDE) REAR WHEELS WITH OUTER ONLY DURA-BRIGHT FINISH  
 NO SPARE WHEEL  
 NO ADDITIONAL SPARE WHEEL  
 NO POLISHED, BRIGHT STANDARD POLISH, BRUSHED OR BRIGHT LVL ONE SPARE WHEEL  
 FRONT WHEEL MOUNTING NUTS  
 REAR WHEEL MOUNTING NUTS  
 NO PUSHER/TAG WHEEL MOUNTING NUTS

**Cab Exterior**

111 INCH BBC CONVENTIONAL ALUMINUM CAB  
 STAINLESS STEEL CAB ACCENT MOLDING  
 NO BAGGAGE DOOR  
 NO SLEEPER DOOR  
 FRONT FENDERS

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Description

BOLT-ON MOLDED FLEXIBLE FENDER  
EXTENSIONS  
INTERIOR GRAB HANDLES WITH ADDED  
LOWER LH AND RH A PILLAR GRAB HANDLES  
AND LH AND RH EXTERIOR NON-SLIP GRAB  
HANDLES  
BRIGHT HOOD MOUNTED AIR INTAKE GRILLE,  
BLACK SCREEN, WITH LED ACCENT LIGHTS  
X-SERIES STEEL REINFORCED ALUMINUM CAB  
X-SERIES VOCATIONAL HOOD WITH ACCESS  
HATCH  
HOOD OPENING ASSIST WITH LOCKING STRUT  
WESTERN STAR NAMEPLATES  
DUAL HADLEY SD-978 26 INCH RECTANGULAR  
AIR HORNS  
SINGLE ELECTRIC HORN  
DOOR LOCKS AND IGNITION SWITCH KEYED  
THE SAME  
KEY QUANTITY OF 4  
REAR LICENSE PLATE MOUNT END OF FRAME  
SWITCH, INDICATOR LIGHT AND WIRING FOR  
(1) CUSTOMER FURNISHED BEACON  
DUAL STAGE INTELLIGENT LED HEADLIGHTS  
WITH HEATED LENS SYSTEM  
VISOR MOUNTED LED MARKER LIGHTS  
DAYTIME RUNNING LIGHTS  
INTEGRAL LED STOP/TAIL/BACKUP LIGHTS  
LED REAR FACING TURN SIGNAL LAMPS IN  
CONVEX MIRROR LENS IN ADDITION TO  
STANDARD  
NO LOAD LOCK CARRIERS  
C-BAR MIRROR SYSTEM WITH DUAL HEATED  
MIRRORS WITH INTEGRAL CONVEX, DUAL  
REMOTE, TURN SIGNAL, STAINLESS STEEL  
BACK COVER, AND BRIGHT C-BAR  
102 INCH EQUIPMENT WIDTH  
LH AND RH CONVEX MIRRORS INTEGRAL WITH  
PRIMARY MIRRORS  
RH DOWN VIEW MIRROR  
STANDARD SIDE/REAR REFLECTORS  
REMOTE KEYLESS ENTRY AND 2  
TRANSMITTERS

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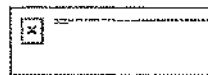
Prepared by:  
Richard Coufu  
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**Description**

POLISHED ALUMINUM DIAMOND PLATE WST  
AFTERTREATMENT SYSTEM COVER  
NO SLEEPER VENT  
STAINLESS STEEL EXTERIOR SUN VISOR WITH  
INTEGRAL MARKER LIGHTS  
HIGH VISIBILITY 3-PIECE SOLAR TINTED REAR  
WINDOW, (1) 31 INCH X 20 INCH SOLAR TINTED  
REAR WINDOW, (2) 9 INCH X 20 INCH  
NO SIDE SLEEPER CAP WINDOWS  
1-PIECE ROPED-IN SOLAR GREEN GLASS  
WINDSHIELD  
8 LITER (2 GAL) WINDSHIELD WASHER  
RESERVOIR, CAB MOUNTED, WITH FLUID  
LEVEL INDICATOR

**Equipment**

X-SERIES PREMIUM INTERIOR TRIM LEVEL  
PACKAGE  
CHARCOAL BLACK VINYL UP LEVEL INTERIOR  
CARBON WITH PREMIUM TEAK ACCENT  
BLACK MATS WITH ADDED FLOOR HEAT AND  
NOISE INSULATION  
(2) DASH MOUNTED POWER OUTLETS AND  
COIN TRAY  
FORWARD ROOF MOUNTED CONSOLE  
NO AUX ELECTRICAL VAULT CLEAR SPACE  
REQUEST  
LH AND RH DOOR STORAGE POCKETS  
INTEGRATED INTO MOLDED DOOR PANELS  
(2) COAT HOOKS ON BACKWALL OF CAB  
DIGITAL ALARM CLOCK IN DRIVER DISPLAY  
NO CUP/THERMOS HOLDER  
5 LB. FIRE EXTINGUISHER MOUNTED INBOARD  
OF DRIVER SEAT  
STANDARD HEATER PLUMBING WITH BALL  
SHUTOFF VALVES AT SUPPLY LINES ONLY  
RADIATOR MOUNTED AIR CONDITIONER  
CONDENSER  
PREMIUM INSULATION  
NO BAGGAGE COMPARTMENT LIGHT  
PREMIUM LED CAB LIGHTING  
NO SLEEPER INTERIOR LAMP



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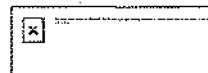
**Description**

LH AND RH ELECTRIC DOOR LOCKS WITH  
AUTO UNLOCK FEATURE WHEN DOOR IS SET  
FROM OPEN TO CLOSED POSITION  
BRIGHT DOOR HANDLES  
NO AC 120V CAB WIRING AND AC OUTLET  
TRIANGULAR REFLECTORS WITHOUT FLARES  
PREMIUM 2.0 HIGH BACK AIR SUSPENSION  
DRIVER SEAT WITH 2 AIR LUMBAR,  
INTEGRATED CUSHION EXTENSION, TILT AND  
ADJUSTABLE SHOCK  
BATTERY BOX MID BACK NON SUSPENSION  
PASSENGER SEAT  
BLACK SUSPENSION COVER FOR AIR DRIVER  
SEAT  
DUAL DRIVER SEAT ARMRESTS, NO  
PASSENGER SEAT ARMRESTS  
BLACK LAREDO LEATHER DRIVER SEAT COVER  
WITH DIAMOND STITCHED CENTER PANELS  
AND EMBROIDERED LOGO  
BLACK LAREDO LEATHER PASSENGER SEAT  
COVER WITH NO STITCH PATTERN AND NO  
LOGO  
3 POINT ADJUSTABLE D-RING RETRACTOR  
DRIVER AND FIXED D-RING RETRACTOR  
PASSENGER SEAT BELTS  
NO SUPPLEMENTAL RESTRAINT SYSTEM  
4-SPOKE 18 INCH (450MM) LEATHER WRAPPED  
STEERING WHEEL WITH CHROME SWITCH  
BEZELS  
DRIVER AND PASSENGER INTERIOR SUN  
VISORS

**INSTRUMENTS & CONTROLS**

STANDARD FOOT PEDAL SYSTEM  
ELECTRONIC ACCELERATOR CONTROL  
BRIGHT ARGENT FINISH GAUGE BEZELS  
STANDARD CENTER INSTRUMENT PANEL  
DUAL NEEDLE PRIMARY AND SECONDARY AIR  
PRESSURE GAUGE  
DASH MOUNTED AIR RESTRICTION INDICATOR  
WITH GRADUATIONS  
97 DB BACKUP ALARM  
ELECTRONIC CRUISE CONTROL WITH  
CONTROLS ON STEERING WHEEL SPOKES

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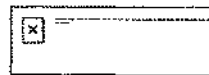


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**Description**

KEY OPERATED IGNITION SWITCH AND INTEGRAL START POSITION; 4 POSITION OFF/RUN/START/ACCESSORY  
 NO MULTIMEDIA BOX  
 PREMIUM INSTRUMENT CLUSTER WITH 5.0 INCH TFT COLOR DISPLAY  
 DIGITAL PANEL LAMP DIMMER SWITCH IN DRIVER DISPLAY  
 HEAVY DUTY ONBOARD DIAGNOSTICS INTERFACE CONNECTOR WITH DUST CAP LOCATED BELOW LH DASH  
 2 INCH ELECTRIC FUEL GAUGE  
 ELECTRICAL ENGINE COOLANT TEMPERATURE GAUGE  
 ENGINE OIL TEMPERATURE GAUGE  
 ELECTRIC ENGINE OIL PRESSURE GAUGE  
 2 INCH TRANSMISSION OIL TEMPERATURE GAUGE  
 ELECTRONIC OUTSIDE TEMPERATURE SENSOR DISPLAY IN DRIVER MESSAGE CENTER  
 ENGINE, TRIP AND PTO HOUR METERS INTEGRAL WITHIN DRIVER DISPLAY  
 PTO CONTROLS FOR ENHANCED VEHICLE ELECTRIC/ELECTRONIC ARCHITECTURE  
 NO OBSTACLE DETECTION SYSTEM  
 ELECTRONIC STABILITY CONTROL  
 NO LANE DEPARTURE WARNING SYSTEM  
 TMC RP1226 ACCESSORY CONNECTOR LOCATED BEHIND PASSENGER SIDE REMOVEABLE DASH PANEL  
 AM/FM/WB WORLD TUNER RADIO WITH SIRIUSXM, BLUETOOTH, IPOD INTERFACE, USB AND AUXILIARY INPUTS, J1939  
 DASH MOUNTED RADIO  
 STANDARD SPEAKER SYSTEM  
 NO AM/FM RADIO ANTENNA  
 POWER AND GROUND WIRING PROVISION OVERHEAD  
 ROOF/OVERHEAD CONSOLE CB RADIO PROVISION  
 SINGLE REMOTE SPEAKER WITH LEAD FOR 2-WAY RADIO  
 NO CB ANTENNA, BRACKET OR LEAD

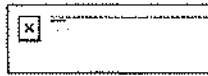
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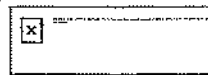
HEADLINER MULTI-BAND ANTENNA:  
 AM/FM/WEATHERBAND, WIFI/BLUETOOTH,  
 GNSS/GPS  
 INTEROPERABLE SDAR ANTENNA  
 NO RADIO-MTG,UHF/VHF  
 NO ANTENNA-RADIO,UHF/VHF  
 NO TELEVISION ANTENNA/PROVISION  
 ELECTRONIC MPH SPEEDOMETER WITH  
 SECONDARY KPH SCALE, WITHOUT  
 ODOMETER  
 ELECTRONIC 2500 RPM TACHOMETER  
 DETROIT CONNECT PLATFORM HARDWARE  
 NO PREMIUM REMOTE UPDATES SERVICE  
 IGNITION SWITCH CONTROLLED ENGINE STOP  
 NO HARDWIRE SWITCH #1  
 NO HARDWIRE SWITCH #2  
 NO HARDWIRE SWITCH #3  
 NO HARDWIRE SWITCH #4  
 PRE-TRIP INSPECTION FEATURE FOR  
 EXTERIOR LAMPS ONLY  
 BW TRACTOR PROTECTION VALVE  
 TRAILER HAND CONTROL BRAKE VALVE  
 2 INCH TURBO AIR PRESSURE GAUGE  
 DIGITAL VOLTAGE DISPLAY INTEGRAL WITH  
 DRIVER DISPLAY  
 ROTARY HEADLAMP SWITCH, MARKER  
 LIGHTS/HEADLIGHTS SWITCH WITH PULL OUT  
 FOR OPTIONAL FOG/ROAD LAMPS  
 TWO VALVE PARKING BRAKE SYSTEM WITH  
 WARNING INDICATOR  
 SELF CANCELING TURN SIGNAL SWITCH WITH  
 DIMMER, HEADLAMP FLASH,  
 WASH/WIPE/INTERMITTENT  
 NO SW RCPTS & WRG, ALTN CSL LOC  
 QUICKFIT PROGRAMMABLE INTERFACE  
 CONNECTOR(S) BETWEEN SEATS WITH CAP

**Design**

PAINT: ONE SOLID COLOR

**Color**

CAB COLOR A: L0105EY GREEN ELITE EY



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**Description**

BLACK, HIGH SOLIDS POLYURETHANE CHASSIS  
 PAINT

**Certification / Compliance**

U.S. FMVSS CERTIFICATION, EXCEPT SALES  
 CABS AND GLIDER KITS

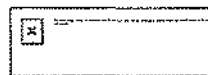
**Extended Warranty**

CUMMINS ENGINE CARB22: X12 HD1 5 YEARS / 100,000 MILES /  
 161,000 KM EXTENDED WARRANTY. FEX APPLIES.  
 ALLISON 4500 RDS SERIES TRANSMISSION EXTENDED  
 WARRANTY, 5 YEARS/UNLIMITED MILES FEX  
 TOWING: 5 YEARS/UNLIMITED MILES/KM EXTENDED TOWING  
 COVERAGE \$550 CAP FEX APPLIES

**Dealer Installed Options**

|                                | Weight<br>Front | Weight<br>Rear |
|--------------------------------|-----------------|----------------|
| JC MADIGAN                     | 0               | 0              |
| Total Dealer Installed Options | 0 lbs           | 0 lbs          |

(\*\*\*) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.



J.C. MADIGAN INC.  
450 OLD UNION TURNPIKE  
LANCASTER, MA.

SALES DEPT.  
TEL. (978)847-2900  
FAX (978)847-0068

QUOTE: TOWN OF CANTON HWY DEPT

TO: RICH C. @ TRISTATE

FROM JOHN DWYER


ITEM#

|         |                                                                                                                                                         |             |
|---------|---------------------------------------------------------------------------------------------------------------------------------------------------------|-------------|
| 319     | PINTLE ASSEMBLY                                                                                                                                         | \$ 1100.00  |
| 409     | CENTRAL HYDRAULICS(TRANS.)                                                                                                                              | \$ 6500.00  |
| 423     | (2) XTRA TAILGATE MTD. COAL DOORS                                                                                                                       | \$ 1800.00  |
| 424     | AIR TAILGATE                                                                                                                                            | \$ 600.00   |
| ???     | STAINLESS STEEL ACCESS LADDER                                                                                                                           | \$ 1400.00  |
| 428     | AERO AUTO LOAD COVER W/ ALUM.                                                                                                                           | \$ 2600.00  |
| 448     | EVEREST QC/PT POWER TILT HITCH                                                                                                                          | \$ 9200.00  |
| 452     | EVEREST R132TEL3654SH-V PLOW                                                                                                                            | \$ 13500.00 |
| 455     | 4-WAY PLOW CONTROLS                                                                                                                                     | \$ 1000.00  |
| 464     | CANDY CANE QUIK COUPLER                                                                                                                                 | \$ 1800.00  |
| 476     | MANUAL SANDER CONTROLS                                                                                                                                  | \$ 2050.00  |
| 482     | (3) 4" SPINNER MTD LIGHT                                                                                                                                | \$ 600.00   |
| 486     | DUAL STAINLESS TANK PRE-WET                                                                                                                             | \$ 8800.00  |
| 495     | 10' HI-WAY XT-3 TYPE III W/<br>1) STEEL CONVEYOR COVER    5) FLAT FENDERS<br>2) (SS) UNDERBODY PANS<br>3) (SS) CUSTOM SIDEBARDS<br>4) REAR SPINNER ASSY | \$ 45000.00 |
| 502     | UPGRADE TO 14' BODY LENGTH                                                                                                                              | \$ 8000.00  |
| 504     | (SS) BODY UPGRADE                                                                                                                                       | \$ 30000.00 |
| 506     | CIRUS EZ-SPREAD OPEN LOOP CONTROLS                                                                                                                      | \$ 3500.00  |
| 517     | STEEL MATERIAL SCREENS                                                                                                                                  | \$ 4300.00  |
| 599x(3) | F & (2) R LED LIGHT SYSTEM                                                                                                                              | \$ 2400.00  |
|         | (NOTE!!! 120" CT, PTO PROV, FRAME EXT, PLOW LIGHT PREP, AUX SWITCHES)                                                                                   |             |

PRICE \$144,150.00

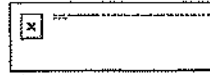
APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

PO# \_\_\_\_\_ 10/18/2020

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <div style="display: inline-block; vertical-align: middle; text-align: center;"> <p><b>TOWN OF CANTON</b><br/> <b>FORM B - FISCAL 2023</b><br/> <b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p> </div>                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <p><b>DEPARTMENT:</b><br/>Public Works</p>                                                                                                                                                                                                                                                                                                                                                                                                                                      | <p><b>SUBMITTED BY:</b><br/>Michael Trotta</p>                                                                                                                                                                                                                                                                                                                                                                                    |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>6 Wheel 5 c.y. Dump Truck</p>                                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br/>\$224,000</p>                                                                                                                                                                                                                                                                                                                                                                                          |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <p><b>DESCRIPTION:</b><br/>New or current model year Freightliner M2 106 wheel truck equipped with a stainless steel Hi-Way BiBeau Dump Body and 10 foot Plow.</p>                                                                                                                                                                                                                                                                                                              |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <p><b>PURPOSE AND JUSTIFICATION:</b><br/>This new addition to the Public Works fleet will be used to haul material to and from street and drain projects. From winter work the truck will be equipped with a 10 foot plow. The dump body will accept one of the Departments drop in sanders</p>                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety<br/> <input type="checkbox"/> Required by Law or Mandate<br/> <input checked="" type="checkbox"/> Improve/Expand Service or Increase Efficiency<br/> <input type="checkbox"/> Planned Project or Replacement<br/> <input type="checkbox"/> Unplanned Project or Replacement<br/> <input type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p> | <p><b>Departmental Priority Ranking:</b><br/> <i>Please rank this request out of your total requests for this year: (#1 as top priority)</i><br/>         _____ 7 (#) OF _____ 7 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years<br/> <input checked="" type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____<br/> <input checked="" type="checkbox"/> No Impact<br/> <input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                 | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br/> <input checked="" type="checkbox"/> Revenue Neutral (no impact)<br/> <input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                       |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p>                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                   |

FORM B - FISCAL 2023

Prepared for:  
Bill Walsh  
Canton Town Of  
801 Washington St  
  
Canton, MA 2021  
Phone: 781-821-5025



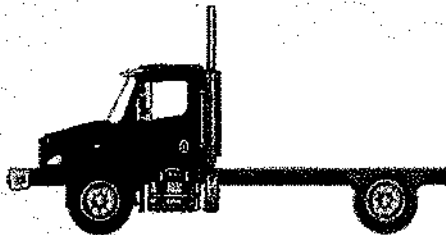
Prepared by:  
Richard Coutu  
ATG TRI STATE TRUCK  
CENTER, LLC  
411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

*A proposal for  
Canton Town Of*

*Prepared by  
ATG TRI STATE TRUCK CENTER, LLC  
Richard Coutu*

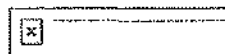
*Sep 29, 2021*

**Freightliner M2 106**



Components shown may not reflect all spec'd options and are not to scale

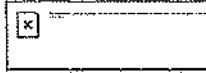
Application Version 11.6.505  
Data Version PRL-26M.017  
Canton AWD M2 106 MY2023



09/29/2021 9:52 AM

Page 1 of 17

Prepared for:  
 Bill Walsh  
 Canton Town Of  
 801 Washington St  
  
 Canton, MA 2021  
 Phone: 781-821-5025



Prepared by:  
 Richard Coutu  
 ATG TRI STATE TRUCK  
 CENTER, LLC  
 411 HARTFORD TURNPIKE  
 SHREWSBURY, MA 01545  
 Phone: 508-753-1200

**QUOTATION**

**Vehicle Description**

|                                                                                                                                                                                                                                                                                                                                                       |                                                                                                                                                                                                                                                                                                                                   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| SET BACK AXLE - TRUCK<br>CUM B6.7 325 HP @ 2400 RPM, 2600 GOV, 750 LB-FT @ 1800 RPM<br>ALLISON 3500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION<br>RS-23-160 23,000# R-SERIES SINGLE REAR AXLE<br>26,000# FLAT LEAF SPRING REAR SUSPENSION WITH HELPER AND RADIUS ROD<br>MX-10-120HR-EVO 10,000# 1790MM KPI SINGLE FRONT DRIVE AXLE WITH HR CARRIER | 12,000# DUAL TAPERLEAF FRONT SUSPENSION<br>106 INCH BBC FLAT ROOF ALUMINUM CONVENTIONAL CAB<br>4100MM (161 INCH) WHEELBASE<br>11/32X3-1/2X10-15/16 INCH STEEL FRAME (8.73MMX277.8MM/0.344X10.94 INCH) 120KSI<br>1600MM (63 INCH) REAR FRAME OVERHANG<br>BODY COMPANY INSTALLED ADDITIONAL FRONT FRAME REINFORCEMENT FOR SNOW PLOW |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

|                                  |                      | PER UNIT          |           | TOTAL          |
|----------------------------------|----------------------|-------------------|-----------|----------------|
| VEHICLE PRICE                    | TOTAL # OF UNITS (1) | \$ 116,783        | \$        | 116,783        |
| EXTENDED WARRANTY                |                      | \$ 2,145          | \$        | 2,145          |
| DEALER INSTALLED OPTIONS         |                      | \$ 104,150        | \$        | 104,150        |
| <b>CUSTOMER PRICE BEFORE TAX</b> |                      | <b>\$ 223,078</b> | <b>\$</b> | <b>223,078</b> |

**Taxes and Fees**

|                |    |   |    |   |
|----------------|----|---|----|---|
| TAXES AND FEES | \$ | 0 | \$ | 0 |
| OTHER CHARGES  | \$ | 0 | \$ | 0 |

**Trade-In**

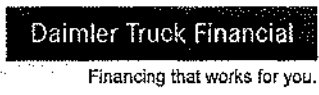
|                    |    |     |    |     |
|--------------------|----|-----|----|-----|
| TRADE-IN ALLOWANCE | \$ | (0) | \$ | (0) |
|--------------------|----|-----|----|-----|

|             |  |                     |         |            |
|-------------|--|---------------------|---------|------------|
| BALANCE DUE |  | (LOCAL CURRENCY) \$ | 223,078 | \$ 223,078 |
|-------------|--|---------------------|---------|------------|

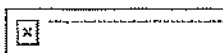
COMMENTS:  
 Projected delivery on \_\_\_ / \_\_\_ / \_\_\_ provided the order is received before \_\_\_ / \_\_\_ / \_\_\_

APPROVAL:  
 Please indicate your acceptance of this quotation by signing below:

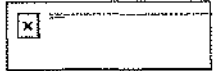
Customer: X \_\_\_\_\_ Date: \_\_\_ / \_\_\_ / \_\_\_



See your local dealer for a competitive quote from Daimler Truck Financial, or contact us at [Information@dtffoffers.com](mailto:Information@dtffoffers.com).  
 Daimler Truck Financial offers a variety of finance, lease and insurance solutions to fit your business needs. For more information about our products and services, visit our website at [www.daimler-truckfinancial.com](http://www.daimler-truckfinancial.com).



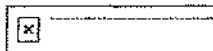
Prepared for:  
 Bill Walsh  
 Canton Town Of  
 801 Washington St  
  
 Canton, MA 2021  
 Phone: 781-821-5025



Prepared by:  
 Richard Coult  
 ATG TRI STATE TRUCK  
 CENTER, LLC  
 411 HARTFORD TURNPIKE  
 SHREWSBURY, MA 01545  
 Phone: 508-753-1200

## S P E C I F I C A T I O N   P R O P O S A L

| Description                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b>Part Number</b></p> <p>M2 PRL-26M (EFF:7/26/21)</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      |
| <p><b>Data Version</b></p> <p>SPECPRO21 DATA RELEASE VER 017</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <p><b>Vehicle Configuration</b></p> <p>M2 106 CONVENTIONAL CHASSIS<br/>                 2023 MODEL YEAR SPECIFIED<br/>                 SET BACK AXLE - TRUCK<br/>                 STRAIGHT TRUCK PROVISION<br/>                 LH PRIMARY STEERING LOCATION</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |
| <p><b>General Service</b></p> <p>TRUCK CONFIGURATION<br/>                 DOMICILED, USA 50 STATES (INCLUDING CALIFORNIA AND CARB OPT-IN STATES)<br/>                 CONSTRUCTION SERVICE<br/>                 GOVERNMENT BUSINESS SEGMENT<br/>                 DIRT/SAND/ROCK COMMODITY<br/>                 TERRAIN/DUTY: 100% (ALL) OF THE TIME, IN TRANSIT, IS SPENT ON PAVED ROADS<br/>                 MAXIMUM 6% EXPECTED GRADE<br/>                 ROUGH, MAINTAINED, CONCRETE OR ASPHALT PAVEMENT - MOST SEVERE IN-TRANSIT (BETWEEN SITES) ROAD SURFACE<br/>                 MEDIUM TRUCK WARRANTY<br/>                 EXPECTED FRONT AXLE(S) LOAD : 10000.0 lbs<br/>                 EXPECTED REAR DRIVE AXLE(S) LOAD : 20280.0 lbs<br/>                 EXPECTED GROSS VEHICLE WEIGHT CAPACITY : 30280.0 lbs</p> |
| <p><b>Trailer Option</b></p> <p>FRONT PLOW/END DUMP BODY</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |





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Canton Town Of  
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SHREWSBURY, MA 01645  
Phone: 508-753-1200

**Description**

EXPECTED TRUCK BODY LENGTH : 14.0 ft  
EXPECTED TRUCK BODY WIDTH : 96.0 in  
MUNICIPAL EQUIPMENT  
EXPECTED BODY/PAYLOAD CG HEIGHT ABOVE  
FRAME "XX" INCHES : 32.0 in

**Engine**

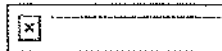
CUM B6.7 325 HP @ 2400 RPM, 2600 GOV, 750  
LB-FT @ 1800 RPM

**Electronic Parameters**

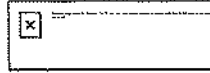
75 MPH ROAD SPEED LIMIT  
CRUISE CONTROL SPEED LIMIT SAME AS ROAD  
SPEED LIMIT  
PTO MODE BRAKE OVERRIDE - SERVICE  
BRAKE APPLIED  
PTO RPM WITH CRUISE SET SWITCH - 700 RPM  
PTO RPM WITH CRUISE RESUME SWITCH - 800  
RPM  
PTO MODE CANCEL VEHICLE SPEED - 5 MPH  
PTO GOVERNOR RAMP RATE - 250 RPM PER  
SECOND  
PTO MINIMUM RPM - 700  
REGEN INHIBIT SPEED THRESHOLD - 5 MPH

**Engine Equipment**

2016 ONBOARD DIAGNOSTICS/2010  
EPA/CARB/GHG21 CONFIGURATION  
2008 CARB EMISSION CERTIFICATION - CLEAN  
IDLE (INCLUDES 6X4 INCH LABEL ON LOWER  
FORWARD CORNER OF DRIVER DOOR)  
STANDARD OIL PAN  
ENGINE MOUNTED OIL CHECK AND FILL  
SIDE OF HOOD AIR INTAKE WITH FIREWALL  
MOUNTED DONALDSON AIR CLEANER  
DR 12V 200 AMP 28-SI QUADRAMOUNT PAD  
ALTERNATOR WITH REMOTE BATTERY VOLT  
SENSE  
(2) DTNA GENUINE, FLOODED STARTING, MIN  
2000CCA, 370RC, THREADED STUD BATTERIES  
BATTERY BOX FRAME MOUNTED  
STANDARD BATTERY JUMPERS  
SINGLE BATTERY BOX FRAME MOUNTED LH  
SIDE UNDER CAB



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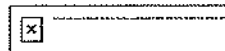


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 SHREWSBURY, MA 01545  
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**Description**

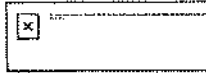
WIRE GROUND RETURN FOR BATTERY CABLES WITH ADDITIONAL FRAME GROUND RETURN  
 NON-POLISHED BATTERY BOX COVER  
 CAB AUXILIARY POWER CABLE  
 POSITIVE LOAD DISCONNECT WITH CAB MOUNTED CONTROL SWITCH MOUNTED OUTBOARD DRIVER SEAT  
 POSITIVE AND NEGATIVE POSTS FOR JUMPSTART LOCATED ON FRAME NEXT TO STARTER  
 CUMMINS TURBOCHARGED 18.7 CFM AIR COMPRESSOR WITH INTERNAL SAFETY VALVE  
 STANDARD MECHANICAL AIR COMPRESSOR GOVERNOR  
 AIR COMPRESSOR DISCHARGE LINE  
 ELECTRONIC ENGINE INTEGRAL WARNING AND DERATE PROTECTION SYSTEM  
 CUMMINS ENGINE INTEGRAL BRAKE WITH VARIABLE GEOMETRY TURBO ON/OFF  
 RH OUTBOARD UNDER STEP MOUNTED HORIZONTAL AFTERTREATMENT SYSTEM ASSEMBLY WITH RH B-PILLAR MOUNTED VERTICAL TAILPIPE  
 ENGINE AFTERTREATMENT DEVICE, AUTOMATIC OVER THE ROAD REGENERATION AND DASH MOUNTED REGENERATION REQUEST SWITCH  
 11 FOOT 06 INCH (138 INCH+0/-5.9 INCH) EXHAUST SYSTEM HEIGHT  
 STANDARD CURVE BRIGHT UPPER STACK(S)  
 RH CURVED VERTICAL TAILPIPE B-PILLAR MOUNTED ROUTED FROM STEP  
 6 GALLON DIESEL EXHAUST FLUID TANK  
 100 PERCENT DIESEL EXHAUST FLUID FILL  
 LH MEDIUM DUTY STANDARD DIESEL EXHAUST FLUID TANK LOCATION  
 STANDARD DIESEL EXHAUST FLUID PUMP MOUNTING  
 STANDARD DIESEL EXHAUST FLUID TANK CAP  
 STAINLESS STEEL AFTERTREATMENT DEVICE/MUFFLER/TAILOPIPE SHIELD  
 AIR POWERED ON/OFF ENGINE FAN CLUTCH  
 AUTOMATIC FAN CONTROL WITHOUT DASH SWITCH, NON ENGINE MOUNTED

Application Version 11.6.505  
 Data Version PRL-26M.017  
 Canton AWD M2 106 MY2023



09/29/2021 9:52 AM

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 Canton Town Of  
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**Description**

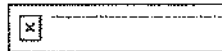
CUMMINS SPIN ON FUEL FILTER  
 FULL FLOW OIL FILTER  
 950 SQUARE INCH ALUMINUM RADIATOR  
 ANTIFREEZE TO -34F, OAT (NITRITE AND SILICATE FREE) EXTENDED LIFE COOLANT  
 GATES BLUE STRIPE COOLANT HOSES OR EQUIVALENT  
 CONSTANT TENSION HOSE CLAMPS FOR COOLANT HOSES  
 RADIATOR DRAIN VALVE  
 NO RADIATOR/OIL PAN GUARD  
 PHILLIPS-TEMRO 750 WATT/115 VOLT BLOCK HEATER  
 CHROME ENGINE HEATER RECEPTACLE MOUNTED UNDER LH DOOR  
 ALUMINUM FLYWHEEL HOUSING  
 ELECTRIC GRID AIR INTAKE WARMER  
 DELCO 12V 29MT STARTER WITH INTEGRATED MAGNETIC SWITCH

**Transmission**

ALLISON 3500 RDS AUTOMATIC TRANSMISSION WITH PTO PROVISION

**Transmission Equipment**

ALLISON VOCATIONAL PACKAGE 223 - AVAILABLE ON 3000/4000 PRODUCT FAMILIES WITH VOCATIONAL MODELS RDS, HS, MH AND TRV  
 ALLISON VOCATIONAL RATING FOR CONCRETE MIXER APPLICATIONS ONLY AVAILABLE WITH 3000 PRODUCT FAMILIES  
 PRIMARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 5, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
 SECONDARY MODE GEARS, LOWEST GEAR 1, START GEAR 1, HIGHEST GEAR 3, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
 S1 PERFORMANCE PRIMARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
 S1 PERFORMANCE SECONDARY SHIFT SCHEDULE, AVAILABLE FOR 3000/4000 PRODUCT FAMILIES ONLY  
 2400 RPM PRIMARY MODE SHIFT SPEED



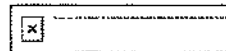
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**Description**

2400 RPM SECONDARY MODE SHIFT SPEED  
ENGINE BRAKE RANGE PRESELECT  
RECOMMENDED BY DTNA AND ALLISON, THIS  
DEFINED BY ENGINE AND VOCATIONAL USAGE  
ENGINE BRAKE RANGE ALTERNATE  
PRESELECT RECOMMENDED BY DTNA AND  
ALLISON, THIS DEFINED BY ENGINE AND  
VOCATIONAL USAGE  
FUEL SENSE 2.0 DISABLED - PERFORMANCE -  
TABLE BASED  
DRIVER SWITCH INPUT - DEFAULT - NO  
SWITCHES  
MAXIMUM ENGINE SPEED FOR PTO  
ENGAGEMENT 900 RPM  
MAXIMUM OUTPUT SPEED FOR PTO  
ENGAGEMENT 250 RPM  
MAXIMUM OUTPUT SPEED FOR PTO  
OPERATION 4000 RPM - ALLISON 5TH GEN  
TRANSMISSIONS  
VEHICLE INTERFACE WIRING CONNECTOR  
WITHOUT BLUNT CUTS, AT END OF FRAME  
ELECTRONIC TRANSMISSION CUSTOMER  
ACCESS CONNECTOR FIREWALL MOUNTED  
CUSTOMER INSTALLED MUNCIE CS10 SERIES  
PTO  
PTO MOUNTING, LH SIDE OF MAIN  
TRANSMISSION  
MAGNETIC PLUGS, ENGINE DRAIN,  
TRANSMISSION DRAIN, AXLE(S) FILL AND  
DRAIN  
PUSH BUTTON ELECTRONIC SHIFT CONTROL,  
DASH MOUNTED  
TRANSMISSION PROGNOSTICS - ENABLED 2013  
WATER TO OIL TRANSMISSION COOLER, IN  
RADIATOR END TANK  
MERITOR MTC-4210 AND MTC-4213 TRANSFER  
CASE OIL COOLER  
TRANSMISSION OIL CHECK AND FILL WITH  
ELECTRONIC OIL LEVEL CHECK  
MERITOR MTC 4210XL-EC 2-SPEED TRANSFER  
CASE  
TRANSFER CASE SHIFT CONTROLS WITH  
TRANSFER CASE PTO ON/OFF SWITCH WHEN  
APPLICABLE



Prepared for:  
Bill Walsh  
Canton Town Of  
801 Washington St  
  
Canton, MA 2021  
Phone: 781-821-5025



Prepared by:  
Richard Coutu  
ATG TRI STATE TRUCK  
CENTER, LLC  
411 HARTFORD TURNPIKE  
SHREWSBURY, MA 01545  
Phone: 508-753-1200

Description

SYNTHETIC TRANSMISSION FLUID (TES-295  
COMPLIANT)

**Front Axle and Equipment**

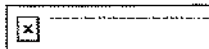
MX-10-120HR-EVO 10,000# 1790MM KPI SINGLE  
FRONT DRIVE AXLE WITH HR CARRIER  
5.57 FRONT AXLE RATIO  
MXL 16T MERITOR EXTENDED LUBE FRONT  
STEERING AXLE DRIVELINE WITH HALF ROUND  
YOKES  
MERITOR 16.5X5 Q+ MX DRIVE AXLE CAST  
SPIDER HEAVY DUTY CAM FRONT BRAKES  
NON-ASBESTOS FRONT BRAKE LINING  
MERITOR CAST IRON FRONT BRAKE DRUMS  
FRONT BRAKE DUST SHIELDS  
FRONT OIL SEALS  
STANDARD SPINDLE NUTS FOR ALL AXLES  
MERITOR AUTOMATIC FRONT SLACK  
ADJUSTERS  
TRW THP-60 POWER STEERING  
POWER STEERING PUMP  
2 QUART SEE THROUGH POWER STEERING  
RESERVOIR  
CURRENT AVAILABLE SYNTHETIC 75W-90  
FRONT AXLE LUBE

**Front Suspension**

12,000# DUAL TAPERLEAF FRONT SUSPENSION  
MAINTENANCE FREE RUBBER BUSHINGS -  
FRONT SUSPENSION  
FRONT SHOCK ABSORBERS

**Rear Axle and Equipment**

RS-23-160 23,000# R-SERIES SINGLE REAR  
AXLE  
5.63 REAR AXLE RATIO  
IRON REAR AXLE CARRIER WITH STANDARD  
AXLE HOUSING  
MXL 176T MERITOR EXTENDED LUBE MAIN  
DRIVELINE WITH HALF ROUND YOKES  
MXL 176T MERITOR EXTENDED LUBE  
INTERTRANSMISSION DRIVELINE WITH HALF  
ROUND YOKES



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**Description**

DRIVER CONTROLLED TRACTION  
 DIFFERENTIAL - SINGLE REAR AXLE  
 (1) DRIVER CONTROLLED DIFFERENTIAL LOCK  
 REAR VALVE FOR SINGLE DRIVE AXLE  
 BUZZER AND BLINKING LAMP WITH EACH  
 MODE SWITCH, DIFFERENTIAL UNLOCK WITH  
 IGNITION OFF, ACTIVE <5 MPH  
 MERITOR 18.5X7 Q+ CAST SPIDER CAM REAR  
 BRAKES, DOUBLE ANCHOR, FABRICATED  
 SHOES  
 NON-ASBESTOS REAR BRAKE LINING  
 BRAKE CAMS AND CHAMBERS ON REAR SIDE  
 OF DRIVE AXLE(S)  
 CAST IRON OUTBOARD REAR BRAKE DRUMS  
 REAR BRAKE DUST SHIELDS  
 REAR OIL SEALS  
 WABCO TRISTOP D LONGSTROKE 1-DRIVE  
 AXLE SPRING PARKING CHAMBERS  
 MERITOR AUTOMATIC REAR SLACK  
 ADJUSTERS  
 CURRENT AVAILABLE SYNTHETIC 75W-90 REAR  
 AXLE LUBE

**Rear Suspension**

28,000# FLAT LEAF SPRING REAR SUSPENSION  
 WITH HELPER AND RADIUS ROD  
 SPRING SUSPENSION - 1.50" AXLE SPACER  
 STANDARD AXLE SEATS IN AXLE CLAMP  
 GROUP  
 FORE/AFT CONTROL RODS

**Brake System**

AIR BRAKE PACKAGE  
 WABCO 4S/4M ABS  
 REINFORCED NYLON, FABRIC BRAID AND WIRE  
 BRAID CHASSIS AIR LINES  
 FIBER BRAID PARKING BRAKE HOSE  
 STANDARD BRAKE SYSTEM VALVES  
 STANDARD AIR SYSTEM PRESSURE  
 PROTECTION SYSTEM  
 STD U.S. FRONT BRAKE VALVE  
 RELAY VALVE WITH 5-8 PSI CRACK PRESSURE,  
 NO REAR PROPORTIONING VALVE



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**Description**

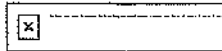
BW AD-9SI BRAKE LINE AIR DRYER WITH HEATER  
 AIR DRYER MOUNTED INBOARD ON LH RAIL  
 STEEL AIR TANKS MOUNTED BELOW FRAME RAILS  
 CLEAR FRAME RAILS FROM BACK OF CAB TO FRONT REAR SUSPENSION BRACKET, BOTH RAILS OUTBOARD  
 PULL CABLES ON ALL AIR RESERVOIR(S)

**Trailer Connections**

PRIMARY CONNECTOR/RECEPTACLE WIRED FOR COMBINATION STOP/TURN, CENTER PIN POWERED THROUGH IGNITION WITH STOP SIGNAL PREWIRE PACKAGE  
 SAE J560 7-WAY PRIMARY TRAILER CABLE RECEPTACLE MOUNTED END OF FRAME  
 UPGRADED CHASSIS MULTIPLEXING UNIT  
 UPGRADED BULKHEAD MULTIPLEXING UNIT

**Wheelbase & Frame**

4100MM (161 INCH) WHEELBASE  
 11/32X3-1/2X10-15/16 INCH STEEL FRAME (8.73MMX277.8MM/0.344X10.94 INCH) 120KSI  
 BODY COMPANY INSTALLED ADDITIONAL FRONT FRAME REINFORCEMENT FOR SNOW PLOW  
 1600MM (63 INCH) REAR FRAME OVERHANG  
 FRAME OVERHANG RANGE: 61 INCH TO 70 INCH  
 8 INCH BOLT ON FRONT FRAME EXTENSION  
 CALC'D BACK OF CAB TO REAR SUSP C/L (CA) : 95.67 in  
 CALCULATED EFFECTIVE BACK OF CAB TO REAR SUSPENSION C/L (CA) : 91.37 in  
 CALC'D FRAME LENGTH - OVERALL : 253.8 in  
 CALCULATED FRAME SPACE LH SIDE : 61.15 in  
 CALCULATED FRAME SPACE RH SIDE : 123.82 in  
 CALC'D SPACE AVAILABLE FOR DECKPLATE : 89.45 in  
 SQUARE END OF FRAME  
 FRONT CLOSING CROSSMEMBER  
 STANDARD WEIGHT ENGINE CROSSMEMBER

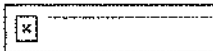


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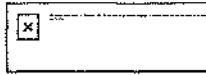
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| Description                                                                                                                                                                                                                                                                                                                                                                         |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| STANDARD CROSSMEMBER BACK OF TRANSMISSION<br>STANDARD MIDSHIP #1 CROSSMEMBER(S)<br>STANDARD REARMOST CROSSMEMBER<br>STANDARD SUSPENSION CROSSMEMBER                                                                                                                                                                                                                                 |
| <b>Chassis/Equipment</b>                                                                                                                                                                                                                                                                                                                                                            |
| THREE-PIECE 14 INCH CHROMED STEEL BUMPER WITH COLLAPSIBLE ENDS<br>FRONT TOW HOOKS - FRAME MOUNTED<br>BUMPER MOUNTING FOR SINGLE LICENSE PLATE<br>FENDER AND FRONT OF HOOD MOUNTED FRONT MUDFLAPS<br>GRADE 8 THREADED HEX HEADED FRAME FASTENERS                                                                                                                                     |
| <b>Fuel Tank</b>                                                                                                                                                                                                                                                                                                                                                                    |
| 50 GALLON/189 LITER SHORT RECTANGULAR ALUMINUM FUEL TANK - LH<br>RECTANGULAR FUEL TANK(S)<br>POLISHING OF FUEL/HYDRAULIC TANK(S) WITH PAINTED BANDS<br>FUEL TANK(S) FORWARD<br>BLACK STEP FINISH<br>CHROME FUEL TANK CAP(S)<br>DETROIT FUEL/WATER SEPARATOR WITH WATER IN FUEL SENSOR AND HAND PRIMER<br>EQUIFLO INBOARD FUEL SYSTEM<br>HIGH TEMPERATURE REINFORCED NYLON FUEL LINE |
| <b>Tires</b>                                                                                                                                                                                                                                                                                                                                                                        |
| BRIDGESTONE M726 255/70R22.5 16 PLY RADIAL FRONT TIRES<br>BRIDGESTONE M726 255/70R22.5 16 PLY RADIAL REAR TIRES                                                                                                                                                                                                                                                                     |
| <b>Hubs</b>                                                                                                                                                                                                                                                                                                                                                                         |
| MERITOR IRON FRONT HUBS<br>CONMET PRESET PLUS PREMIUM IRON REAR HUBS                                                                                                                                                                                                                                                                                                                |
| <b>Wheels</b>                                                                                                                                                                                                                                                                                                                                                                       |





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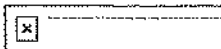
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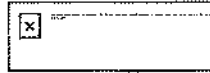
ALCOA LVL ONE 88267X 22.5X8.25 10-HUB  
 PILOT 5.80 INSET ALUMINUM DISC FRONT  
 WHEELS  
 ALCOA LVL ONE 88267X 22.5X8.25 10-HUB  
 PILOT ALUMINUM DISC REAR WHEELS  
 POLISHED FRONT WHEELS; OUTSIDE ONLY  
 POLISHED REAR WHEELS; OUTSIDE OF OUTER  
 WHEELS ONLY  
 FRONT WHEEL MOUNTING NUTS  
 REAR WHEEL MOUNTING NUTS  
 NO PUSHER/TAG WHEEL MOUNTING NUTS

**Cab Body**

106 INCH BBC FLAT ROOF ALUMINUM  
 CONVENTIONAL CAB  
 AIR CAB MOUNTING  
 NONREMOVABLE BUGSCREEN MOUNTED  
 BEHIND GRILLE  
 LH AND RH GRAB HANDLES  
 HOOD MOUNTED CHROMED PLASTIC GRILLE  
 CHROME HOOD MOUNTED AIR INTAKE GRILLE  
 FIBERGLASS HOOD  
 TUNNEL/FIREWALL LINER  
 SINGLE 14 INCH ROUND HADLEY AIR HORN  
 UNDER LH DECK  
 SINGLE ELECTRIC HORN  
 SINGLE HORN SHIELD  
 DOOR LOCKS AND IGNITION SWITCH KEYED  
 THE SAME  
 KEY QUANTITY OF 3  
 REAR LICENSE PLATE MOUNT END OF FRAME  
 INTEGRAL HEADLIGHT/MARKER ASSEMBLY  
 WITH CHROME BEZEL  
 LED AERODYNAMIC MARKER LIGHTS  
 INTEGRAL LED STOP/TAIL/BACKUP LIGHTS  
 STANDARD FRONT TURN SIGNAL LAMPS  
 DUAL WEST COAST BRIGHT FINISH HEATED  
 MIRRORS WITH LH AND RH REMOTE  
 DOOR MOUNTED MIRRORS  
 102 INCH EQUIPMENT WIDTH



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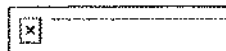
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**Description**

LH AND RH 8 INCH BRIGHT FINISH CONVEX MIRRORS MOUNTED UNDER PRIMARY MIRRORS  
 RH DOWN VIEW MIRROR  
 STANDARD SIDE/REAR REFLECTORS  
 RH AFTERTREATMENT SYSTEM CAB ACCESS WITH POLISHED DIAMOND PLATE COVER  
 COMPOSITE EXTERIOR SUN VISOR  
 63X14 INCH TINTED REAR WINDOW  
 TINTED DOOR GLASS LH AND RH WITH TINTED OPERATING WING WINDOWS  
 RH AND LH ELECTRIC POWERED WINDOWS, PASSENGER SWITCHES ON DOOR(S)  
 1-PIECE BONDED HEATED WIPER PARK SOLAR GREEN GLASS WINDSHIELD  
 2 GALLON WINDSHIELD WASHER RESERVOIR WITH FLUID LEVEL INDICATOR, FRAME MOUNTED



OPAL GRAY VINYL INTERIOR  
 MOLDED PLASTIC DOOR PANEL WITHOUT VINYL INSERT WITH ALUMINUM KICKPLATE LOWER DOOR  
 MOLDED PLASTIC DOOR PANEL WITHOUT VINYL INSERT WITH ALUMINUM KICKPLATE LOWER DOOR  
 BLACK MATS WITH SINGLE INSULATION IN DASH STORAGE BIN  
 (2) CUP HOLDERS LH AND RH DASH  
 GRAY/CHARCOAL FLAT DASH  
 SMART SWITCH EXPANSION MODULE  
 2-1/2 LB. FIRE EXTINGUISHER  
 FIRST AID KIT  
 HEATER, DEFROSTER AND AIR CONDITIONER  
 STANDARD HVAC DUCTING WITH SNOW SHIELD FOR FRESH AIR INTAKE  
 MAIN HVAC CONTROLS WITH RECIRCULATION SWITCH  
 STANDARD HEATER PLUMBING WITH BALL SHUTOFF VALVES AT SUPPLY LINES ONLY  
 VALEO HEAVY DUTY A/C REFRIGERANT COMPRESSOR



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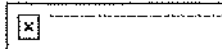
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**Description**

BINARY CONTROL, R-134A  
 STANDARD INSULATION  
 SOLID-STATE CIRCUIT PROTECTION AND FUSES  
 12V NEGATIVE GROUND ELECTRICAL SYSTEM  
 DOME DOOR ACTIVATED LH AND RH, DUAL READING LIGHTS, FORWARD CAB ROOF  
 LH AND RH ELECTRIC DOOR LOCKS  
 (2) 12 VOLT POWER RECEPTACLES MOUNTED IN DASH  
 TRIANGULAR REFLECTORS WITHOUT FLARES  
 PREMIUM ISRINGHAUSEN HIGH BACK AIR SUSPENSION DRIVERS SEAT WITH 2 AIR LUMBAR, INTEGRATED CUSHION EXTENSION, TILT AND ADJUSTABLE SHOCK  
 2 MAN TOOL BOX MID BACK NON SUSPENSION PASSENGER SEAT  
 INBOARD DRIVER SEAT ARMREST, NO PASSENGER SEAT ARMREST  
 LH AND RH INTEGRAL DOOR PANEL ARMRESTS  
 VINYL WITH VINYL INSERT DRIVER SEAT  
 VINYL WITH VINYL INSERT PASSENGER SEAT  
 BLACK SEAT BELTS  
 ADJUSTABLE TILT AND TELESCOPING STEERING COLUMN  
 18 INCH (450MM) LEATHER WRAPPED STEERING WHEEL  
 DRIVER AND PASSENGER INTERIOR SUN VISORS



GRAY DRIVER INSTRUMENT PANEL  
 GRAY CENTER INSTRUMENT PANEL  
 ENGINE REMOTE INTERFACE WITH PARK BRAKE AND NEUTRAL INTERLOCKS  
 BLACK GAUGE BEZELS  
 LOW AIR PRESSURE INDICATOR LIGHT AND AUDIBLE ALARM  
 2 INCH PRIMARY AND SECONDARY AIR PRESSURE GAUGES  
 DASH MOUNTED AIR RESTRICTION INDICATOR WITH GRADUATIONS  
 97 DB BACKUP ALARM



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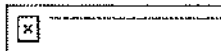


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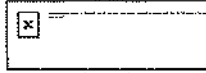
ELECTRONIC CRUISE CONTROL WITH SWITCHES IN LH SWITCH PANEL  
KEY OPERATED IGNITION SWITCH AND INTEGRAL START POSITION; 4 POSITION OFF/RUN/START/ACCESSORY  
ICU3S, 132X48 DISPLAY WITH DIAGNOSTICS, 28 LED WARNING LAMPS AND DATA LINKED  
HEAVY DUTY ONBOARD DIAGNOSTICS INTERFACE CONNECTOR LOCATED BELOW LH DASH  
2 INCH ELECTRIC FUEL GAUGE  
ENGINE REMOTE INTERFACE NOT CONFIGURED  
ENGINE REMOTE INTERFACE CONNECTOR IN ENGINE COMPARTMENT  
ELECTRICAL ENGINE COOLANT TEMPERATURE GAUGE  
2 INCH TRANSMISSION OIL TEMPERATURE GAUGE  
ENGINE AND TRIP HOUR METERS INTEGRAL WITHIN DRIVER DISPLAY AND HOBBS PTO OPERATION HOUR METER  
CUSTOMER FURNISHED AND INSTALLED PTO CONTROLS  
ELECTRIC ENGINE OIL PRESSURE GAUGE  
OVERHEAD INSTRUMENT PANEL  
SMARTPLEX HUB MODULE WITH OVERHEAD SWITCH MOUNTING, DRIVER SIDE ONLY (6 SWITCH SLOTS)  
AM/FM/WB WORLD TUNER RADIO WITH SIRIUSXM, BLUETOOTH, IPOD INTERFACE, USB AND AUXILIARY INPUTS, J1939  
DASH MOUNTED RADIO  
(2) RADIO SPEAKERS IN CAB  
AM/FM ANTENNA MOUNTED ON FORWARD LH ROOF  
INTEROPERABLE SDAR ANTENNA  
ELECTRONIC MPH SPEEDOMETER WITH SECONDARY KPH SCALE, WITHOUT ODOMETER  
STANDARD VEHICLE SPEED SENSOR  
ELECTRONIC 3000 RPM TACHOMETER  
TMC RP 1226 ACCESSORY CONNECTOR LOCATED BEHIND DASH B PANEL

Application Version 11.6.505  
Data Version PRL-26M.017  
Canton AWD M2 106 MY2023



09/29/2021 9:52 AM

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**Description**

IGNITION SWITCH CONTROLLED ENGINE STOP  
ONE ON/OFF ROCKER SWITCH IN THE DASH  
WITH INDICATOR LIGHT WIRED TO JUNCTION  
BLOCK ON FRAME WITH MARKER LIGHT  
CIRCUIT, LABEL OPT  
PRE-TRIP LAMP INSPECTION, ALL OUTPUTS  
FLASH, WITH SMART SWITCH  
6 ON/OFF LATCHING SMARTPLEX SWITCHES  
DIGITAL VOLTAGE DISPLAY INTEGRAL WITH  
DRIVER DISPLAY  
SINGLE ELECTRIC WINDSHIELD WIPER MOTOR  
WITH DELAY AND ARCTIC TYPE BLADES  
MARKER LIGHT SWITCH INTEGRAL WITH  
HEADLIGHT SWITCH AND DUAL CONNECTORS  
AND SWITCH FOR CUSTOMER FURNISHED  
SNOW PLOW LIGHTS, LOW BEAMS OFF WITH  
HIGH BEAMS  
ONE VALVE PARKING BRAKE SYSTEM WITH  
DASH VALVE CONTROL AUTONEUTRAL AND  
WARNING INDICATOR  
SELF CANCELING TURN SIGNAL SWITCH WITH  
DIMMER, WASHER/WIPER AND HAZARD IN  
HANDLE  
INTEGRAL ELECTRONIC TURN SIGNAL  
FLASHER WITH HAZARD LAMPS OVERRIDING  
STOP LAMPS

**Paint**

PAINT: ONE SOLID COLOR

**Color**

CAB COLOR A: L5946EY GREEN ELITE EY  
BLACK, HIGH SOLIDS POLYURETHANE CHASSIS  
PAINT  
SUNVISOR PAINTED SAME AS CAB COLOR A  
STANDARD E COAT/UNDERCOATING

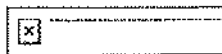
**Extended Front Axle Coverage**

AXLE: NON-DETROIT FRONT ONLY: MD  
MODERATE 5 YEARS/100,000 MILES/161,000 KM  
EXTENDED AXLE COVERAGE

**Certification Compliance**

U.S. FMVSS CERTIFICATION, EXCEPT SALES  
CABS AND GLIDER KITS

**Operating Capacity Limits**



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**Description**

CORPORATE PDI CENTER IN-SERVICE ONLY  
 FRONT DRIVE AXLE ENGAGEMENT IS LIMITED  
 TO 20% OR LESS OF TOTAL ANNUAL MILEAGE  
 PER MERITOR SNOW PLOW APPLICATION  
 REQUIREMENTS - DEALER ADVISED AND  
 ACCEPTS



CALCULATED EFFECTIVE BACK OF CAB TO  
 REAR SUSPENSION C/L (CA) : 91.37 in  
 CALC'D SPACE AVAILABLE FOR DECKPLATE :  
 89.45 in



CUM 2017 B6.7: HD1 MD DTY 5 YEARS / 100,000 MILES / 161,000 KM  
 EXTENDED WARRANTY. FEX APPLIES  
 CUM 2017 L9: AT3 MD DTY 5 YEARS / 100,000 MILES / 161,000 KM  
 AFTERTREATMENT, FEX APPLIES  
 TOWING: 5 YEARS/UNLIMITED MILES/KM EXTENDED TOWING  
 COVERAGE \$550 CAP.FEX APPLIES



|                                | Weight<br>Front | Weight<br>Rear |
|--------------------------------|-----------------|----------------|
| MADIGAN                        | 0               | 0              |
| Total Dealer Installed Options | 0 lbs           | 0 lbs          |

(\*\*\*) All cost increases for major components (Engines, Transmissions, Axles, Front and Rear Tires) and government mandated requirements, tariffs, and raw material surcharges will be passed through and added to factory invoices.



J.C. MADIGAN INC.  
450 OLD UNION TURNPIKE  
LANCASTER, MA.

SALES DEPT.  
TEL. (978)847-2900  
FAX (978)847-0068

QUOTE: TOWN OF CANTON HIGHWAY DEPT.

TO RICH C.@ TRISTATE FREIGHTLINER

FROM JOHN DWYER

1) 11 FT 5 TO 7 CU YD 304 STAINLESS STEEL W/ 1/4" HARDOX AR-450 STEEL FLOOR MONOSHELL BiBEAU DUMP BODY WITH A MAILHOT TELESCOPIC HOIST MOUNTED ON A SUPPLIED CHASSIS ALL NON-STAINLESS ITEMS PAINTED BLACK WITH THE FOLLOWING ITEMS.

- A) 30" STAINLESS CABSHIELD W/ FRONT & SIDE RECESSED LED FLASHERS
- B) AERO AUTO TARPING SYSTEM W/ ALUMINUM ARMS
- C) BACKUP AND LIFT ALARMS
- D) BODY SAFETY PROPS / SIDE MOUNTED LADDER W/ HANDLE
- E) REAR AND FRONT REAR WHEEL MUDFLAPS
- F) TRANSMISSION MOUNTED CENTRAL HYDRAULICS W/ HOTSHIFT PTO, W/ CONTROLS AND VALVES FOR DUMP, 4-WAY PLOW, S/S LINES TO REAR, CIRUS EZ-SPREAD CONTROLS, AND POWER BEYOND
- G) (3) TAILGATE MOUNTED COAL DOORS W/ (2) SAFETY LOCKS
- H) 3/4" PINTLE PLATE W/ 20T PINTLE, D-RINGS, AND TRAILER PLUG
- I) (2) REAR POST RECESSED LED FLASHERS & (2) LED ST/TL
- J) (2) REAR MOUNTED LED WORKLIGHTS
- K) 24" DEEP ALUMINUM MEDIUM DUTY SIZED 1-PACK TOOL BOX
- L) FRONT GRILL RECESSED LED FLASHERS ON SEPARATE SWITCH

2) 10' 36" HIGH STEEL MOLDBOARD TRIP EDGE SNOW PLOW EVEREST MODEL RM120TEL36SH W/ HYDRAULIC REVERSE, CURB & WEAR SHOES, CUTTING EDGE, AND GUIDE POLES

3) EVEREST LO-MOUNT PLOW FRAME MODEL (JCM) INSTALLED W/ HOOD MTD. PLOWLIGHTS, CLAMP JAW STYLE QUICK COUPLER ADAPTER, AND DOUBLE ACTING LIFT CYLINDER

4) 10' 4.44cuyd 304 STAINLESS STEEL HI-WAY MODEL E-1010 TWO MOTOR HYDRAULIC SPREADER INSTALLED IN THE DUMP BODY ABOVE WITH THE FOLLOWING ITEMS

- A) FRONT & REAR S/S SPILLSHIELDS
- B) REAR MOUNTED S/S LIGHTBAR W/ LED FLASHERS & ST/TL
- C) DUAL 50gal POLY SADDLE TANKS W/ ELECTRIC PRE-WET

D) (2) CHUTE MOUNTED LED WORKLIGHTS


(ITEMS 90"CA / AUX SWITCHES/ 3000 SERIES ALLISON W/ PTO PROV. / PLOW LIGHT PREP/  
FRONT FRAME EXT.(IF POSSIBLE))

PRICE \$104,150.00

APPROVAL \_\_\_\_\_ DATE \_\_\_\_\_

PO# \_\_\_\_\_ 09/28/2021



| <br><b>TOWN OF CANTON</b><br><b>FORM B - FISCAL 2023</b><br><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------|-------------|--------------------------------|-----------|--------------------------|-----------|---------------------------|---------------------|---------------------|------------------|------------------|-----------|------------------------------------|-----------|
| <b>DEPARTMENT:</b><br>Revere & Son Heritage Trust                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        | <b>SUBMITTED BY:</b><br>Victor Del Vecchio R&S President                                                                                                                                                                                                                                                                                                                                    |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>PROJECT / EQUIPMENT TITLE:</b><br>Professional Museum Design and Engineering Services                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b><br>\$200,000 being requested, see below.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>DESCRIPTION:</b><br>For professional design services that include comprehensive exhibit design, specialty consultants (lighting, AV, acoustics), architectural services, and engineering based on 25% of construction cost. Museum construction cost is estimated to be \$4.0 million, consisting of exhibit fabrication, outdoor terrace construction, museum lighting, audiovisual components, acoustical features, stairway murals, and gift shop - for 5,000 net square feet                                                                                                                                                                                                                                                                                                                                                                      |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>PURPOSE AND JUSTIFICATION:</b><br>The Town of Canton is committed to creating the Paul Revere Museum of Discovery and Innovation, which the Revere & Son Trust will eventually operate in accordance with the Special Act's mandate. An essential step to creating the Museum is developing the final design, engineering and permitting of the historic Revere Barn that will house the Museum and its exhibits, as well as provide "teaching and educational services and programs, and other amenities and attractions, and the like for guests, employees and visitors, including the installation of interpretive signage at the Paul Revere Heritage Site open space" (Section 2 of the Act). As noted, the estimated cost for the design phase is \$1.0 million (see attached). The Revere & Son Trust's plan to fund this work is as follows: |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">Planned Funding:</td> <td style="text-align: right;">\$1,000,000</td> </tr> <tr> <td>ARPA Request for Economic Loss</td> <td style="text-align: right;">\$200,000</td> </tr> <tr> <td>Rental Revenue 2021-2022</td> <td style="text-align: right;">\$100,000</td> </tr> <tr> <td>State Legislative Package</td> <td style="text-align: right;">\$200,000 ✓ 12/3/21</td> </tr> <tr style="background-color: yellow;"> <td><b>Town Capital</b></td> <td style="text-align: right;"><b>\$200,000</b></td> </tr> <tr> <td>Mitigation Funds</td> <td style="text-align: right;">\$150,000</td> </tr> <tr> <td>Philanthropy and Other Fundraising</td> <td style="text-align: right;">\$150,000</td> </tr> </table>                                                       |                                                                                                                                                                                                                                                                                                                                                                                             | Planned Funding: | \$1,000,000 | ARPA Request for Economic Loss | \$200,000 | Rental Revenue 2021-2022 | \$100,000 | State Legislative Package | \$200,000 ✓ 12/3/21 | <b>Town Capital</b> | <b>\$200,000</b> | Mitigation Funds | \$150,000 | Philanthropy and Other Fundraising | \$150,000 |
| Planned Funding:                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | \$1,000,000                                                                                                                                                                                                                                                                                                                                                                                 |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| ARPA Request for Economic Loss                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           | \$200,000                                                                                                                                                                                                                                                                                                                                                                                   |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| Rental Revenue 2021-2022                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | \$100,000                                                                                                                                                                                                                                                                                                                                                                                   |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| State Legislative Package                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | \$200,000 ✓ 12/3/21                                                                                                                                                                                                                                                                                                                                                                         |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>Town Capital</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                      | <b>\$200,000</b>                                                                                                                                                                                                                                                                                                                                                                            |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| Mitigation Funds                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         | \$150,000                                                                                                                                                                                                                                                                                                                                                                                   |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| Philanthropy and Other Fundraising                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       | \$150,000                                                                                                                                                                                                                                                                                                                                                                                   |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>NEED CLASSIFICATION:</b> (Check all that apply)<br><input type="checkbox"/> Required for Safety<br><input type="checkbox"/> Required by Law or Mandate<br><input type="checkbox"/> Improve/Expand Service or Increase Efficiency<br><input type="checkbox"/> Planned Project or Replacement<br><input type="checkbox"/> Unplanned Project or Replacement<br><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)                                                                                                                                                                                                                                                                                                                                                                                                      | <b>Departmental Priority Ranking:</b><br>Please rank this request out of your total requests for this year: (#1 as top priority)<br>_____ 1 (#) OF _____ 2 (#)<br><br><b>Expected Useful Life: (Check one)</b><br><input checked="" type="checkbox"/> 20 or More Yrs <input type="checkbox"/> 5 to 9 Years<br><input type="checkbox"/> 10 to 19 Years <input type="checkbox"/> 3 to 4 Years |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>Impact to Dept. Operating Budget:</b> (Check one)<br><input type="checkbox"/> Will Reduce Cost by \$ _____<br><input checked="" type="checkbox"/> No Impact<br><input type="checkbox"/> Will Increase Cost by \$ _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                | <b>Revenue Impact:</b> (Check one)<br><input type="checkbox"/> Will Produce Addl Revenue by \$ _____<br><input checked="" type="checkbox"/> Revenue Neutral (no impact)<br><input type="checkbox"/> Will Decrease Revenue by \$ _____                                                                                                                                                       |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |
| <b>OTHER COMMENTS OR INFORMATION:</b> (Attach supporting documentation)<br>This request is consistent with and supported by the Paul Revere Museum of Discovery and Innovation master plan, prepared by Mills Whitaker Architects, LLC which will be presented to the Select Board in an upcoming meeting.                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               |                                                                                                                                                                                                                                                                                                                                                                                             |                  |             |                                |           |                          |           |                           |                     |                     |                  |                  |           |                                    |           |

\$4MM construction.  
 For Museums, 25% for design is more realistic than 10%.

PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

MUSEUM MASTER PLAN

DECEMBER 7, 2021

MILLS WHITAKER ARCHITECTS LLC

PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## MISSION

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*“Embodying the entrepreneurial legacy of Paul Revere and his son, this cultural center offers an opportunity to explore the past through a contemporary lens, creating meaningful connections and thoughtful experiences through its programming, collections and exhibitions.”*

—Town of Canton, RFP

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## MASTER PLAN SCHEDULE

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Project Award & Contracted . . . . . Feb 11, 2021  
Discover Phase . . . . . May 3 - Jun 2, 2021  
Design Phase . . . . . Jun 7 - Jul 16, 2021  
    *Teacher Survey . . . . . May 27, 2021*  
Develop Phase . . . . . Jul 19 - Aug 13, 2021  
Define Phase . . . . . Sept 1 - Dec 10, 2021  
    *Prelim Master Plan . . . . . Nov 16, 2021*  
    *Public Meeting 1 . . . . . Nov 17, 2021*  
    *Public Meeting 2 . . . . . Dec 7, 2021*  
    *Final Master Plan . . . . . Dec 10, 2021*

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## GOALS

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- **explore** development from an agrarian to a technological economy
- **immerse** in the post-Revolutionary world of Paul Revere
- **emphasize** problem solving and collaboration through STEAM skills
- **confront** the consequences of technological change
- **celebrate** the diversity of Americans who contribute to country's economic development
- **engage** in civil dialogue with others
- **demonstrate** importance of education and innovative thinking to economic progress and well-being
- **ponder** connections and relevance to today

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## AUDIENCE

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- Estimated mid-range of visitation potential is 23,000/annually
- Approx 68% from resident market (>30 minutes away) and 32% from tourist market
- Mix of families, seniors, school children, and other interested adults
- Residents, school groups, and other tour groups an important audience in non-peak periods
- Programming and community involvement, membership, and volunteer activities needed to support visitation

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## GUIDING CONTENT THEMES

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- The history of the site
- What it means to innovate and be an entrepreneur
- Constructive questioning about innovation and “Progress”

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## EXHIBIT GUIDELINES

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- Be thought-provoking
- Present diverse perspectives and insights
- Foster curiosity, questioning, and dialogue
- Provide opportunities for interaction
- Engage multiple senses
- Emphasize problem-solving and collaboration
- Connect past, present, and future

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION EXHIBIT EXPERIENCE

3 levels of interpretation + exterior treatments:

- Level 1: Welcome to Canton Dale
- Level 2: Innovation in Action
- Level 3: Problem Solvers Lab
- Exterior Terrace
- Exterior Path



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION PRIMARY EXHIBIT EXPERIENCE

-1,200 sq. ft. of exhibit space on each floor of the building



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 1: WELCOME TO CANTON DALE



- 1.1 Creative Welcome Installation
- 1.2 New England Innovations Mural
- 1.3 Welcome to Canton Dale
- 1.4 Revere's groundbreaking copper mill
- 1.5 Meet Paul Revere v2.0
- 1.6 Made from Metal
- 1.7 Roll the Copper Touchtable
- 1.8 Challenges of Change
- 1.9 Who Worked Here?
- 1.10 Visitor Talkback Station

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 1: WELCOME TO CANTON DALE



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 1: WELCOME TO CANTON DALE

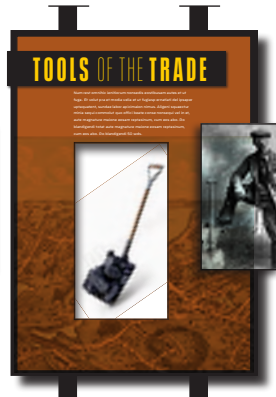


1.3 Welcome



Image to wrap around side.

1.8 Challenges of Change



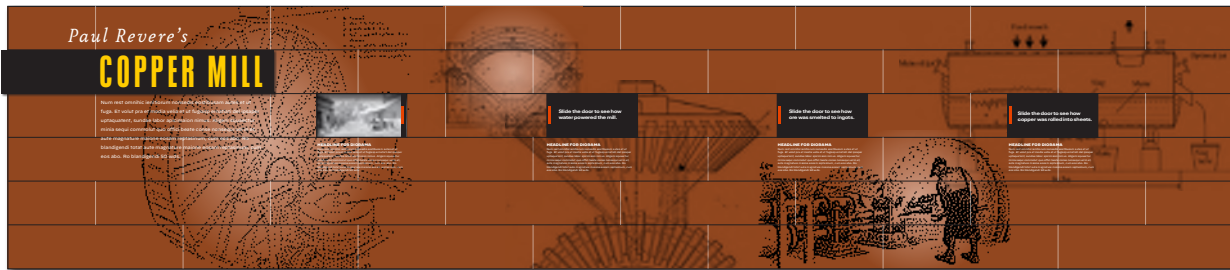
1.6 Reference image for structure



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 1: WELCOME TO CANTON DALE



1.4 Revere's Copper Mill

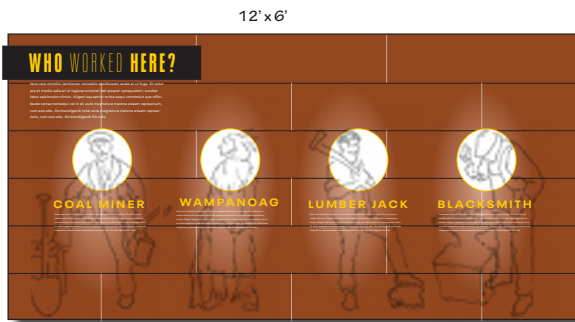


MILLS WHITAKER ARCHITECTS LLC



# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 1: WELCOME TO CANTON DALE



1.9 Who Worked Here?

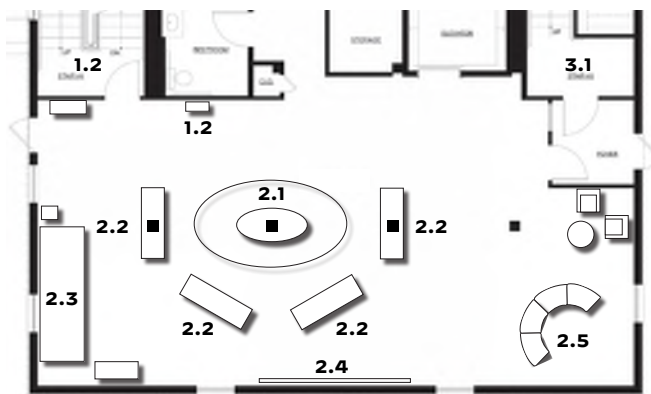


1.6 Made From Metal

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 2: INNOVATION IN ACTION



2.1 Innovation in Action

2.2 Be an entrepreneur

*Station 1: What's the Big Idea?*

*Station 2: Testing and Prep*

*Station 3: Making It*

*Station 4: Going to Market*

2.3 Entrepreneurial Examples

2.4 Question Wall

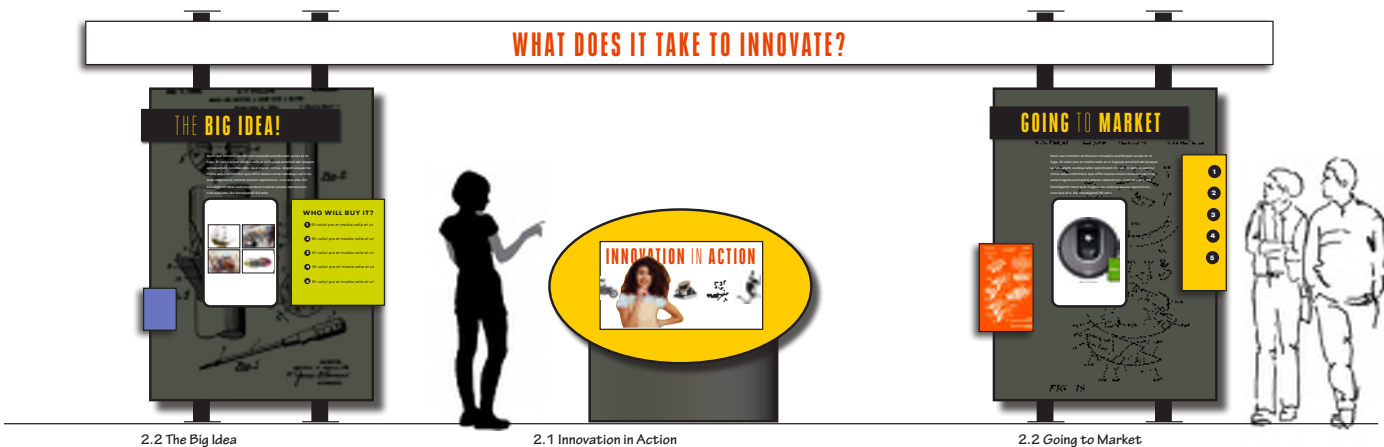
2.5 Staff Desk

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION LEVEL 2: INNOVATION IN ACTION



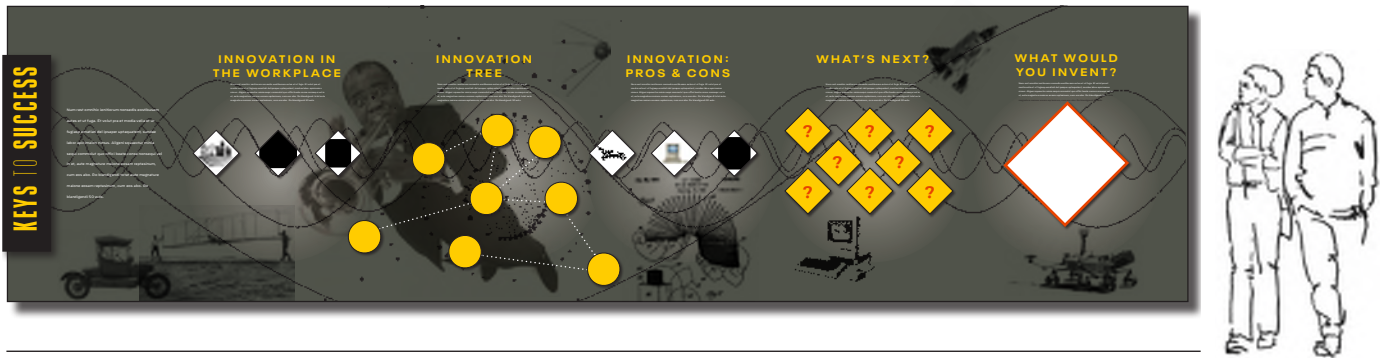
# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION LEVEL 2: INNOVATION IN ACTION



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 2: INNOVATION IN ACTION



2.4 Question Wall

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 2: EXTERIOR TERRACE

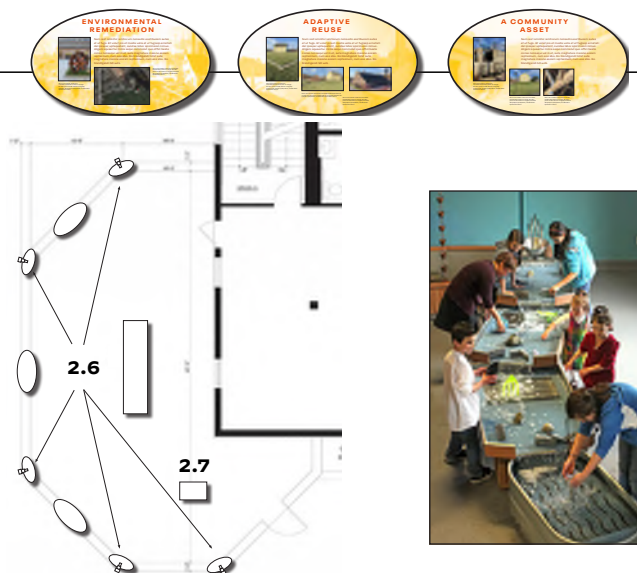
### 2.6 Exterior Terrace

*Waterwheel Interactive*

*POI Viewers*

*Environmental Remediation Panels*

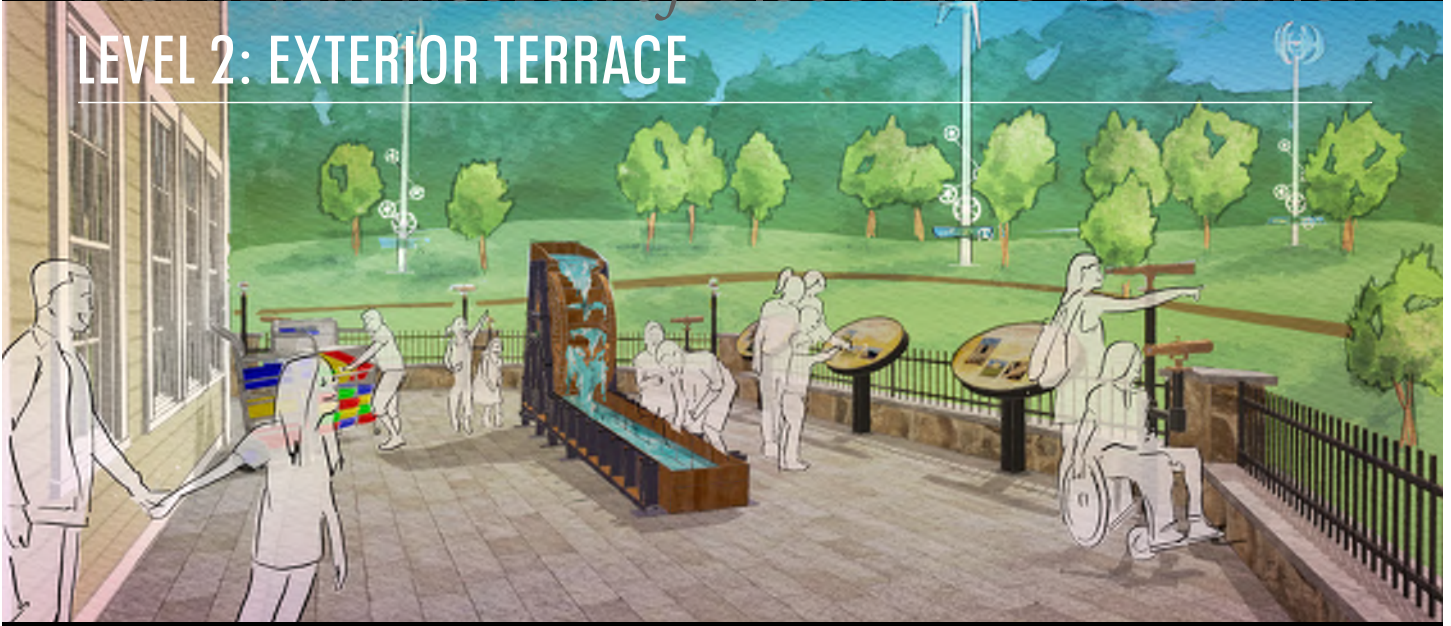
### 2.7 Mobile Activity Cart



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# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 2: EXTERIOR TERRACE



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 3: PROBLEM SOLVERS LAB



- 3.1 Innovators Gallery
- 3.2 Innovators Touchscreen
- 3.3 Staff Desk and Storage Lockers
- 3.4 Worktables
- 3.5 Digital Smartboard
- 3.6 Conversation Corner
- 3.7 Loft art installation
- 3.8 Gears & Blocks Corner
- 3.9 One Site, 300 Years
- 3.10 It Takes a Team

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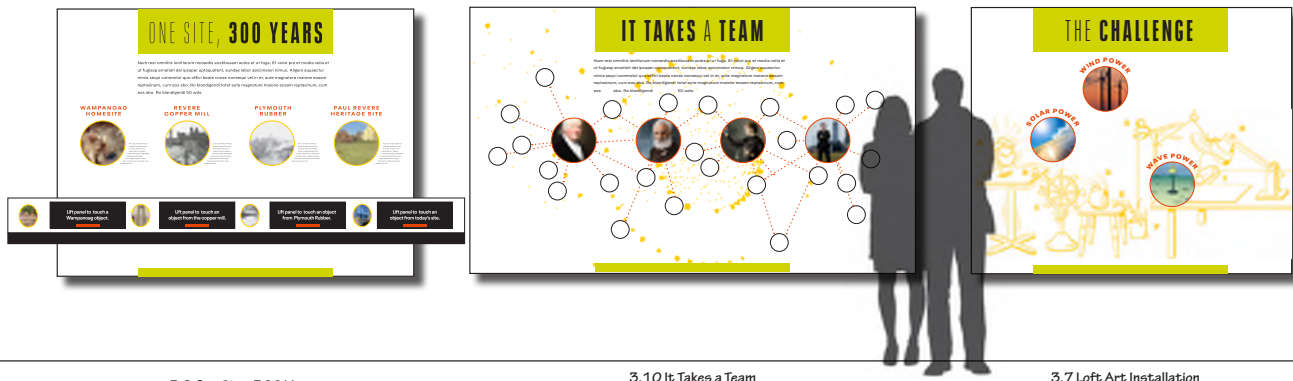
# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 3: PROBLEM SOLVERS LAB



# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## LEVEL 3: PROBLEM SOLVERS LAB



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

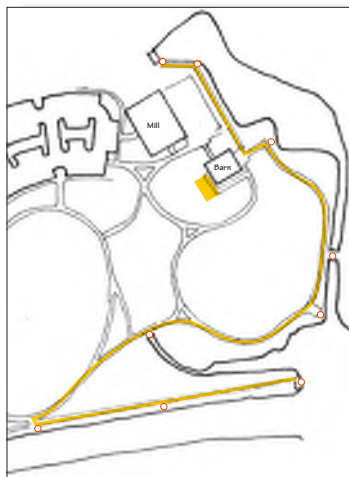
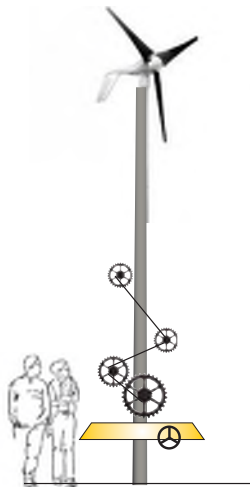
## EXTERIOR INTERPRETATION & ACTIVITIES



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## EXTERIOR INTERPRETATION & ACTIVITIES



- Story Stations
- Power Path



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# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## COPPER MILL HALL

- Flexible Use Space



MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## OTHER DESIGN CONSIDERATIONS

- include multiple perspectives, e.g. history of site through lens of three different people
- provide take-home items, e.g. Paul Revere wristband, copper souvenirs, etc.
- include hands-on modern-day copper uses and an inside water engineering element
- interpret pros / cons of being an entrepreneur
- use ceiling space for artist treatment and outside space for art, performance and discovery
- interpret site's archaeology history and location of Revere's home and bell tower
- continue to engage public in development of museum

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## CONCEPTUAL PROJECT BUDGET

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|                                   |             |
|-----------------------------------|-------------|
| Estimated Design Fees . . . . .   | \$1,000,000 |
| Estimated Construction. . . . .   | \$4,000,000 |
| Estimated Project Total . . . . . | \$5,000,000 |

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## CONCEPTUAL PROJECT BUDGET

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### Design Estimate Detail

|                                          |             |
|------------------------------------------|-------------|
| . Design Development Phase . . . . .     | \$500,000   |
| . Construction Document Phase . . . . .  | \$300,000   |
| . Bidding & Construction Admin . . . . . | \$200,000   |
| . Total Design . . . . .                 | \$1,000,000 |

Estimate to be updated and refined upon completion of design development and construction document phases.  
 Estimate assumes that all exhibit areas will be designed at same time.  
 Similarly, construction estimate assumes non-phased implementation.  
 Escalation may be a factor if construction is phased.

MILLS WHITAKER ARCHITECTS LLC



# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## CONCEPTUAL PROJECT BUDGET

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### Construction Estimate Detail

- . Interior Exhibits . . . . . \$3,150,000
- . Exterior Terrace . . . . . \$600,000
- . Exterior Path . . . . . \$250,000
- . Total Construction . . . . . \$4,000,000

MILLS WHITAKER ARCHITECTS LLC

# PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

## ORGANIZATIONAL DEVELOPMENT KEY NEXT STEPS

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Create pre-opening plan, including a staff hiring plan, job descriptions, and expense budgets.

Create operating plans and implementation schedule for educational and special programming, events, and exhibits.

Initiate Design Development Process

Create marketing and outreach plans for various primary audiences.


Incorporate plan for endowment into the capital campaign and fundraising feasibility analysis.

MILLS WHITAKER ARCHITECTS LLC

PAUL REVERE MUSEUM *of* DISCOVERY & INNOVATION

THANK YOU!

MILLS WHITAKER ARCHITECTS LLC

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                         |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|  <p style="margin: 0;"><b>TOWN OF CANTON</b><br/><b>FORM B - FISCAL 2023</b><br/><b>CAPITAL PROJECT / EQUIPMENT REQUEST</b></p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>DEPARTMENT:</b><br/>Revere &amp; Son Heritage Trust Corporation</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p><b>SUBMITTED BY:</b><br/>RSHT Board of Directors</p>                                                                                                                                                                                                                                                                                                                                                                                                     |
| <p><b>PROJECT / EQUIPMENT TITLE:</b><br/>Monument Signs</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                             |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>TOTAL PROJECT / EQUIPMENT COST (must be at least \$5,000):</b> \$33K - \$38K depending on DPW support.<br/>\$38,000</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>DESCRIPTION:</b></p> <p>For the fabrication &amp; installation of two "monument" signs for the Revere Heritage Site</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>PURPOSE AND JUSTIFICATION:</b></p> <p>Monument signs are an ideal way to showcase the Revere Green, Museum of Discovery and Innovation, Northern Spy Restaurant and Copper Mill Hall. The purpose of the monument signs is to create visually appealing and effective signage for our Heritage Site that can:</p> <ul style="list-style-type: none"> <li>• provide clear identification of Heritage Site locations, activities and organizations;</li> <li>• serve as essentially free advertising that can reach potential customers and boost brand identity for the Site, 24 hours a day, seven days a week at no added cost;</li> <li>• help people find Heritage Site locations, activities and organizations more easily, providing added assistance for motorists and pedestrians alike;</li> <li>• improve name recognition for vehicular traffic, particularly along Neponset St., to ensure that the Heritage Site has an established and visible presence throughout the region; and</li> <li>• distinguish our locations, activities and organizations from the residential complexes that</li> </ul> |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |
| <p><b>NEED CLASSIFICATION:</b> <i>(Check all that apply)</i></p> <p><input type="checkbox"/> Required for Safety</p> <p><input type="checkbox"/> Required by Law or Mandate</p> <p><input type="checkbox"/> Improve/Expand Service or Increase Efficiency</p> <p><input type="checkbox"/> Planned Project or Replacement</p> <p><input type="checkbox"/> Unplanned Project or Replacement</p> <p><input checked="" type="checkbox"/> New Project/Item (not on last year's 5-Yr. Plan)</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                               | <p><b>Departmental Priority Ranking:</b></p> <p><i>Please rank this request out of your total requests for this year: (#1 as top priority)</i></p> <p style="text-align: center;">_____ 1 (#) OF _____ 1 (#)</p> <p><b>Expected Useful Life: (Check one)</b></p> <p><input checked="" type="checkbox"/> 20 or More Yrs    <input type="checkbox"/> 5 to 9 Years</p> <p><input type="checkbox"/> 10 to 19 Years    <input type="checkbox"/> 3 to 4 Years</p> |
| <p><b>Impact to Dept. Operating Budget:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Reduce Cost by \$ _____</p> <p><input checked="" type="checkbox"/> No Impact</p> <p><input type="checkbox"/> Will Increase Cost by \$ _____</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | <p><b>Revenue Impact:</b> <i>(Check one)</i></p> <p><input type="checkbox"/> Will Produce Addl Revenue by \$ _____</p> <p><input checked="" type="checkbox"/> Revenue Neutral (no impact)</p> <p><input type="checkbox"/> Will Decrease Revenue by \$ _____</p>                                                                                                                                                                                             |
| <p><b>OTHER COMMENTS OR INFORMATION:</b> <i>(Attach supporting documentation)</i></p> <p>Please note that the actual expense may be somewhat less if in-kind service is provided by the DPW for installation of the signs - something that the DPW has graciously undertaken for other signage at the Heritage Site.</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                             |

FORM B - FISCAL 2023

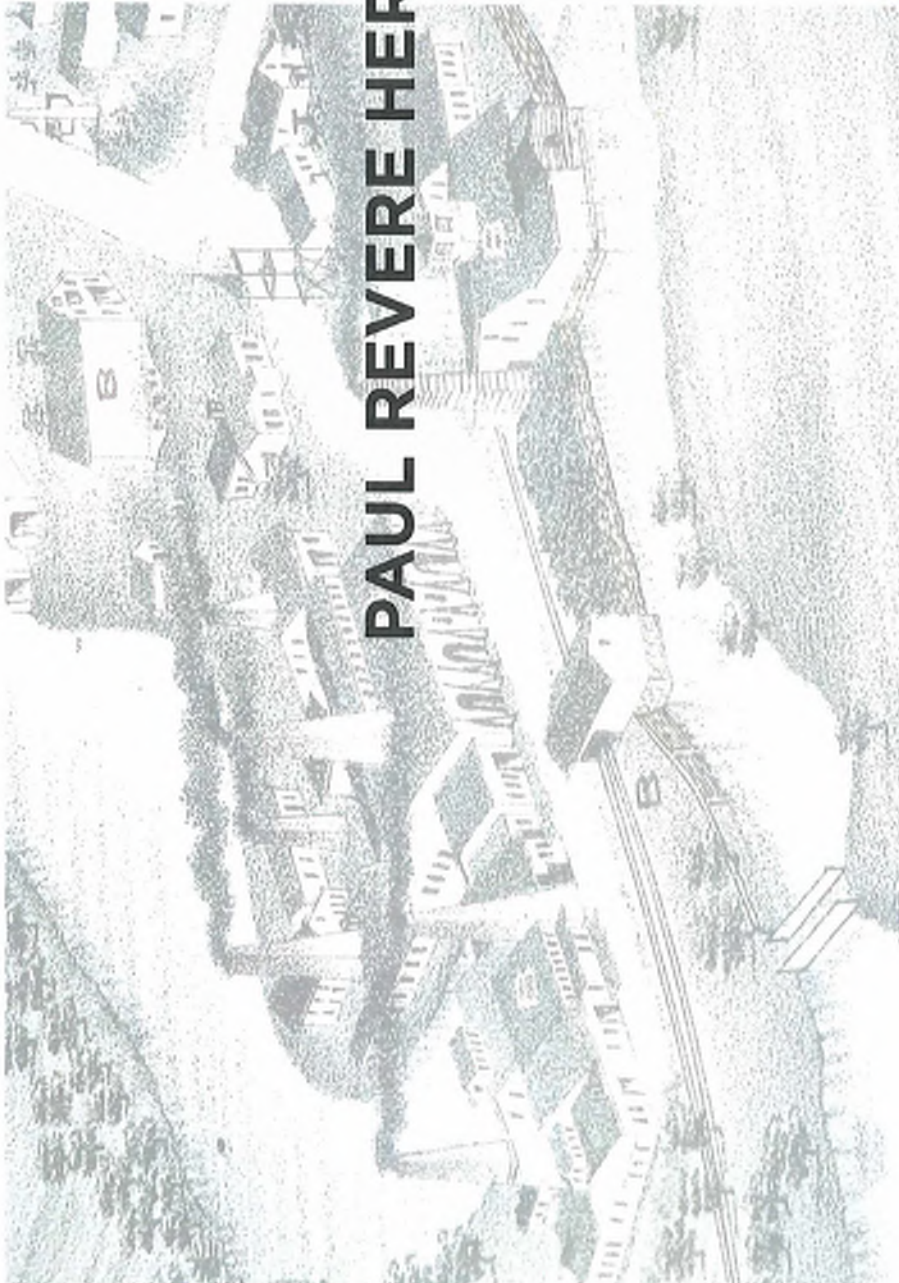


4 Rolling Mill Way  
Canton, MA 02021

# PAUL REVERE HERITAGE SITE

Exterior Signage Program:  
**MONUMENT SIGNS**

11.12.21



## BUDGET ESTIMATING

Based on concept-level design

| Type | Description         | Remarks                                                                        | Quantity | Unit Cost    | Installation | Total        | Unit Cost    | Installation | Total        |
|------|---------------------|--------------------------------------------------------------------------------|----------|--------------|--------------|--------------|--------------|--------------|--------------|
| ID1  | Site Entry Monument | Copper cladding, cut metal letters, tone on tone graphics<br>External lighting | 2        | \$ 12,500.00 | \$ 2,500.00  | \$ 30,000.00 | \$ 15,500.00 | \$ 3,500.00  | \$ 38,000.00 |

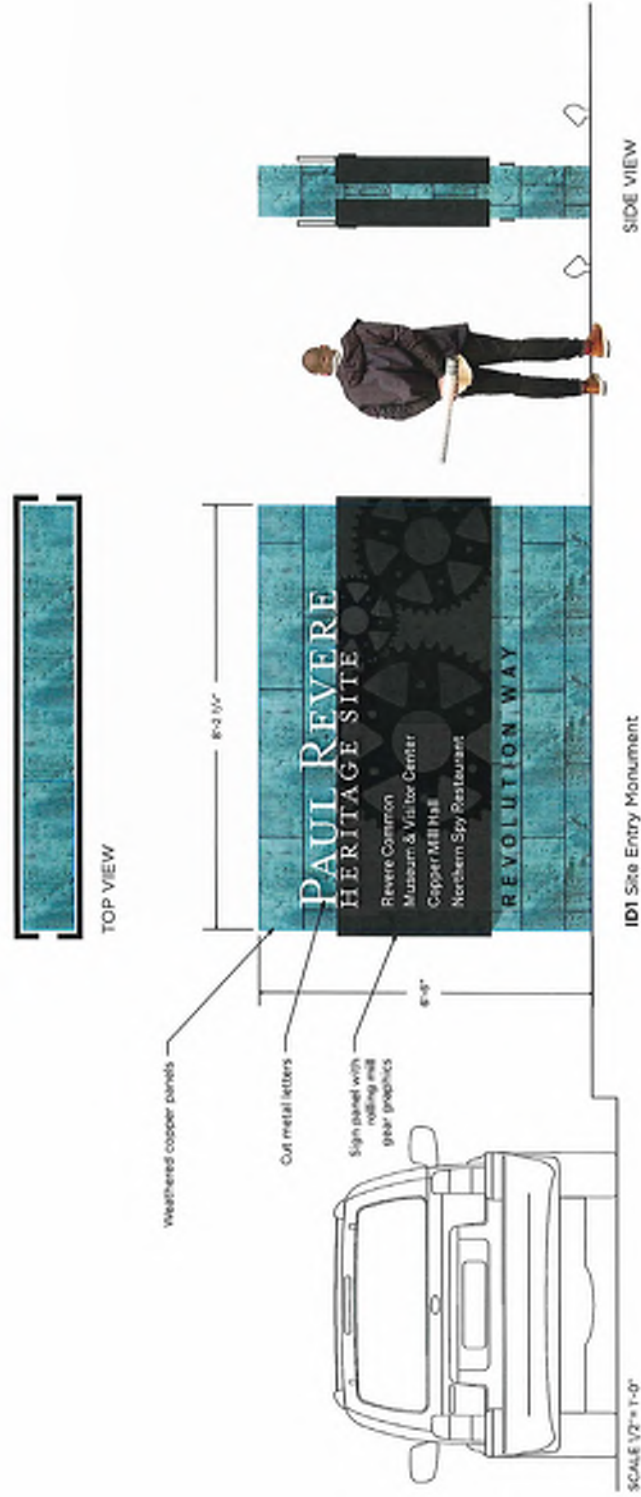
# SIGNAGE PLAN: ENTRY MONUMENTS

Messaging and sign locations (in progress)



# ENTRY MONUMENT SIGN

**\*\* Preliminary design concept only \*\***



# LOCATION STUDY

Neponset Street entry





## LOCATION STUDY

Revere Street entry



**Jones, Ellen**

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**From:** Kenney, Tracy  
**Sent:** Tuesday, November 9, 2021 7:02 PM  
**To:** Scollins, William  
**Cc:** Jones, Ellen  
**Subject:** FY23 Capital Requests

Randy,

The Town Clerk/ Elections Department has no capital requests for fiscal year 2023.

*Tracy K. Kenney*  
Canton Town Clerk

Ms. Tracy K. Kenney  
Town Clerk  
Records Access Officer  
Burial Agent  
Parking Clerk  
[801 Washington Street](#)  
Canton, MA 02021

Tele. 781-821-5013  
Fax 781-821-5016

**Please remember when writing or responding, the Massachusetts Secretary of State has determined that emails are public records.**



**Ai3 Architects, LLC**

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111 Speen Street  
Framingham, MA 01701